SAN FRANCISCO
PLANNING DEPARTMENT

MEMO

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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PLANNING DEPARTMENT
1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 22, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard)**
Hearing Body: **Zoning Administrator**

PORPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	**176 08th Avenue**	Case No.:	**2013.0241V**
Cross Street(s):	**California & Lake Street**	Building Permit:	**N/A**
Block / Lot No.:	**1367/030**	Applicant/Agent:	**Alex Tokar**
Zoning District(s):	**RH-2 / 40-X**	Telephone:	**415-860-8434**
Area Plan:	**N/A**	E-Mail:	**alextokar@yahoo.com**

PROJECT DESCRIPTION

The proposal is to construct a 15 foot horizontal addition at the rear of the ground floor and second floor of the three-story, two-unit building. The proposed project includes a 4 foot setback at the south property line and new rear decks at the second and third floors and demolition of the existing rear stairs.

Section 134 of the Planning Code requires a minimum rear yard depth of approximately 51 feet for the subject property, measured from the rear property line. The subject property currently provides a 49 foot rear yard. The proposed expansion would extend 15 feet further into the required rear yard, providing a rear yard of approximately 34 feet for the subject property.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
Planner: **Kanishka Burns** Telephone: **415-575-9112** Mail: **kanishka.burns@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2013.0241V.pdf

中文詢問請電: **558.6378**
Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be perfromed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

DATUM POINT

SECTION REFERENCE
SHEET NUMBER

DETAIL REFERENCE
SHEET NUMBER

ELEVATION REFERENCE
SHEET NUMBER

REVISION

NOTATION

DIMENSION

ALIGN FINISH SURFACES

DISCONTINUITY

EXISTING WALL/PARTITION – DIMENSION TO FACE OF FINISH, U.O.N.

NEW WALL/PARTITION – DIMENSION TO FACE OF FRAMING, U.O.N.

NOT IN CONTRACT

G — GAS LINE

UP — UNDERGROUND POWER LINE

P — AERIAL POWER LINE

W — WATER LINE

SS — SANITARY SEWER LINE

SD — STORM DRAIN LINE

FENCELINE

SURVEY MONUMENT

WM — WATER MAIN CONNECTION

C.O. — CLEANOUT

PIPE BREAK

HB — HOSE BIB

G — GAS CONNECTION

CTV — CABLE TV CONNECTION

AUTOMATIC GARAGE DOOR OPENER CONTROL

23 SYMBOL LEGEND

1. THE INTENT OF THESE DOCUMENTS IS TO SHOW ALL ITEMS NECESSARY TO COMPLETE THE PROJECT. FOR ITEMS, METHODS AND/OR MATERIALS NOT SHOWN, THE MINIMUM REQUIREMENTS OF THE CODES OUTLINED ON A/0.0 SHALL GOVERN.
2. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH ALL REGULATIONS AND SAFETY REQUIREMENTS.
3. WHEN CONTRACTOR ACCEPTS DELIVERY OF ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOSS AND DAMAGE TO THESE ITEMS.
4. "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS NOTED "TYP." ARE NOT KEYED IN EVERY LOCATION.
5. "SIM." SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION.
6. CONTRACTOR SHALL INSPECT EXISITING CONDITIONS, WHICH AFFECT THE WORK SHOWN, AND SHALL NOTIFY DESIGNER OF ANY EXISTING CONDITIONS WHICH CONFLICT WITH OR DIFFER FROM THE NEW WORK SHOWN. CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THESE CONFLICTS AND DIFFERENCES ARE RESOLVED.
7. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE CONDUCT OF THE WORK, INCLUDING CONSTRUCTION METHODS AND PROCEDURES; SITE SAFETY; AND METHODS, DESIGN, AND MATERIALS FOR TEMPORARY VERTICAL AND LATERAL SUPPORT OF EXISTING AND NEW STRUCTURES.
8. THE CONTRACTOR SHALL VERIFY DIMENSIONS.
9. DO NOT SCALE DRAWINGS. IN CASE OF CONFLICT, NOTIFY THE DESIGNER. FLOOR PLAN BY DESIGNER SUPERCEDES OTHER PLANS. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.
10. INTERIOR WALL DIMENSIONS ARE TO THE FACE OF STUD U.O.N. COLUMN DIMENSIONS ARE TO CENTERLINE.
11. THE WORK SHALL COMPLY WITH APPLICABLE BUILDING CODES AND ORDINANCES.
12. CONTRACTOR RETAINS POSSESSION OF WASTE MATERIALS AND IS RESPONSIBLE FOR REMOVAL FROM SITE AND DISPOSAL IN A TIMELY FASHION.
13. CONTRACTOR SHALL VERIFY ALLOWABLE WORK HOURS FOR DELIVERIES AND WASTE REMOVAL.
14. FINISH MATERIALS SHALL BE STORED AND ACCLIMATED TO THE PROPER ENCLOSED CONDITIONS AS SPECIFIED BY THE MANUFACTURER.
15. ALL QUANTITIES MUST BE VERIFIED IN FIELD.

21 GENERAL NOTES

18 NOT USED

17 NOT USED

14 NOT USED

13 NOT USED

&	AND
@	AT
℄	CENTERLINE
ACOUS.	ACOUSITCAL
ADJ.	ADJACENT
A.F.F.	ABOVE FINISH FLOOR
A.F.G.	ABOVE FINISH GRADE
A.H.U.	AIR HANDLING UNIT
AL.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BD.	BOARD
BLDG.	BUILDING
BK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.O.	BOTTOM OF
C.B.	CATCH BASIN
CEM.	CEMENT
CER.	CERAMIC
CFM	CUBIC FEET PER MINUTE
CL.	CLOSET
CLR.	CLEAR
CLG.	CEILING
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
CNTR.	COUNTER
CTR.	CENTER
D.F.	DOUGLAS FIR
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DN.	DOWN
D.S.	DOWN SPOUT
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
E.C.	ELECTRICAL CONTRACTOR
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMER.	EMERGENCY
ENCL.	ENCLOSURE
EQ.	EQUAL
EQP.	EQUIPMENT
EXT.	EXTERIOR
E.W.	EACH WAY
F.A.	FIRE ALARM
F.D.	FLOOR DRAIN
F.F.	FINISH FACE
F.R.P.	FIBER REINFORCED PANEL
F.T.	FIRE TREATED
FDN.	FOUNDATION
FIN. FL.	FINISH FLOOR
FLUOR.	FLUORESCENT
FPRF.	FIRE PROOF
FT.	FOOT/ FEET
FTG.	FOOTING
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GND.	GROUND
GYP.	GYPSUM
H.C.	HOLLOW CORE
HOR.	HORIZONTAL
HT.	HEIGHT
HM.	HOLLOW METAL
I.D.	INSIDE DIAMETER
I.G.	INSULATED GLASS
INSUL.	INSULATION
INT.	INTERIOR
LAM.	LAMINATE
LAV.	LAVATORY
LT.	LIGHT
K.E.C.	KITCHEN EQUIPMENT CONTRACTOR
MAX.	MAXIMUM
M.C.	MECHANICAL CONTRACTOR
MECH.	MECHANICAL
MFR.	MANUFACTURER
MGR.	MANAGER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.I.K.E.C.	NOT IN KITCHEN EQUIP. CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPP.	OPPOSITE
P.C.	PLUMBING CONTRACTOR
PL.	PLATE
PLAM	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PR.	PAIR
P.T.	PRESSURE TREATED
PTD.	PAINTED
R.	RADIUS
R.D.	ROOF DRAIN
REF.	REFRIGERATOR
REL.	RELOCATED
REQ'D.	REQUIRED
RM.	ROOM
RWD.	REDWOOD
R.O.W.	RIGHT OF WAY
R.W.L.	RAINWATER LEADER
S.A.	SMOKE ALARM
S.C.	SOLID CORE
SCHED.	SCHEDULE
SECT.	SECTION
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
S&R	SHELF AND ROD
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STR.	STRUCTURE
SUSP.	SUSPENDED
T&B	TOP AND BOTTOM
T.V.	TELEVISION
T.O.	TOP OF
TBD	TO BE DETERMINED
TRAN.	TRANSOM
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
VERT.	VERTICAL
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W/O	WITHOUT
W.R.	WATER RESISTANT
WT.	WEIGHT
WWM	WELDED WIRE MESH

11 ABBREVIATIONS

FIRE SPRINKLERS:
1. AUTOMATIC FIRE SPRINKLERS TO BE PROVIDED AS REQUIRED UNDER DEFERRED SUBMITTAL

10 NOTES

9 NOT USED

OWNER
ALEX TOKAR
176 8TH AVENUE
SAN FRANCISCO, CA 94118

PROJECT DESIGNER/DRAFTER
HOWARD BLECHER
BBUD
3343 22ND STREET
SAN FRANCISCO, CA 94110
TEL: 415-364-8478
TEL: 917-613-5816
EMAIL: howard.bbud@gmail.com

BUILDING DEPARTMENT
CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
PLAN REVIEW SERVICES
1660 MISSION STREET
SAN FRANCISCO, CA94103
TEL: 415-558-6133
FAX: 415-558-6041

8 PROJECT DIRECTORY

7 NOT USED

PROJECT ADDRESS: 176 – 178 8TH AVE.
SAN FRANCISCO, CA 94118

APN: APN: 1367 030

CONSTRUCTION TYPE: V–B

OCCUPANCY GROUP: RESIDENTIAL (R–2)

ZONING: RH2

SCOPE OF WORK: ADDITION IN REAR AND REMODEL

AREA:
LOT: 3000.0 SQ. FT.

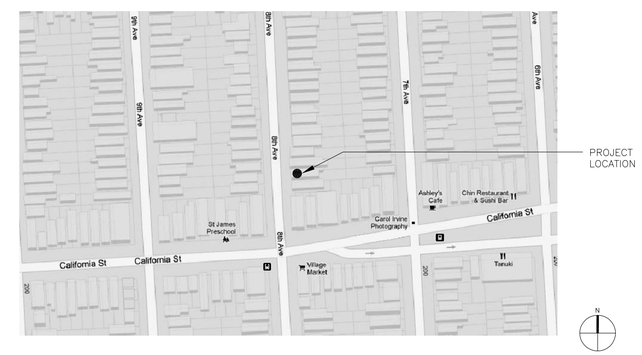
PROPOSED
HABITABLE AREA

176 8TH AVE. – 3RD FLR. (GROSS)	1720 SQ. FT.
178 8TH AVE. – 2ND FLR. (GROSS) 1713 SQ. FT.	
178 8TH AVE. – 1ST FLR. (GROSS) 1232 SQ. FT.	
SUBTOTAL 178 8TH AVE. (GROSS)	2945 SQ. FT.
TOTAL (GROSS)	4665 SQ. FT.
176 8TH AVE. – 2ND FLR. DECK	128 SQ. FT.
176 8TH AVE. – 3RD FLR. DECK	158 SQ. FT.
BUILDING FOOTPRINT	2011 SQ. FT.

EXISTING
HABITABLE AREA

176 8TH AVE. – 3RD FLR. (GROSS)	1720 SQ. FT.
178 8TH AVE. – 2ND FLR. (GROSS)	1467 SQ. FT.
TOTAL (GROSS)	3187 SQ. FT.
BUILDING FOOTPRINT	1708 SQ. FT.

6 PROJECT DATA



5 VICINITY MAP

ARCHITECTURAL

A0.0	COVER SHEET
A1.0	EXISTING SITE PLAN PROPOSED SITE PLAN
A2.0	FIRST FLOOR PLAN SECOND FLOOR PLAN
A2.1	THIRD FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
EC1.0	NOT USED
EC2.0	EXISTING FIRST FLOOR PLAN EXISTING SECOND FLOOR PLAN
EC2.1	EXISTING THIRD FLOOR PLAN
EC3.0	EXISTING EXTERIOR ELEVATIONS
EC3.1	EXISTING EXTERIOR ELEVATIONS

3 DRAWING INDEX

APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED.

- 2010 CALIFORNIA BUILDING CODE WITH 2010 SAN FRANCISCO BUILDING CODE AMENDMENTS (INCLUDES GREEN BUILDING REQUIREMENTS. SEE CHAPTER 13C))
- 2010 CALIFORNIA ELECTRICAL CODE WITH 2010 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
- 2010 CALIFORNIA ENERGY CODE
- 2010 CALIFORNIA PLUMBING CODE WITH 2010 SAN FRANCISCO PLUMBING CODE AMENDMENTS
- 2010 CALIFORNIA MECHANICAL CODE WITH 2010 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
- 2010 SAN FRANCISCO HOUSING CODE AMENDMENTS

2 CODE REVIEW INFORMATION

BBUD
BLECHER BUILDING + URBAN DESIGN
3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

PROPOSED ADDITION AND REMODEL
176 - 178 8TH AVE.
SAN FRANCISCO, CA 94118
APN: 1367 030

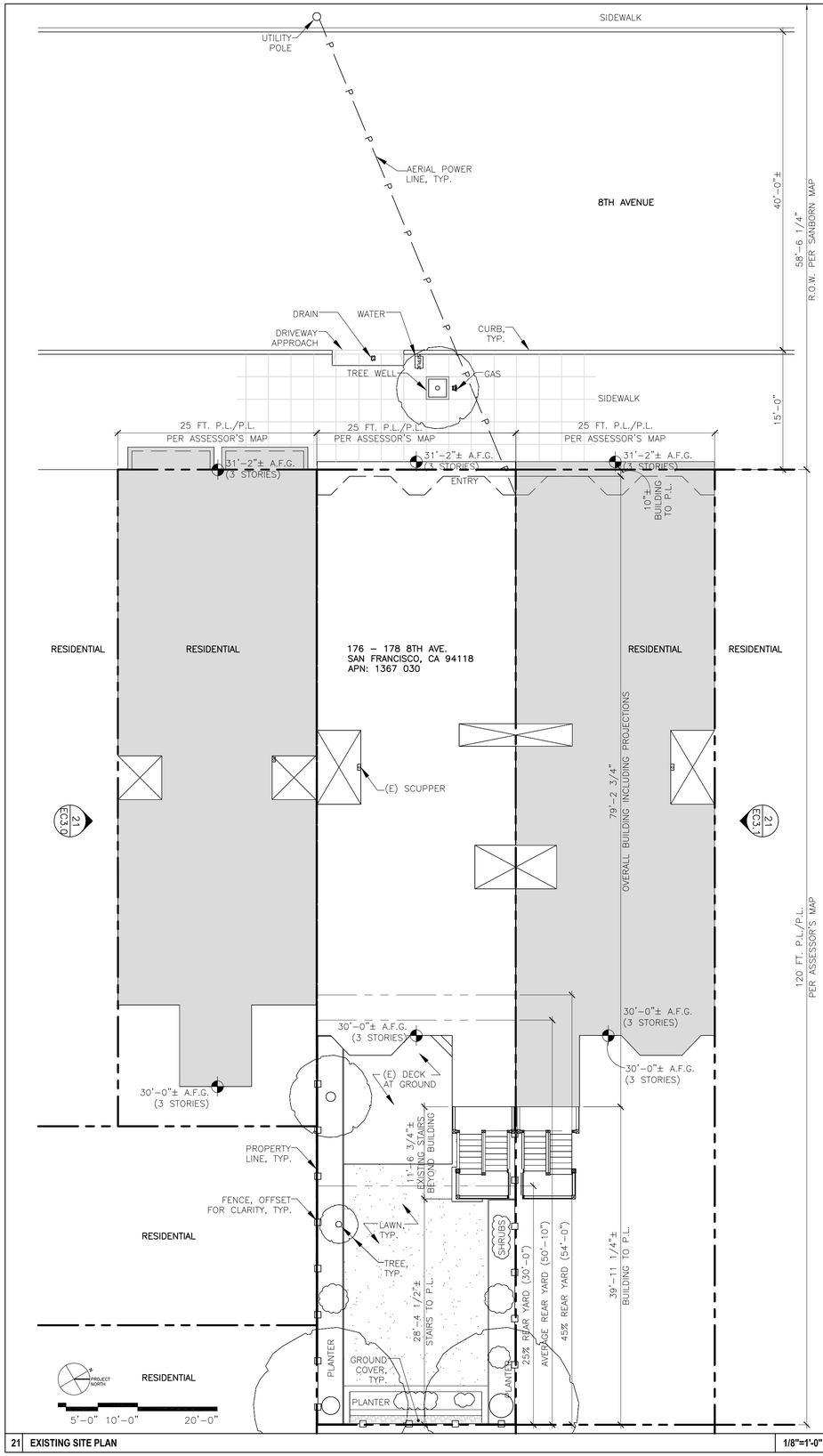
NO.:	DATE:	ISSUE:	BY:
	4/11/2013	SITE PERMIT SET	HEB

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

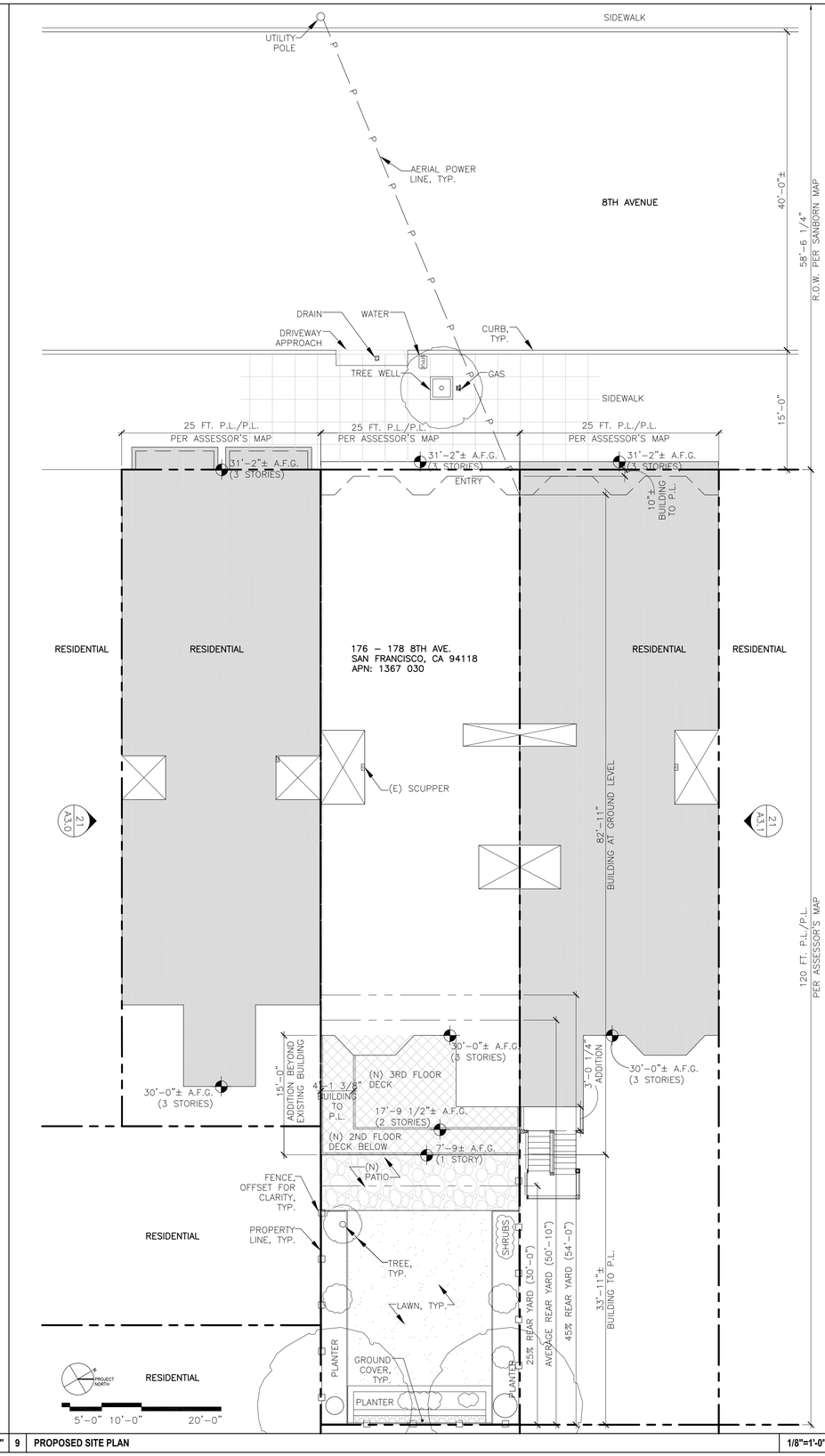
SEAL:

DRAWING TITLE:
COVER SHEET

SHEET NO.:
A0.0



21 EXISTING SITE PLAN 1/8"=1'-0"



9 PROPOSED SITE PLAN 1/8"=1'-0"

4 NOT USED

EXISTING, NOT IN CONTRACT

AREA OF ADDITION

3 SYMBOL LEGEND N.T.S.

SITE PLAN NOTES:

1. LOCATION OF HOUSE AND PROPERTY LINE ON SITE IS APPROXIMATE
2. DIMENSIONS ARE TO FINISHED FACE WHERE APPLICABLE
3. PER CBC §1804.3 SITE GRADING. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5–PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE, A 5–PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.
   EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2–PERCENT SLOPE).

1 NOTES N.T.S.

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SAN FRANCISCO, CA 94118
APN: 1367 030

NO.:	DATE:	ISSUE:	BY:
	4/11/2013	SITE PERMIT SET	HEB

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
PROPOSED SITE PLAN
EXISTING SITE PLAN

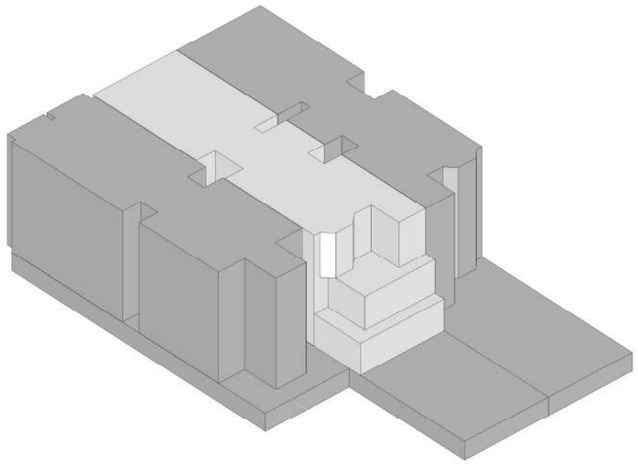
SHEET NO.:
A1.0

24 NOT USED

20 NOT USED

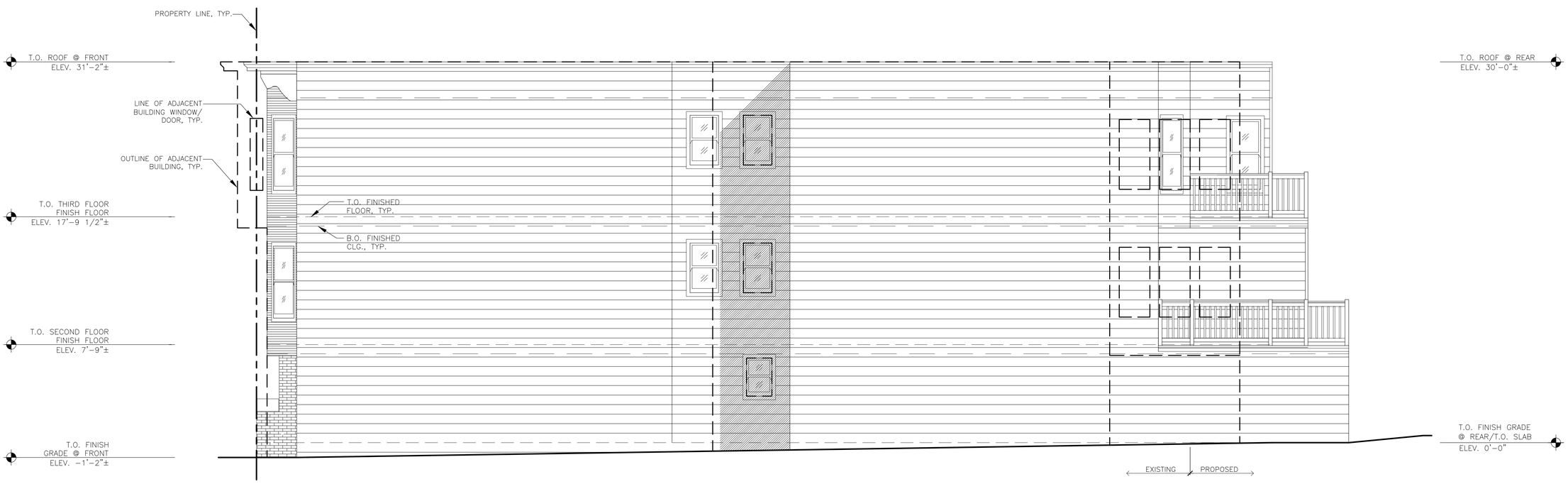
23 NOT USED

19 NOT USED



15 PROPOSED SCHEMATIC ISOMETRIC N.T.S.

7 PROPOSED EAST (REAR) ELEVATION 1/4"=1'-0"



21 PROPOSED SOUTH (SIDE) ELEVATION 1/4"=1'-0"

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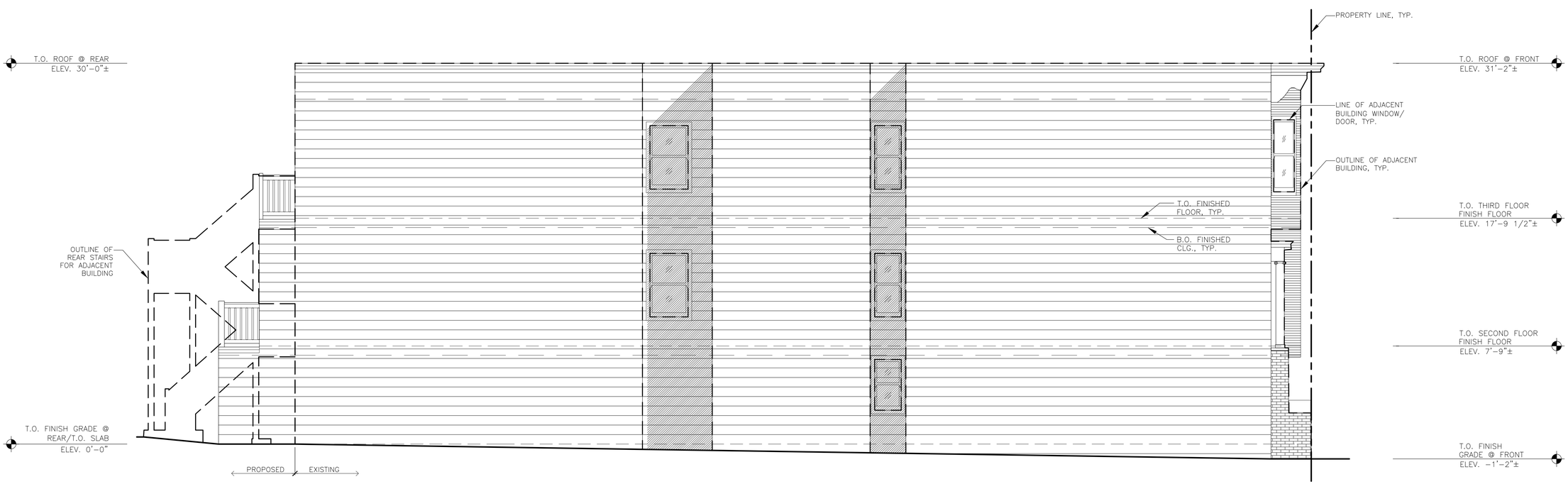
PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

SHEET NO.:
A3.0

24 NOT USED	20 NOT USED	16 NOT USED	12 NOT USED	8 NOT USED	4 NOT USED
23 NOT USED	19 NOT USED	15 NOT USED	11 NOT USED	7 NOT USED	3 NOT USED



21 PROPOSED NORTH (SIDE) ELEVATION 1/4"=1'-0"

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PROPOSED ADDITION
AND REMODEL
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APN: 1367 030

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	4/11/2013	SITE PERMIT SET	HEB

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
PROPOSED
EXTERIOR ELEVATIONS

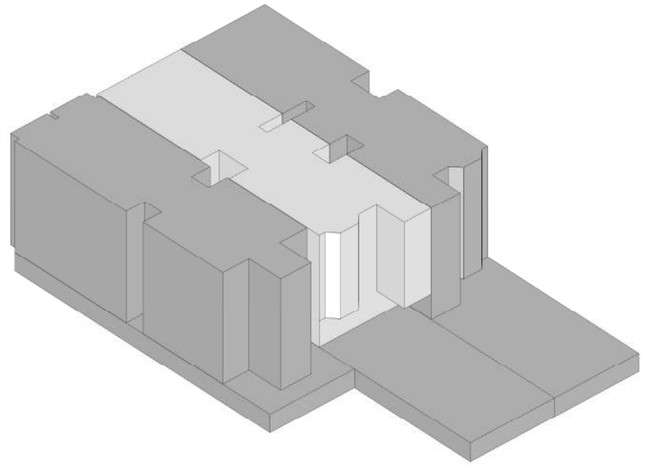
SHEET NO.:
A3.1

24 NOT USED

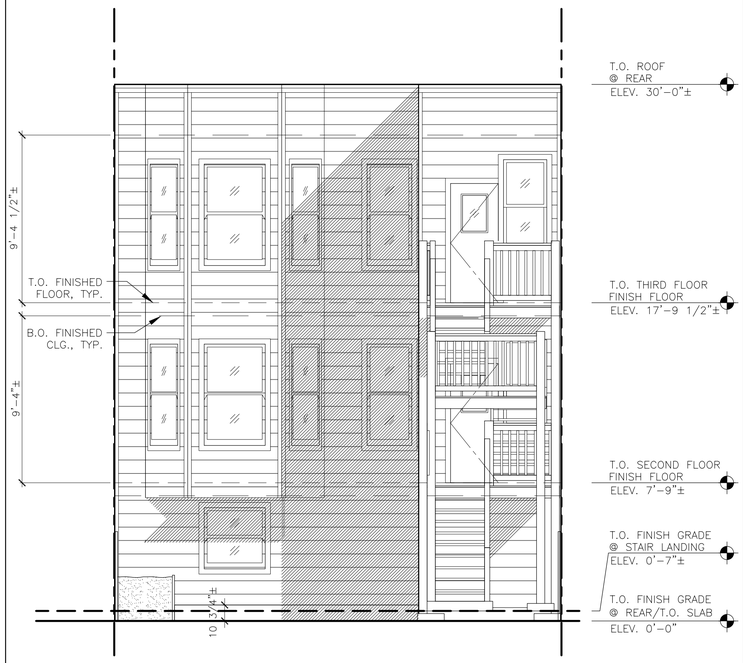
20 NOT USED

23 NOT USED

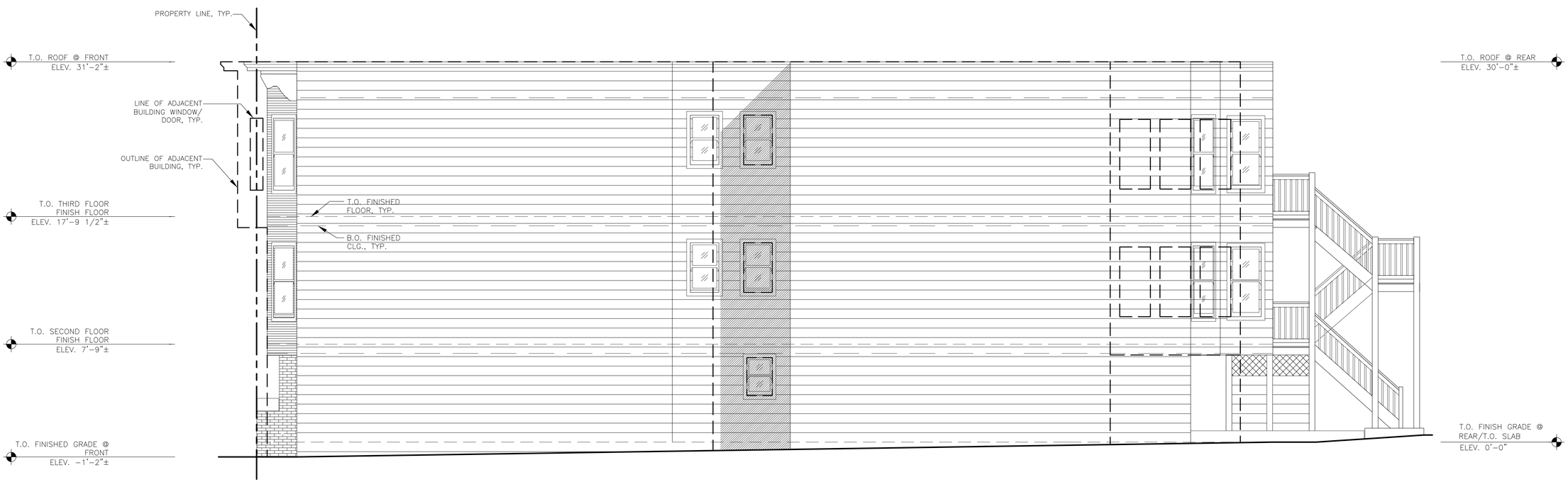
19 NOT USED



15 EXISTING SCHEMATIC ISOMETRIC N.T.S.



7 EXISTING EAST (REAR) ELEVATION 1/4"=1'-0"



21 EXISTING SOUTH (SIDE) ELEVATION 1/4"=1'-0"

B B U D

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PROPOSED ADDITION
AND REMODEL
176 - 178 8TH AVE.
SAN FRANCISCO, CA 94118
APN: 1367 030

NO.:	DATE:	ISSUE:	BY:
	3/20/2013	SITE PERMIT SET	HEB

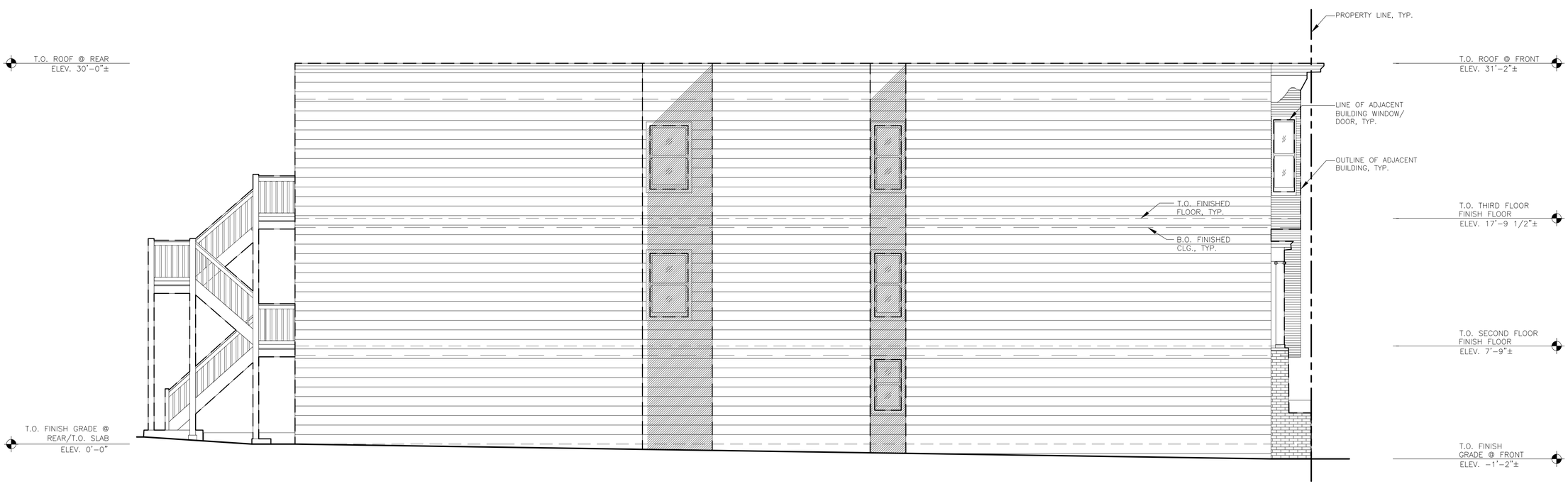
PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
EXISTING
EXTERIOR ELEVATIONS

SHEET NO.:
EC3.0

24 NOT USED	20 NOT USED	16 NOT USED	12 NOT USED	8 NOT USED	4 NOT USED
23 NOT USED	19 NOT USED	15 NOT USED	11 NOT USED	7 NOT USED	3 NOT USED



21 EXISTING NORTH (SIDE) ELEVATION 1/4"=1'-0"

B B U D

BLECHER BUILDING + URBAN DESIGN
3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

PROPOSED ADDITION
AND REMODEL
176 - 178 8TH AVE.
SAN FRANCISCO, CA 94118
APN: 1367 030

NO.:	DATE:	ISSUE:	BY:
	3/20/2013	SITE PERMIT SET	HEB

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
EXISTING
EXTERIOR ELEVATIONS

SHEET NO.:
EC3.1