



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Information:
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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 22nd, 2013**
Time: **Beginning at 9:30 a.m.**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 400**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3964 20th Street Cross Street(s): Between Church & Sanchez Block /Lot No.: 3600/019 Zoning District(s): RH-1/40-X Area Plan: Dolores Heights Special Use district	Case No.: 2013.0230V Building Permit: 2013.03.18.2391 Applicant/Agent: Timothy Rouch Telephone: (510) 986-0467 E-Mail: N/A

PROJECT DESCRIPTION

The proposed work is to add a stairway, at the rear of the two-story, single-family dwelling. The proposed stairway would provide a direct connection between the second floor and the rear yard.

PER SECTION 241 OF THE PLANNING CODE, the subject lot is required to maintain a minimum rear yard depth of 51 feet 4 inches, measured from the rear property line. The proposed second floor stairway would encroach 9 feet 4 inches into the required rear yard to within 42 feet of the rear property line.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Tom Wang** Telephone: **(415) 558-6335** E-Mail: thomas.wang@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0230Vpdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of the required Section 311 notification for this project has been performed.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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ABBREVIATIONS

LEGEND	LEGEND, CONT.
(E) EXISTING	MAX MAXIMUM
(N) NEW	MDF MED. DENSITY
(R) REMOVE	FIBERBOARD
ABV. ABOVE	MDO MED. DENSITY OVERLAY
ADJ. ADJUSTABLE	MECH. MECHANICAL
AFR. ABOVE FINISH FLOOR	MEMB. MEMBRANE
AGGR. AGGREGATE	MFR. MANUFACTURER
ALUM. ALUMINUM	MIN. MINIMUM
APPROX. APPROXIMATE	MISC. MISCELLANEOUS
ASPH. ASPHALT	MTD. MOUNTED
	MTL. METAL
	MW. MICROWAVE
BD. BOARD	N. NORTH
BITUM. BITUMINOUS	N.A. NOT APPLICABLE
B.K.P. BACKING PLATE	N.I.C. NOT IN CONTRACT
B.L.D.G. BUILDING	NFVA NET FREE VENT AREA
BM. BEAM	NO. NUMBER
BOT / B.O. BOTTOM / BOTTOM OF	NOM. NOMINAL
BRG. BEARING	N.T.S. NOT TO SCALE
BRM. BEDROOM	
BSBD. BASEBOARD	OA OVERALL
BTH. BATHROOM	OC ON CENTER
	OD OUTSIDE DIAMETER
CAB. CABINET	OTCI OWNER-FURNISHED,
CEM. CEMENT	CONTRACTOR-INSTALLED
CER. CERAMIC	OFD OVERFLOW DRAIN
C.F. COLD-FORMED	OFN OWNER-FURNISHED,
C.I. CONTROL JOINT	OWNER-INSTALLED
C.L. CENTERLINE	O.H. OPPOSITE HAND
CLG. CEILING	OPN. OPENING
CLG. CAULKING	OPP. OPPOSITE
CLO. CLOSET	
CLR. CLEAR	PP PLUMBING
C.M.U. CONCRETE MASONRY	P.L. PROPERTY LINE
UNIT. COUNTER	PLAM. PLASTIC LAMINATE
C.NTR. C.O. COUNTER OPENING	PLYWD. PLYWOOD
CONC. CONCRETE	PR. PAIR
CONN. CONNECTION	PTD. PAINTED
CONT. CONTINUOUS	PSL. PARALAM
CPT. CARPET	P.T. PRESSURE TREATED
CSMT. CASEMENT WINDOW	Q. QUARRY TILE
C.T. CERAMIC TILE	
CTR. CENTER	R. RADIUS
CTSK. COUNTERSUNK	RA RETURN AIR
	RE. REFER TO
	REFL. REFLECTED
	REFR. REFRIGERATOR
	REINF. REINFORCED
	REQ. REQUIRED
	REV. REVERSED
	RGTR. REGISTER
	RM. ROOM
	R.O. ROUGH OPENING
	R:R RISE : RUN
	RWD. REDWOOD
	RWL. RAIN WATER LEADER
E. EAST	S. SILL HEIGHT (RO)
E.A. EACH	SOUTH
E.J. EXPANSION JOINT	SA SUPPLY AIR
EL. ELEVATION	SEE ARCHITECTURAL
ELEC. ELECTRICAL	
DWGS. DWGS.	
ENCL. ENCLOSURE	SCHED. SCHEDULE
E.P. ELECTRICAL	S.D. SMOKE DETECTOR
SECT. SECTION	SEE ELECTRICAL DWGS
EPS. EXPANDED	SED. SHEET
POLYSTYRENE	SH. SHEET
EQ. EQUIPMENT	SIM. SIMILAR
EQUIV. EQUIVALENT	SIMP. SIMPSON
EW. EACH WAY	SMD. SEE MECHANICAL DWGS
EXIST. EXISTING	SPEC. SPECIFICATION
EXP. EXPANSION	SQ. SQUARE
EXT. EXTERIOR	SS. SEE STRUCTURAL DWGS
	SSTL. STAINLESS STEEL
F.A. FIRE ALARM	STD. STANDARD
FDN. FOUNDATION	STL. STEEL
FIN. FINISH	STOR. STORAGE
FL. FLOOR	STR. STAIR
FLUOR. FLUORESCENT	S.T.S. SELF-TAPPING SCREW
FND. FOUNDATION	STRUCT. STRUCTURAL
FOC. FACE OF CONCRETE	SUSP. SUSPENDED
FOF. FACE OF FINISH	SYM. SYMMETRICAL
FOS. FACE OF STUDS	
FTG. FOOTING	T.B. TOWEL BAR
FUT. FUTURE	T.B.D. TO BE DETERMINED
	T&G. TONGUE & GROOVE
GA. GAUGE	TEL. TELEPHONE
GALV. GALVANIZED	THK. THICK
GLB. GLULAM BEAM	TJI. TRUSS JOIST
GND. GROUND	T.O. TOP OF
GSM. GALVANIZED SHEET	T.S. TUBE STEEL
METAL	TV. TELEVISION
GWB. GYPSUM WALL BOARD	TYP. TYPICAL
GYP. GYPSUM	
	UNF. UNFINISHED
H. HEAD HEIGHT (RO)	U.O.N. UNLESS OTHERWISE
HB. HOSE BIB	NOTED
HDG. HOT-DIP GALVANIZED	
HDR. HEADER	VERT. VERTICAL
HDWD. HARDWOOD	V.G. VERTICAL GRAIN
H.M. HOLLOW METAL	V.V. VERIFY IN FIELD
HORIZ. HORIZONTAL	V.T.R. VENT THROUGH ROOF
H.P. HIGH POINT	
HT. HEIGHT	W. WEST
	W.C. WATER CLOSET
I.D. INSIDE DIAMETER	W.D. WASHER / DRYER
INFO. INFORMATION	WD. WOOD
INSUL. INSULATION	WIN. WINDOW
INT. INTERIOR	W.P. WATERPROOF
	W.R. WATER RESISTANT
J.B. JUNCTION BOX	
J.O.H. JAMB OPENING	
HEIGHT	
J.T. JOINT	
KIT. KITCHEN	
LAM. LAMINATE	
LAV. LAVATORY	
L.P. LOW POINT	
LT. LIGHT	

GENERAL NOTES & SPECIFICATIONS

GENERAL

- All construction work (architectural, mechanical, plumbing, electrical, etc.), shall conform to the latest edition of the California Building Code (2010 California Building Code) and the latest edition of all governing codes and regulations as adopted by the City of San Francisco. All work shall be done in a thorough, workman-like manner and equal to the best standards of the practice.
- All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the National Board of Fire Underwriters, the State Fire Marshal, the Safety Orders of the Division of Industrial Safety, and any applicable state or local laws and ordinance. Nothing on these drawings is to be construed to permit work not conforming to these codes. Any questions regarding installations shall be brought to the Architect for clarification.
- Any errors, omissions, or conflicts found in the various parts of the construction documents shall be brought to the attention of the Architect and the Owner before proceeding with the work.
- Where referenced in notes, 'Architect' shall be Rouch Design + Architecture. 'Owner' shall be Minneola Ingersoll.
- These drawings and specifications are instruments of service for this project and as such are copyrighted and the property of Rouch Design + Architecture. Tim Rouch. Reproduction of these plans in part or whole is limited to the written consent of Rouch Design + Architecture. The Architect's drawings, specifications and related documents are not to be used by the Owner or others on other projects, for additions to this Project, or for completion of this Project by others.
- Examination of the site and portions thereof which will affect this work shall be made immediately by the Contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work. No allowance shall be made for any extra expense to which he may be due because of failure or neglect on his part to make such examinations. Any conflicts or omissions, etc., shall be reported to the Architect before proceeding with any work.
- The Contractor shall examine the existing sub-structure and inground conditions and shall make himself aware of all ground services and supply lines before the commencement of the work. Construction and excavation must be performed with precautions made against the disturbance of neighboring services or supply lines. Subsurface conditions differing from those shown on the drawings and any changes in the nature of the work shall be brought to the attention of the Architect and Owner before proceeding with the work.
- Contractor shall provide Architect and Owner with a complete cost breakdown and schedule of construction for this project prior to commencement of work.
- The drawings indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All demolition and new work necessary for a finished job, in accordance with the intentions of the contract documents, is included regardless of whether shown in the contract documents.
- Contractor shall protect property and adjacent properties and structures as required, new and or existing materials, and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public as required during the period of construction. Damage to new materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with Architect and / or Owner prior to commencement of work. Protect all existing building and site conditions to remain, including walls, finished woodwork, finishes, plaster details, paving, etc.
- The Contractor shall be responsible for any shoring or temporary retaining structures as required in the careful and safe performance of the work. Such support structures shall be constructed such as to guarantee the structural integrity of the building and surrounding grounds during any excavation and or reconstruction of existing retaining walls or foundation.
- Coordinate all work with the existing conditions, including but not limited to structural, mechanical, electrical and outside services.
- The general contractor shall verify and assume responsibility for all dimensions and site conditions.
- Contractor shall provide all seismic bracing and holdown clips as required by code for all ceiling and soffit framing conditions.
- Verify clearances for flues, vent, chases, fixtures, etc.
- Modifications to the flooring material occur at the centerline of the door or framed opening unless otherwise indicated on the drawings.
- All dimensions from (E) construction are taken from finished face or centerline of column. All dimensions to interior partition walls are to centerline of partition, except in the case of corridors, restrooms and elevators where the dimensions are to the face of finish, unless otherwise noted. Dimensions are to top of finished floor in section or elevation unless otherwise noted.
- Written dimensions take precedence. Do not scale the drawings. All dimensions noted "VERIFY" and "VIF" shall be checked by the Contractor, report immediately any variances to the Architect for resolution. Dimensions noted as "CLEAR" or "CLR" are not adjustable without the approval of the Architect.
- All work listed, shown or implied on any construction document shall be supplied and installed by the Contractor except where noted. The Contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance to manufacturers requirements. Work required under this Contract shall include all labor, materials, equipment, etc., necessary to complete this project. All materials shall be new and unused, unless specifically noted, and be of a quality acceptable by industry standards.
- The use of the word 'provide' in connection with any item specified is intended to mean that such item shall be furnished, installed, and connected where so required, except as noted.
- The Contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The Contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
- The Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting in any way, finished areas in or outside the job site.
- The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
- Details shown are typical. Similar details apply in similar conditions.
- The Contractor is cautioned that his work includes alterations to existing facilities. Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of the work, but which may not be specifically included or described in the plans, shall be performed by the contractor and included in his bid.
- The Contractor is encouraged to reuse all materials which are in good condition, where feasible and economical, and where in conformance with code requirements. Replace those which are defective and/or not in conformance with code requirements where reuse is indicated or implied.
- The Contractor shall protect all exposed surfaces from weathering during construction to ensure that building envelope integrity is maintained throughout the life of the work.
- Roofs and decks where in any way affected by the work shall be protected from water impregnation and all precautions shall be taken to ensure against water infiltration at the close of each work day and between periods of work.
- Window sizes and door head heights are nominal dimensions. Refer to manufacturer for actual rough opening sizes. Where locations of windows and doors are not dimensioned they shall be centered on the wall or placed flush with adjacent wall as indicated on the drawings.
- Provide wood backing for all towel bars, and blocking for anchoring miscellaneous steel components where necessary, etc.
- All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
- Shop drawings: Any work that is to be carried out outside the scope of the general contractors direct supervision on a site shall be preceded by a complete set of shop drawings to be executed by the subcontractor responsible for the work. A minimum of (3) three copies of the shop drawings shall be coordinated by the general contractor and submitted promptly to the architect for review. Shop drawings once reviewed by the architect shall be considered part of the contracted work of the project and the installation of such fabricated items shall be coordinated by the contractor and his forces.
- Sample Submissions: All materials and finishes specified or noted by detail reference in these plans shall be submitted by the contractor as a sample to the architect for approval or inspection prior to its installation.
- Site Mock-ups: All special assemblies and or work requiring specific on site handling or workmanship shall be mocked up at full scale on site for approval by the architect for conformance to the plans and specifications in consistency with the intended quality and finish.

SPECIALTIES:

- Required smoke detectors and alarms shall have primary power provided by the building's hard wiring and shall have battery backup power.
 - Provide flashing at all exterior penetrations following SMACNA (Sheet Metal and Air Conditioning National Assoc.) standards using hot-dipped galvanized sheet metal or better.
- PROJECT CLOSEOUT:**
- Contractor shall review project with Architect and/or Owner to ensure that all requirements of the contract documents have been followed.
 - Contractor shall obtain all required certificates and notices.
 - All work performed shall be clean and ready for use.
 - Upon completion, the Architect and the Contractor shall, at the Owner's request, compile a project punch list noting any corrections or omissions. Architect's acceptance will be cause for final payment, unless specifically determined otherwise by Owner.
 - All materials for use on a project shall be stored within the project site.
 - Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the Contractor's behalf, continuously on site during working hours.
 - All questions regarding project either during bidding phase or during construction shall be directed to Tim Rouch of Rouch Design + Architecture at: (510) 986-0467.

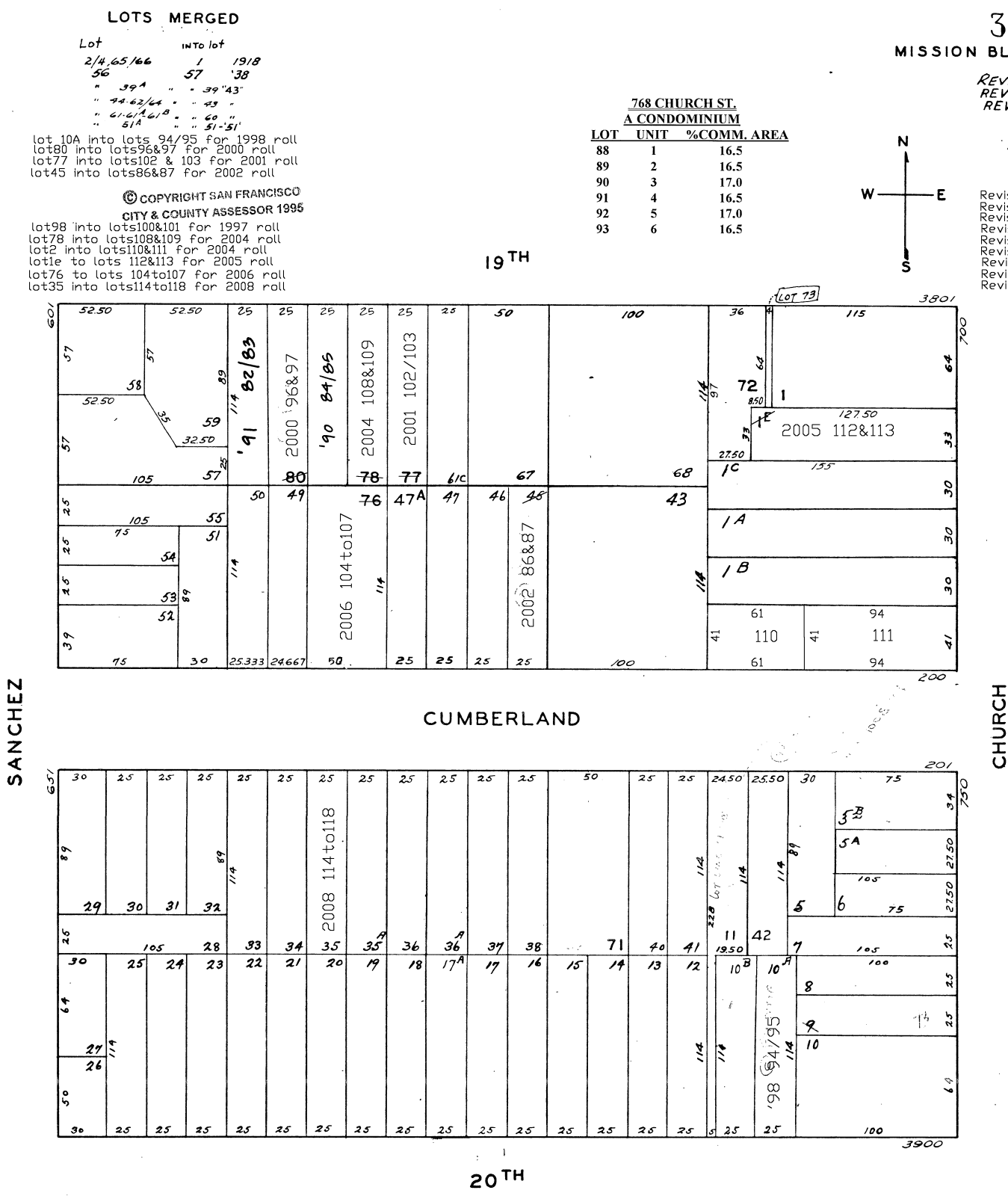


SUBJECT PROPERTY :

3964 20TH ST.
SAN FRANCISCO, CA 94114
ASSESS. BLOCK / LOT: 3600 / 019

VICINITY MAP

12

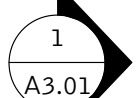


PARCEL MAP

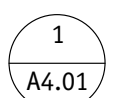
10



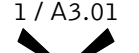
SECTIONAL VIEW
LOCATIONS



EXTERIOR
ELEVATIONS



DETAIL NUMBER / SHEET
NUMBER



PERSPECTIVES



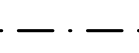
PROPERTY CORNER
DEMARCATIONS



NEW FRAMED WALLS



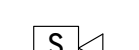
EXISTING WALL TO REMAIN



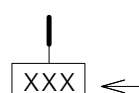
BEAM / STRUCTURAL
AXIS



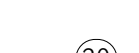
CARBON MONOXIDE
DETECTOR



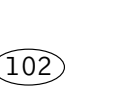
SMOKE DETECTOR:
HARD-WIRED,
INTERCONNECTED



PARTITION TYPE DESIGNATION,
RATING DESIGNATION,



KEY NOTE DESIGNATION:
SEE KEY NOTE LEGEND



DOOR TYPE NUMBER



WINDOW TYPE NUMBER

DRAWING SYMBOLS

5

INGERSOLL RESIDENCE :: STAIR IN REAR YARD

3964 20TH ST. SAN FRANCISCO CA 94114

ASSESSORS' BLOCK / LOT NO. 3600 / 019

PROJECT DIRECTORY

SITE	3964 20th Street San Francisco, CA 94114 Cross Streets: betw. Church St. & Sanchez St.
OWNER	Minneola Ingersoll 3964 20th St. San Francisco, CA 94114 Tel: (650) 862-5098
ARCHITECT	Rouch Design + Architecture (rD+A) Contact: Tim Rouch, AIA License: CA29111 Expire Date: 30-Apr-13 Address: 370 Belmont St. #5 Oakland, CA 94610 Tel/Fax: (510) 986-0467 Cel: (510) 693-5703 Email: timr@rd-a.net
STRUCTURAL	TO BE DETERMINED
CONTRACTOR	TO BE DETERMINED

DRAWING INDEX

SHEET #	DRAWING TITLE	PRE-APP MEETING 12-05-2012	VARIANCE APPL' 12-14-2012
A0.00	COVER SHEET / PROJECT INFO	*	*
A0.01	EXISTING CONTEXT PHOTOS	*	*
A1.01	SITE PLAN: EXISTING & PROPOSED	*	*
A2.00	FLOOR PLANS: EXISTING & PROPOSED	*	*
A3.01	EXTERIOR EAST ELEVATION : EXISTING & PROPOSED	*	*
A3.02	EXTERIOR NORTH ELEVATION : EXISTING & PROPOSED	*	*

PROJECT DESCRIPTION

CONSTRUCT AN EXTERIOR STAIR IN THE REAR YARD GOING FROM THE EXISTING UPPER FLOOR DOWN TO THE REAR YARD. RELATED WORK INCLUDES THE REMOVAL OF ONE (1) EXISTING WINDOW AND REPLACING IT WITH A NEW DOOR.

PROJECT DATA

PROJECT ADDRESS:	3964 20TH STREET SAN FRANCISCO, CA 94114
ASSESSOR'S BLOCK / LOT NO.:	3600 / 019
NEIGHBORHOOD:	CASTRO / UPPER MARKET
LENGTH OF LOT FRONTAGE:	25'0"
DEPTH OF LOT:	114'0"
LOT AREA:	2,850 SQ.FT.
YEAR BUILT:	1906
ZONING:	RH-1 (RESIDENTIAL HOUSE, ONE-FAMILY)
SPECIAL USE DISTRICT:	DOLORES HEIGHTS (S.F. PLANN'G CODE SECT. 241)
SIGNAGE DISTRICT:	N/A
HEIGHT & BULK DISTRICT:	40-X
FRONT SETBACK:	5'0"
REAR YARD SETBACK:	45% OF TOTAL LOT DEPTH (DOLORES HTS. S.U.D.)
OCCUPANCY GROUP:	R-3
USE:	SINGLE FAMILY DWELLING
TYPE OF CONSTRUCTION:	V-B
STORIES:	TWO (2) - EXISTING (NO CHANGE)

	EXISTING	PROPOSED	PERMITTED
NUMBER OF DWELLING UNITS	ONE (1)	ONE (1)	TWO (2)
BUILDING SQUARE FOOTAGE	2,174 SQ.FT.	2,174 SQ.FT.	N/A
NUMBER OF STORIES	TWO (2)	TWO (2)	N/A
BUILDING HEIGHT	25 FEET	25 FEET	35 FEET
BUILDING DEPTH (FROM FRONT PROPERTY LINE)	68'-0" ±	72'-1" ±	62'-8" ±

APPLICABLE BUILDING CODES:

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF:
2010 CITY OF SAN FRANCISCO AMENDMENTS
2010 CALIFORNIA BUILDING CODE (CBC)
2010 CALIFORNIA RESIDENTIAL CODE (CRC)
2010 CALIFORNIA FIRE CODE (CFC)
2010 CALIFORNIA GREEN BUILDING CODE (CGC)
2010 CALIFORNIA PLUMBING CODE (CPC)
2010 CALIFORNIA MECHANICAL CODE (CMC)
2010 CALIFORNIA ELECTRICAL CODE (CEC)
2010 CALIFORNIA ENERGY CODE (TITLE 24, PART 6)

REGARDLESS OF WHAT IS SHOWN ON DRAWINGS OR NOT, ALL WORK SHALL COMPLY WITH THE FOLLOWING CALIFORNIA ADMINISTRATIVE CODES:

TITLE 19 PUBLIC SAFETY
TITLE 24 BUILDING STANDARDS
CAL / OSHA CONSTRUCTION SAFETY ORDERS
LIFE SAFETY CODE

PROJECT DATA

1

rD+A

370 Belmont St. #5
Oakland, CA 94610
P: 510.986.0467
M: 510.693.5703
F: 510.986.0467

INGERSOLL RESIDENCE : STAIR IN REAR YARD

Project Address:
3964 20TH ST.
SAN FRANCISCO, CA 94114
ASSESSORS BLOCK / LOT : 3600 / 019
Project Owner:
MINNEOLA INGERSOLL
3964 20TH ST.
SAN FRANCISCO, CA 94114

No.	Date	Description
12.14.12		VARIANCE APPL'
12.05.12		PRE-APP MEET'G
Issue/Revision		
Project ID	1204	
Issue Date:	12.05.12	
Plot Date:	12.05.12	
Copyright © 2012 Tim Rouch		

Sheet Title

PROJECT
INFO

A0.00

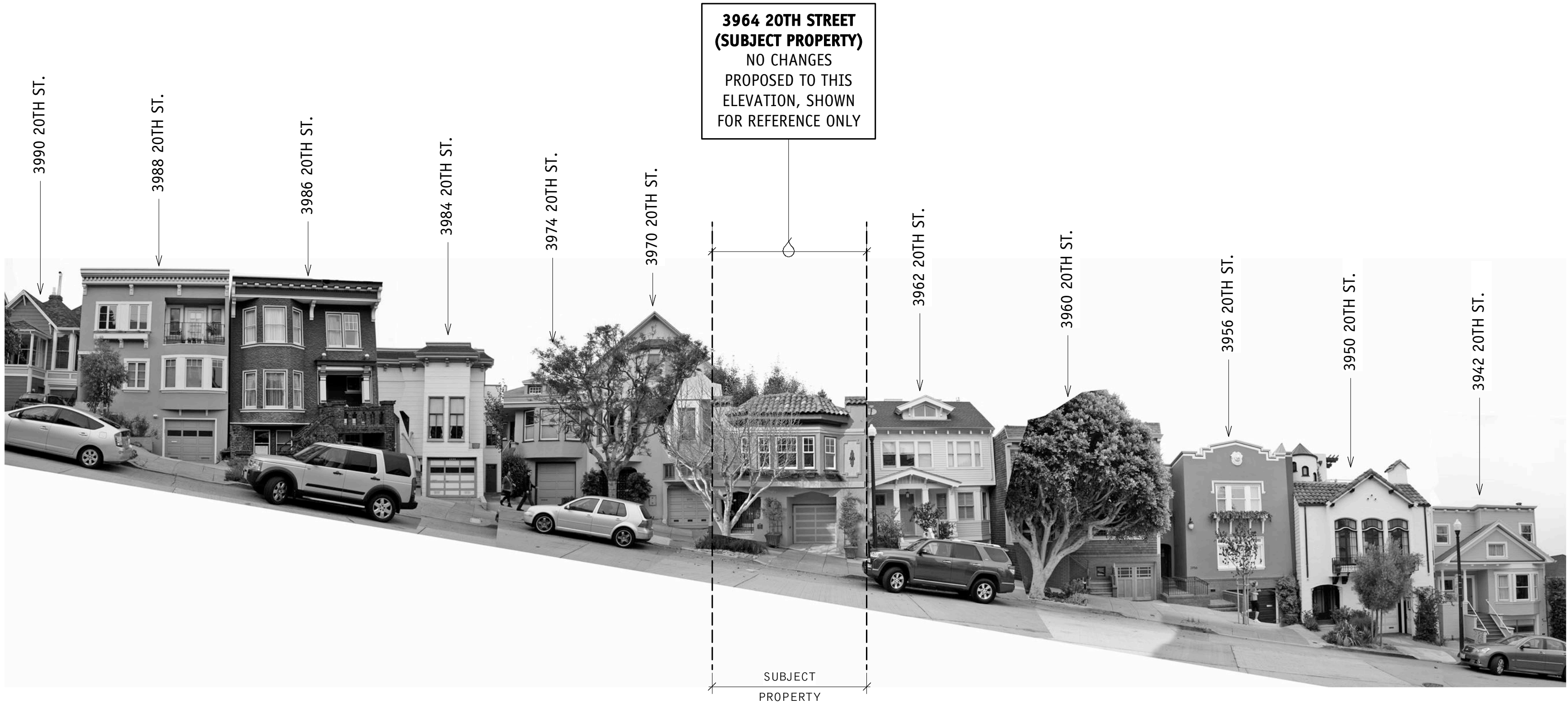
ROUGH DESIGN + ARCHITECTURE OWNS ALL COPYRIGHTS AND OTHER INTELLECTUAL PROPERTY RIGHTS IN THIS WORK PRODUCT AND IT IS PROTECTED BY UNITED STATES COPYRIGHT LAWS AND INTERNATIONAL TREATY PROVISIONS. ANY REPRODUCTION OR USE WITHOUT PERMISSION IS STRICTLY PROHIBITED.



NOTE: NO CHANGES PROPOSED TO THIS ELEVATION, SHOWN FOR REFERENCE ONLY

PHOTO OF SUBJECT PROPERTY FROM 20TH ST. (SOUTH ELEVATION)

4



PANORAMA OF EXISTING SITE CONTEXT : 20TH STREET LOOKING NORTH

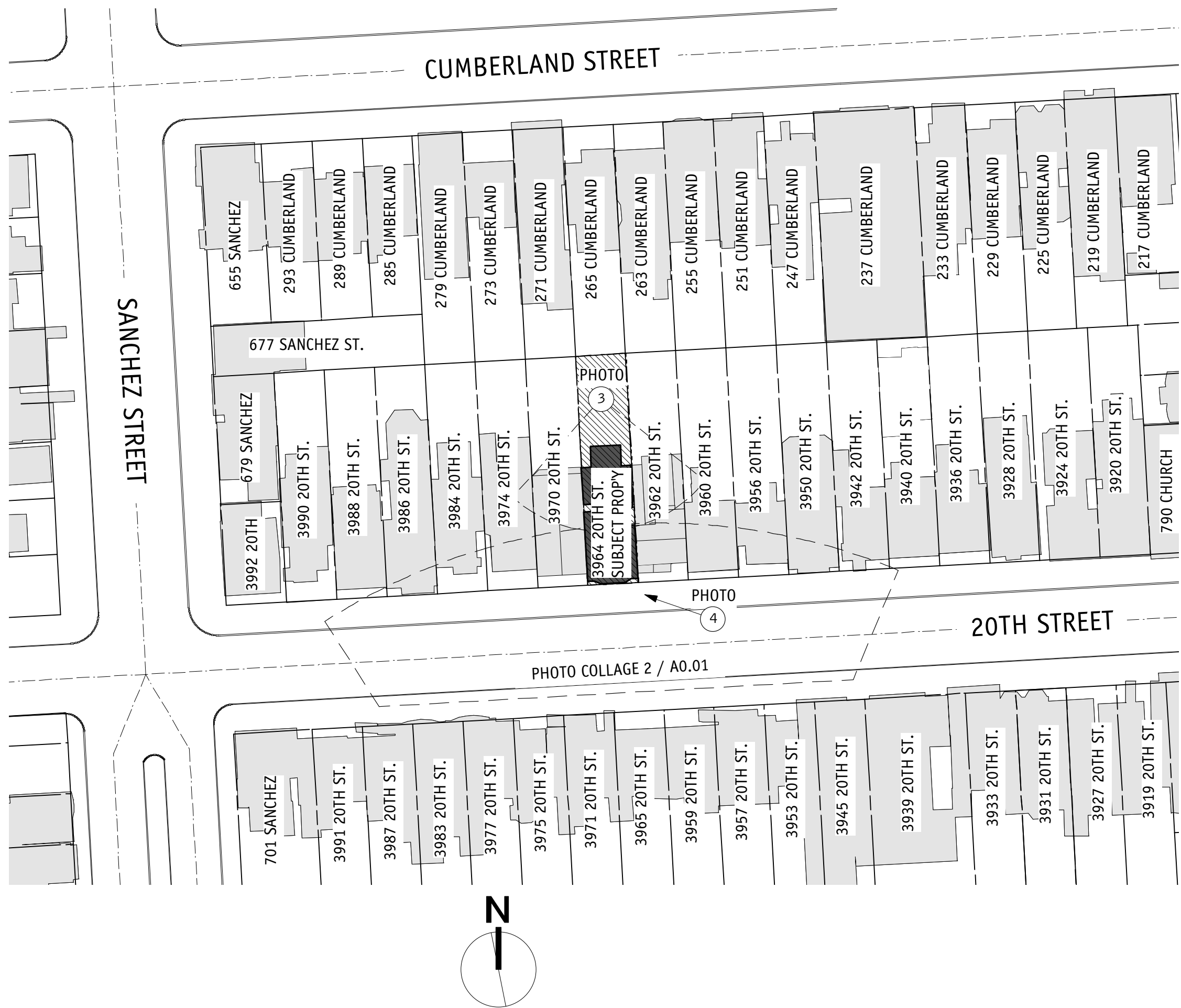
NOT TO SCALE

2



PHOTO OF EXISTING SITE CONTEXT FROM REAR YARD (NORTH ELEVATION)

3



SITE PLAN OF PHOTO LOCATIONS

1" = 50 ft

1

rD+A

370 Belmont St. #5
Oakland, CA 94610
P: 510.986.0467
M: 510.693.5703
F: 510.986.0467



INGERSOLL RESIDENCE : STAIR IN REAR YARD

Project Address:
3964 20TH ST.
SAN FRANCISCO, CA 94114
Assessors Block / Lot : 3600 / 019
Project Owner:
MINNEOLA INGERSOLL
3964 20TH ST.
SAN FRANCISCO, CA 94114

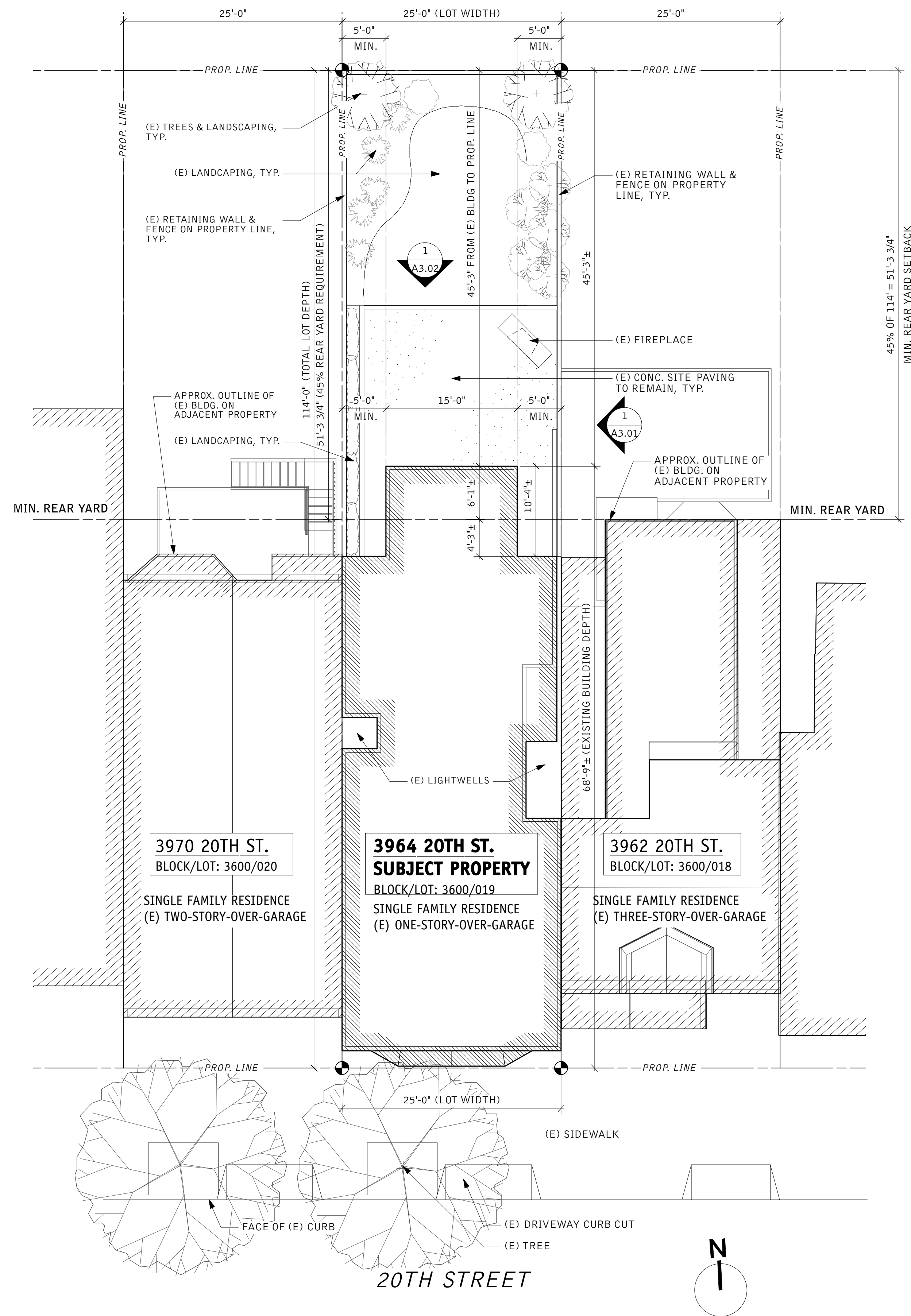
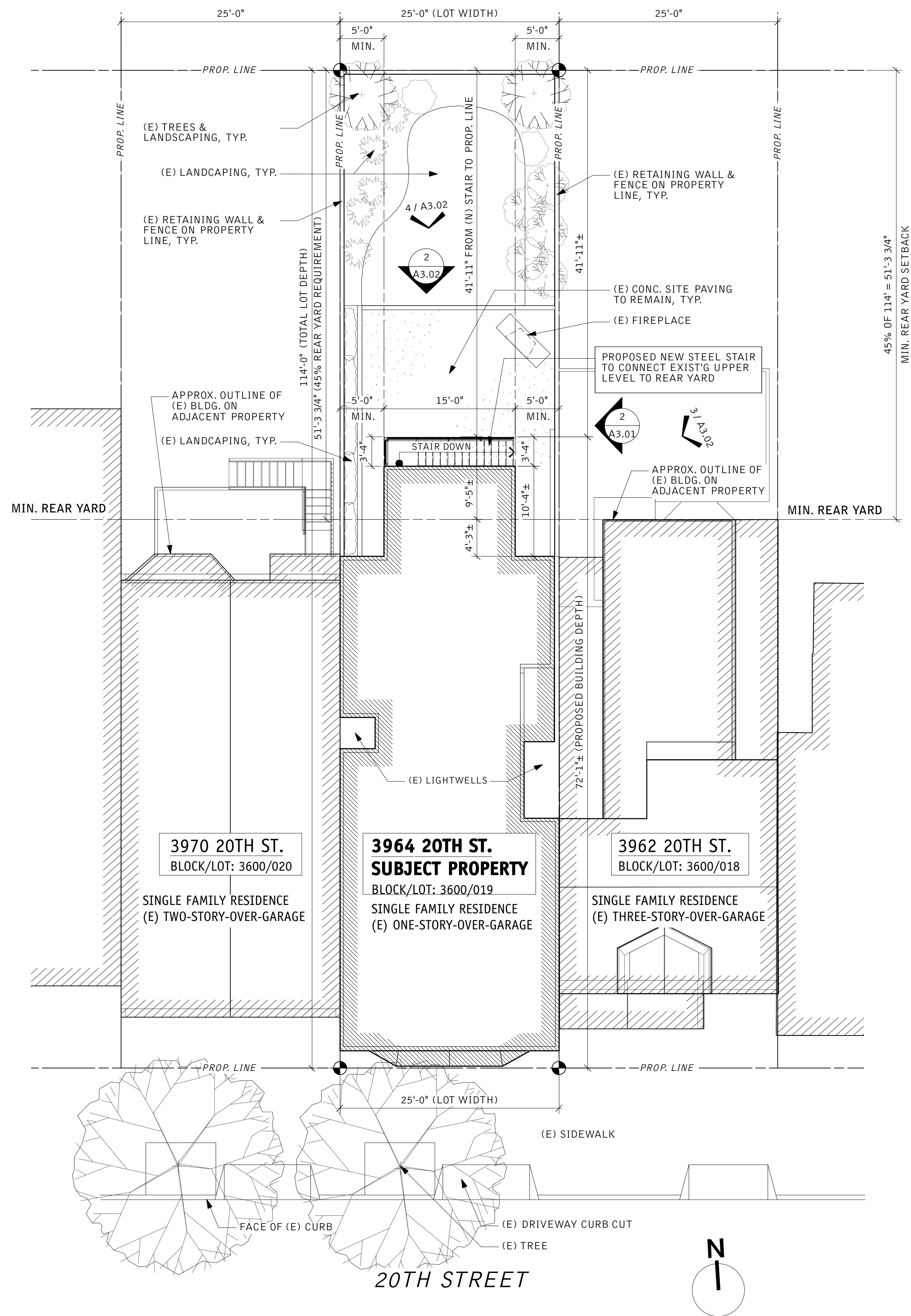
12.14.12	VARIANCE APPL
12.05.12	PRE-APP MEET'G
No. Date	Description
Issue/Revision	
Project ID	1204
Issue Date:	12.05.12
Plot Date:	12.05.12

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Sheet Title
EXISTING
CONTEXT
PHOTOS

A0.01

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INGERSOLL RESIDENCE : STAIR IN REAR YARD

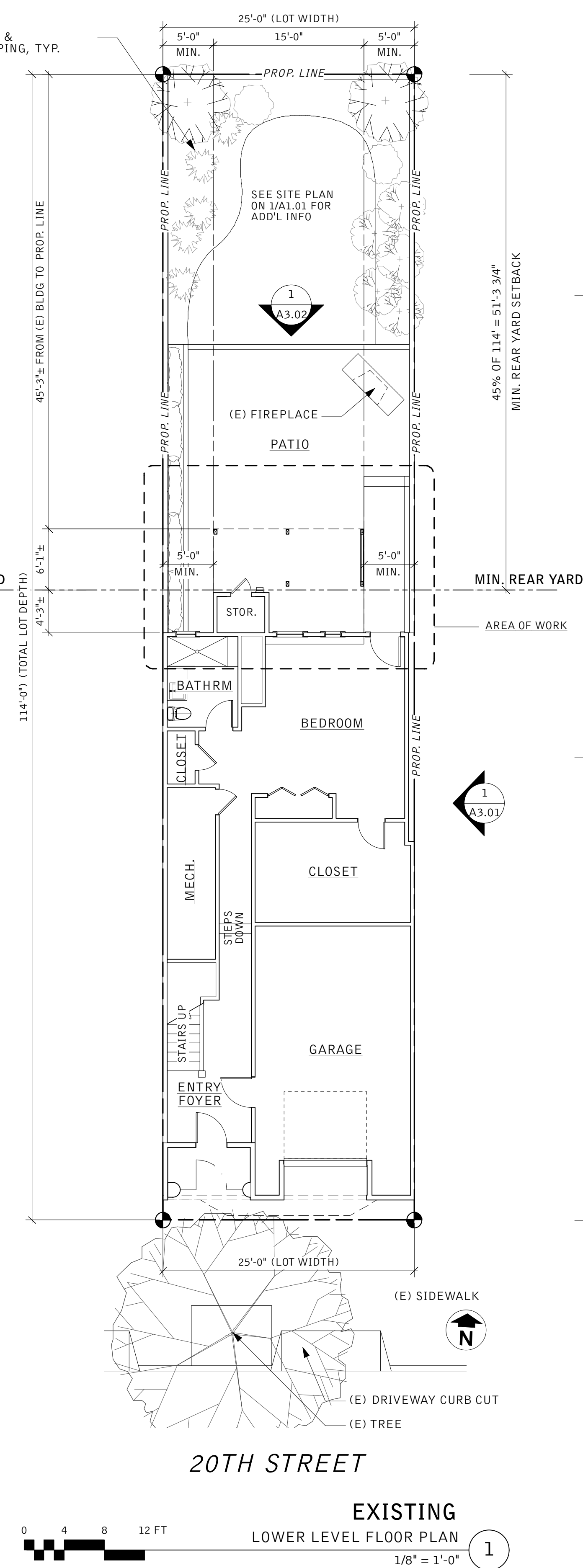
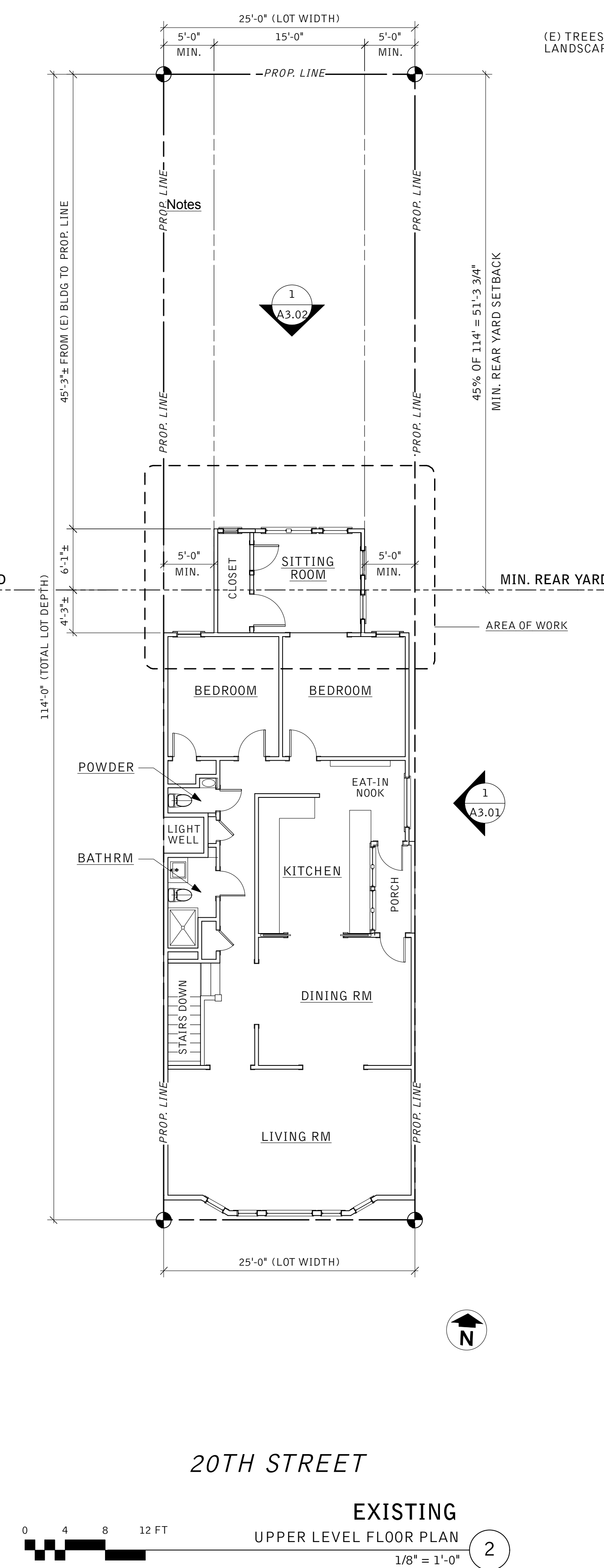
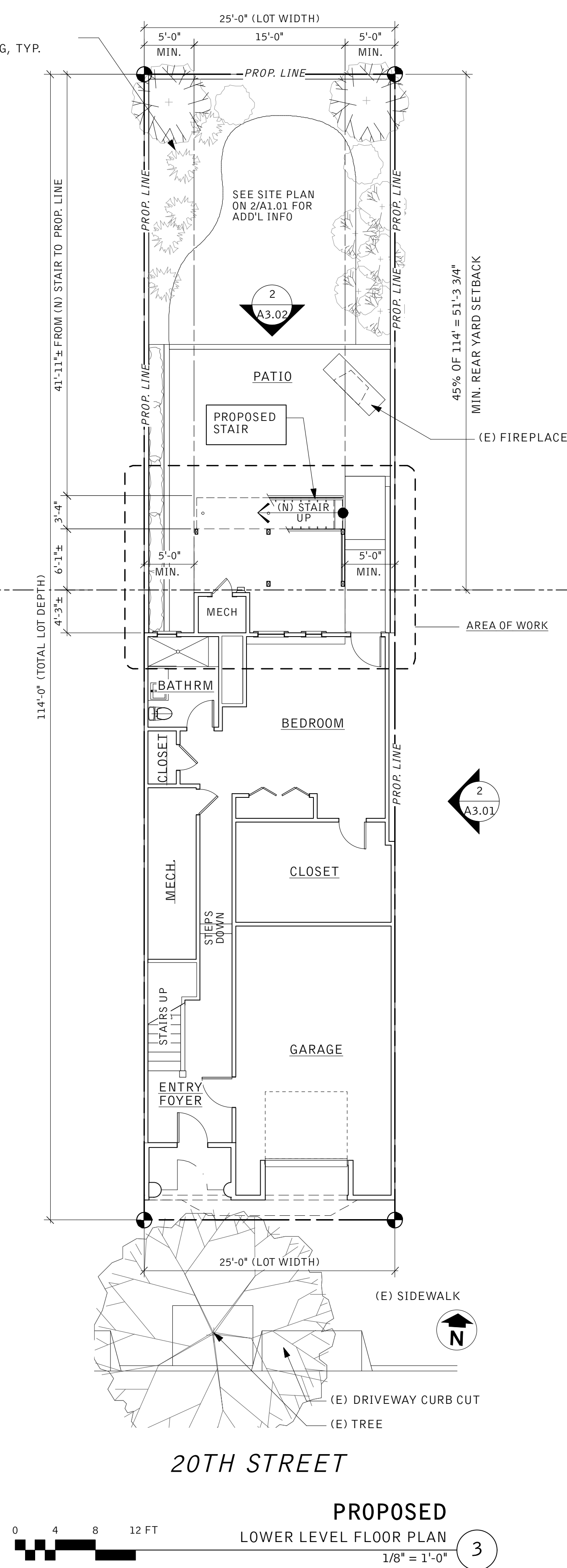
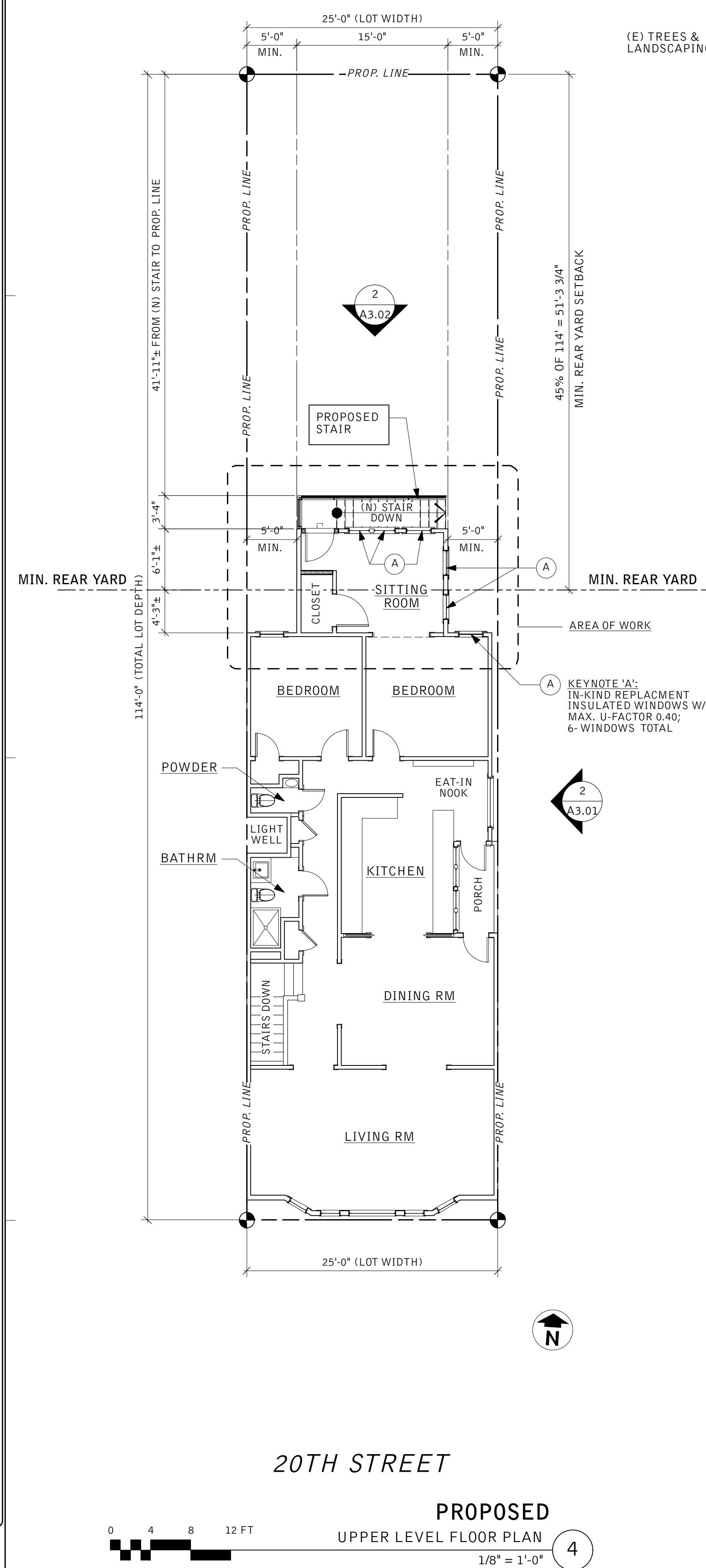
Project Address:
3964 20TH ST.
SAN FRANCISCO, CA 94114
Assessors Block / Lot : 3600 / 019
Project Owner:
MINNEOLA INGERSOLL
3964 20TH ST.
SAN FRANCISCO, CA 94114

12.14.12	VARIANCE APPL
12.05.12	PRE-APP MEET'G
No. Date	Description
Issue/Revision	
Project ID	1204
Issue Date:	12.05.12
Plot Date:	12.05.12

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Sheet Title
**SITE PLAN:
EXISTING &
PROPOSED**

A1.01





Project Address:
3964 20TH ST.
SAN FRANCISCO, CA 94114
ASSESSORS BLOCK / LOT : 3600 / 019

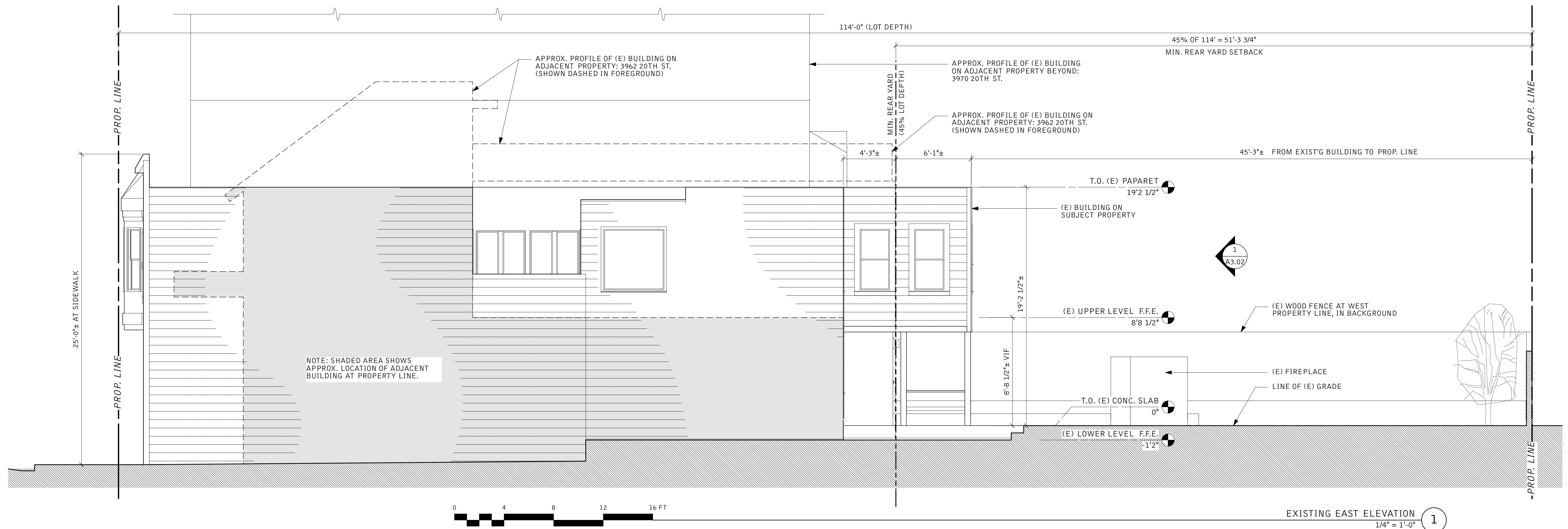
Project Owner:
MINNEOLA INGERSOLL
3964 20TH ST.

12.14.12	VARIANCE APP
12.05.12	PRE-APP MEET
Date	Description
e/Revision	
ject ID	1204
e Date:	12.05.12
t Date:	12.05.12

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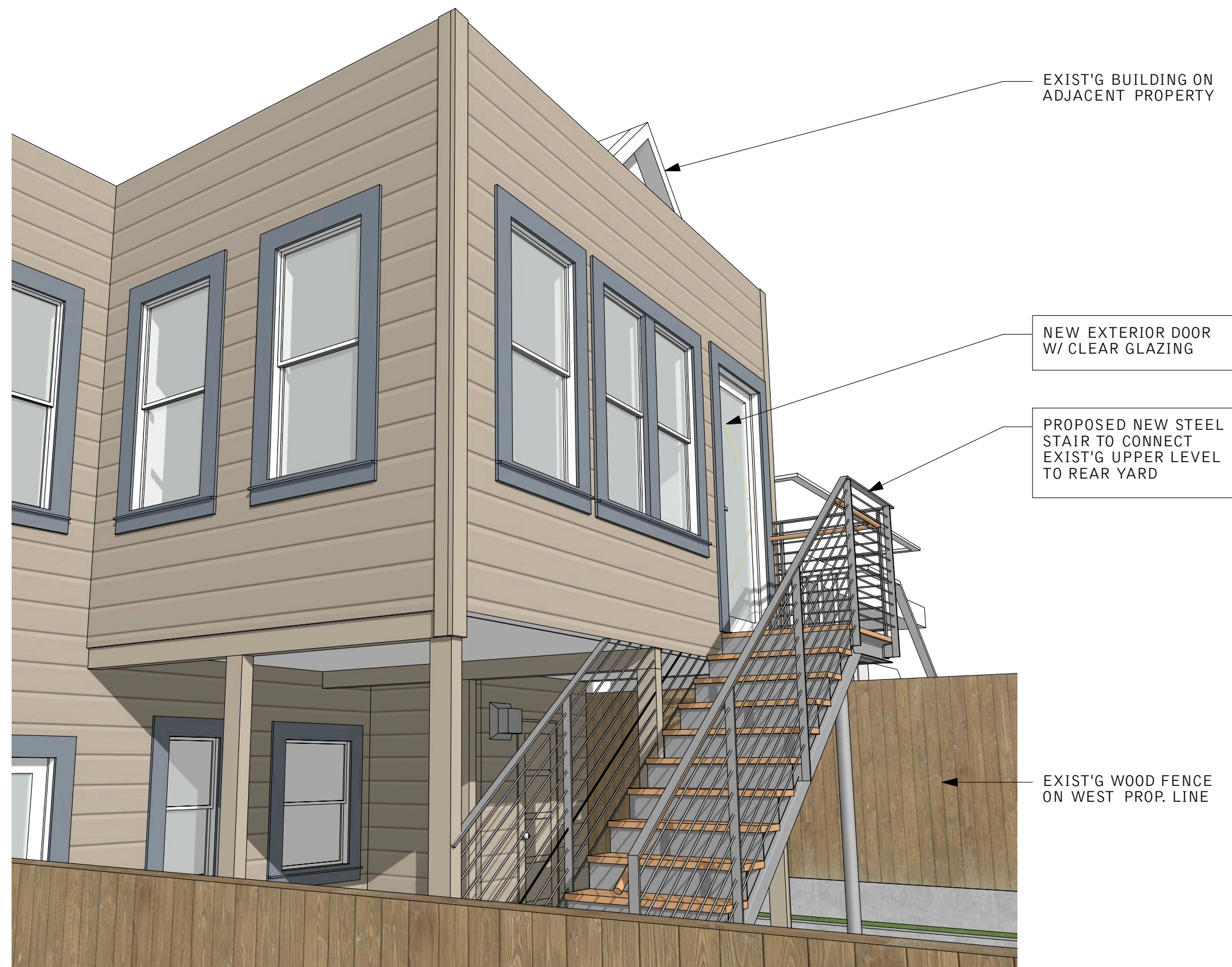
EAST ELEVATIONS: EXISTING & PROPOSED

A3.01





PROPOSED PERSPECTIVE VIEW FROM NORTH
NOT TO SCALE 4



PROPOSED PERSPECTIVE VIEW FROM ADJACENT PROPERTY (3962 20TH ST)
NOT TO SCALE 3

