



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
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San Francisco,  
CA 94103-2479

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**415.558.6377**





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 22, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>85 Miguel Street</b>	Case No.:	<b>2013.0198V</b>
Cross Street(s):	<b>Bemis Street</b>	Building Permit:	<b>201302281215</b>
Block / Lot No.:	<b>6665/023E</b>	Applicant/Agent:	<b>Robert Crum</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>415-645-3005</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>rob@robert-crum.com</b>

### PROJECT DESCRIPTION

The project is to legalize an exiting basement level deck, stairs and enclosure located below an existing 1st floor deck at the rear. The project also involves the addition of 1-hour rated firewalls along the west and east sides of the basement level deck.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 20'-0". The rear addition proposed for legalization along with the construction of new firewalls encroach 14'-6" into the required rear yard, resulting in a rear yard of approximately 5'-6". Therefore, the proposal to legalize the rear deck, stairs and enclosure at the basement level requires a variance.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Adrian C. Putra** Telephone: **415-575-9079** Mail: [adrian.putra@sfgov.org](mailto:adrian.putra@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0198V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378



# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On April 2, 2013, the Department issued the required Section 311 notification for this project (expires May 2, 2013).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

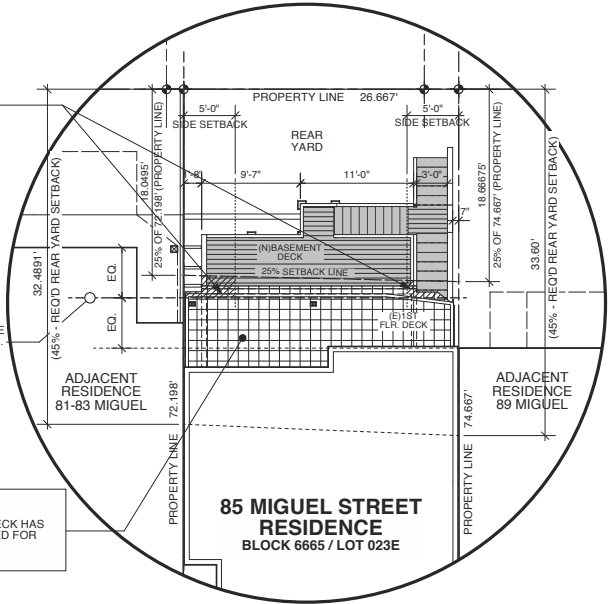
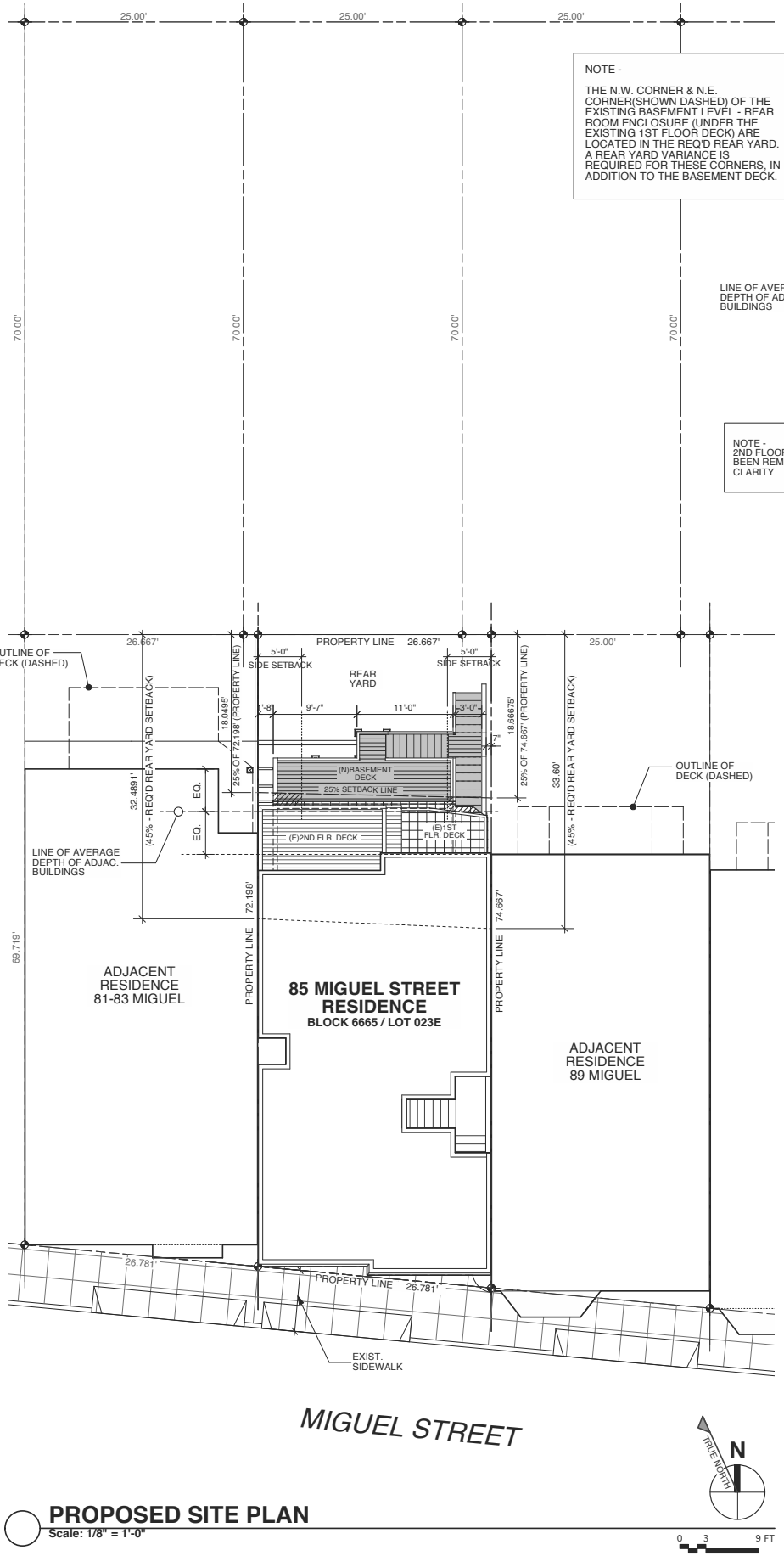
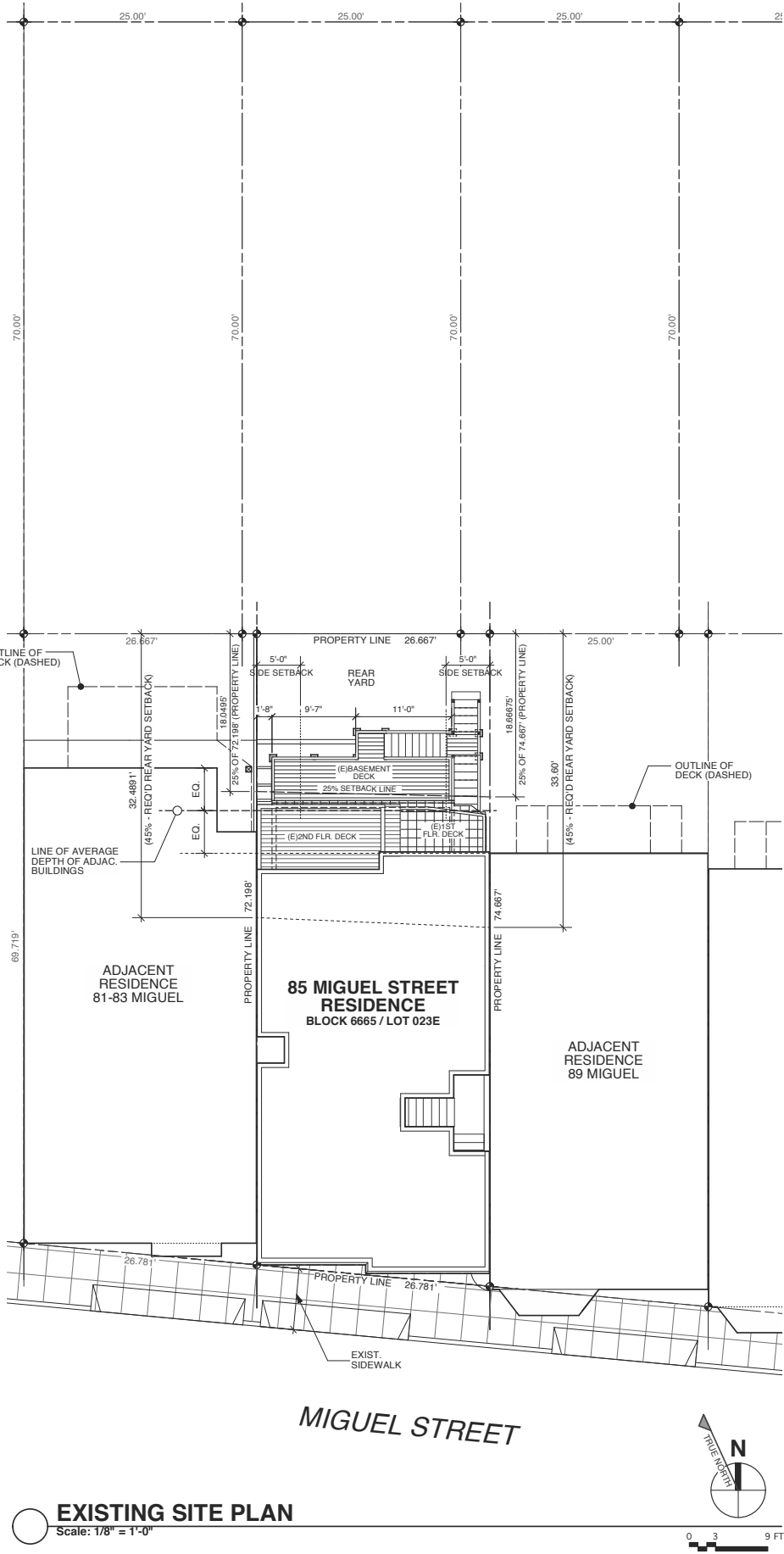
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.





**PARTIAL PROPOSED SITE PLAN**  
Scale: 1/8" = 1'-0"

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san francisco  
rob@robert-crum.com | 415.645.3005

PRINTING RECORD

DATE	ACTION
2/28/2013	SITE PERMIT

PROJECT:

## MIGUEL STREET RESIDENCE

85 MIGUEL STREET  
SAN FRANCISCO, CA. 94131  
BLOCK # 6665 LOT # 023E

SHEET TITLE:  
EXISTING SITE PLAN  
PROPOSED SITE PLAN

DESIGNED: R.C.	SHEET NUMBER:
DRAWN: R.C.	A1.0
SIGNATURE: ROBERT CRUM	
SCALE: AS SHOWN	



**TITLE 24 COMPLIANCE NOTES:**

1. KITCHENS: A MINIMUM OF 50% OF TOTAL WATTAGE OF PERMANENTLY INSTALLED LIGHTING IN KITCHENS TO BE HIGH EFFICACY (FLUORESCENT). LIGHTS THAT ARE NOT HIGH EFFICACY MUST BE SWITCHED SEPARATELY. LIGHTING IN ADJACENT AREAS, SUCH AS A NOOK, ARE NOT CONSIDERED KITCHEN LIGHTING AS LONG AS IT IS SWITCHED SEPARATELY.

2. LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOM AND UTILITY ROOMS MUST BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A TITLE 24 COMPLIANT OCCUPANT SENSOR.

3. LIGHTING IN AREAS OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOM AND UTILITY ROOMS SHALL BE HIGH EFFICACY OR EITHER CONTROLLED BY A DIMMER SWITCH OR OCCUPANT SENSOR.

4. RECESSED LIGHTS IN INSULATED CEILINGS MUST BE IC AND AT(AIR TIGHT) RATED.

5. EXTERIOR BUILDING MOUNTED LIGHTING MUST BE HIGH EFFICACY OR CONTROLLED BY A COMPLIANT MOTION SENSOR WITH INTEGRAL PHOTOCONTROL.

6. COMMON AREAS OF LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE UNITS MUST BE HIGH EFFICACY OR CONTROLLED BY A TITLE 24 COMPLIANT OCCUPANT SENSOR.

**ELECTRICAL LEGEND**

○ RECESSED 4" INCANDESCENT LIGHT FIXTURE, W/ IC RATED HOUSING

⊙ RECESSED 4" FLUORESCENT LIGHT FIXTURE, W/ IC RATED HOUSING

⊙ 4" (5" ETC.) RECESSED WATERPROOF LIGHT FIXTURE

⊙ CEILING MOUNTED INCANDESCENT FIXTURE

⊙ CEILING MOUNTED PENDANT FIXTURE

⊙ WALL MOUNTED SCONCE FIXTURE @ +80" A.F.F.L.R. U.O.N

⊙ HARDWIRED SMOKE DETECTOR

⊙ CEILING MOUNTED FLUORESCENT FIXTURE

**POWER/CONTROL LEGEND**

⊙ DUPLEX OUTLET @ +12" UON

⊙ GFI DUPLEX OUTLET @ +42" UON

⊙ FOURPLEX OUTLET @ +12" UON

⊙ GFI / W.P. OUTLET @ +24" UON

⊙ 220 V OUTLET @ +30"

⊙ DIRECT WIRED APPLIANCE / VERIFY HT. IN FIELD

⊙ SWITCHED SINGLE APP. OUTLET VERIFY HT. IN FIELD

⊙ LIGHT SWITCH @ +48" A.F.F. UON

⊙ 3-WAY LIGHT SWITCH; (4-WAY ETC...) @ +48" A.F.F.

⊙ DIMMER LIGHT SWITCH @ +48" A.F.F.

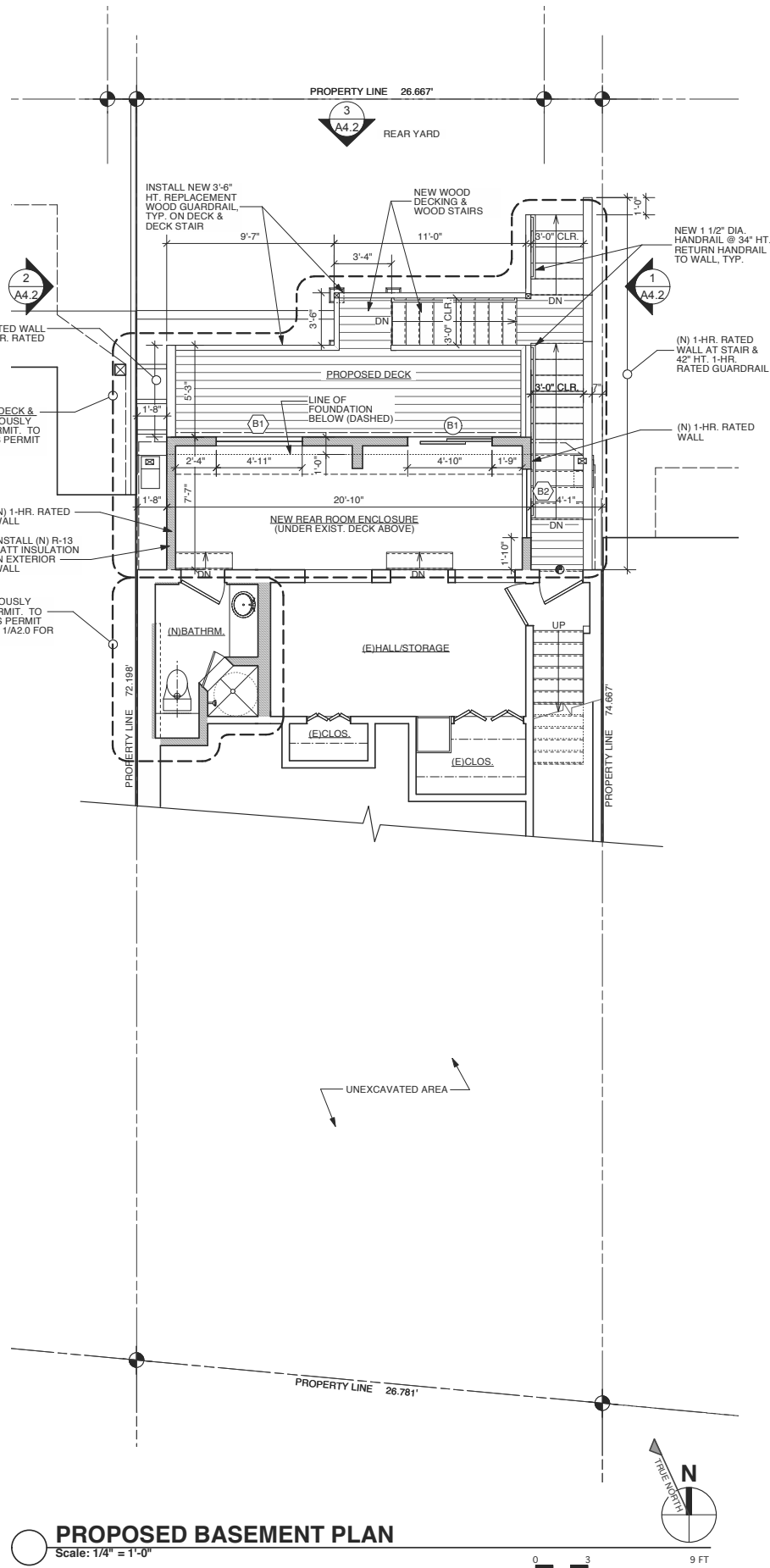
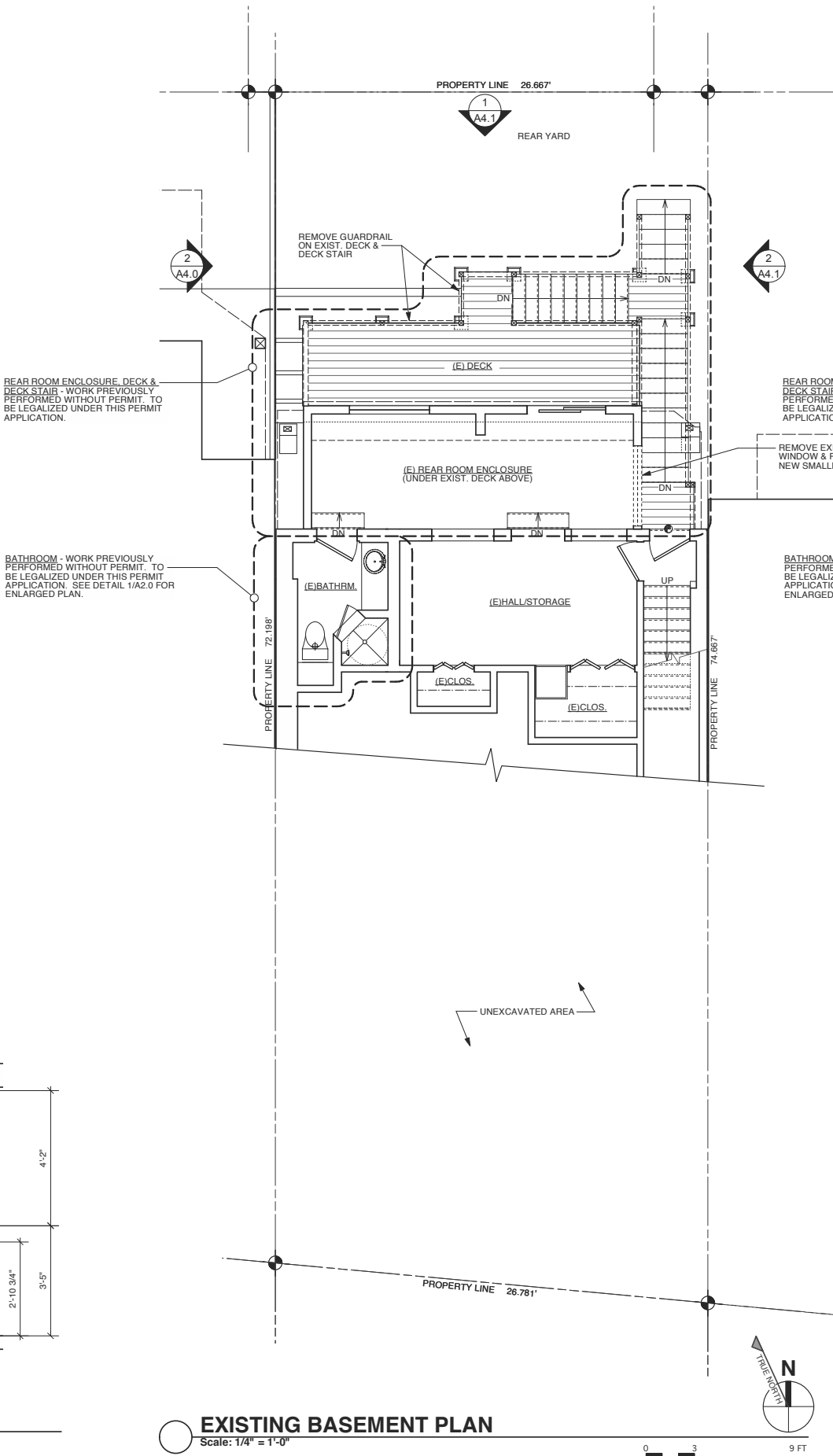
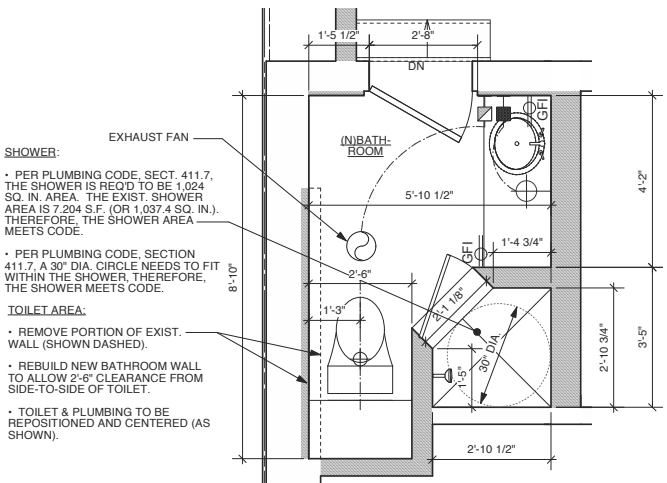
⊙ 3-WAY DIMMER LIGHT SWITCH @ +48" A.F.F.

⊙ REVERSABLE & VARIABLE CEILING FAN SWITCH @ +48" A.F.F. UON

⊙ OCCUPANCY SENSOR SWITCH W/ DIMMER CONTROL @ +48" A.F.F. UON

⊙ VOLUME CONTROL SWITCH @ +48" A.F.F. UON

⊙ VOLUME CONTROL W/ INFRARED @ +48" A.F.F. UON



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PRINTING RECORD	
DATE	ACTION
2/28/2013	SITE PERMIT

PROJECT:

**MIGUEL STREET RESIDENCE**

85 MIGUEL STREET  
SAN FRANCISCO, CA. 94131  
BLOCK # 6665 LOT # 023E

SHEET TITLE:  
**EXISTING BASEMENT PLAN  
PROPOSED BASEMENT PLAN**

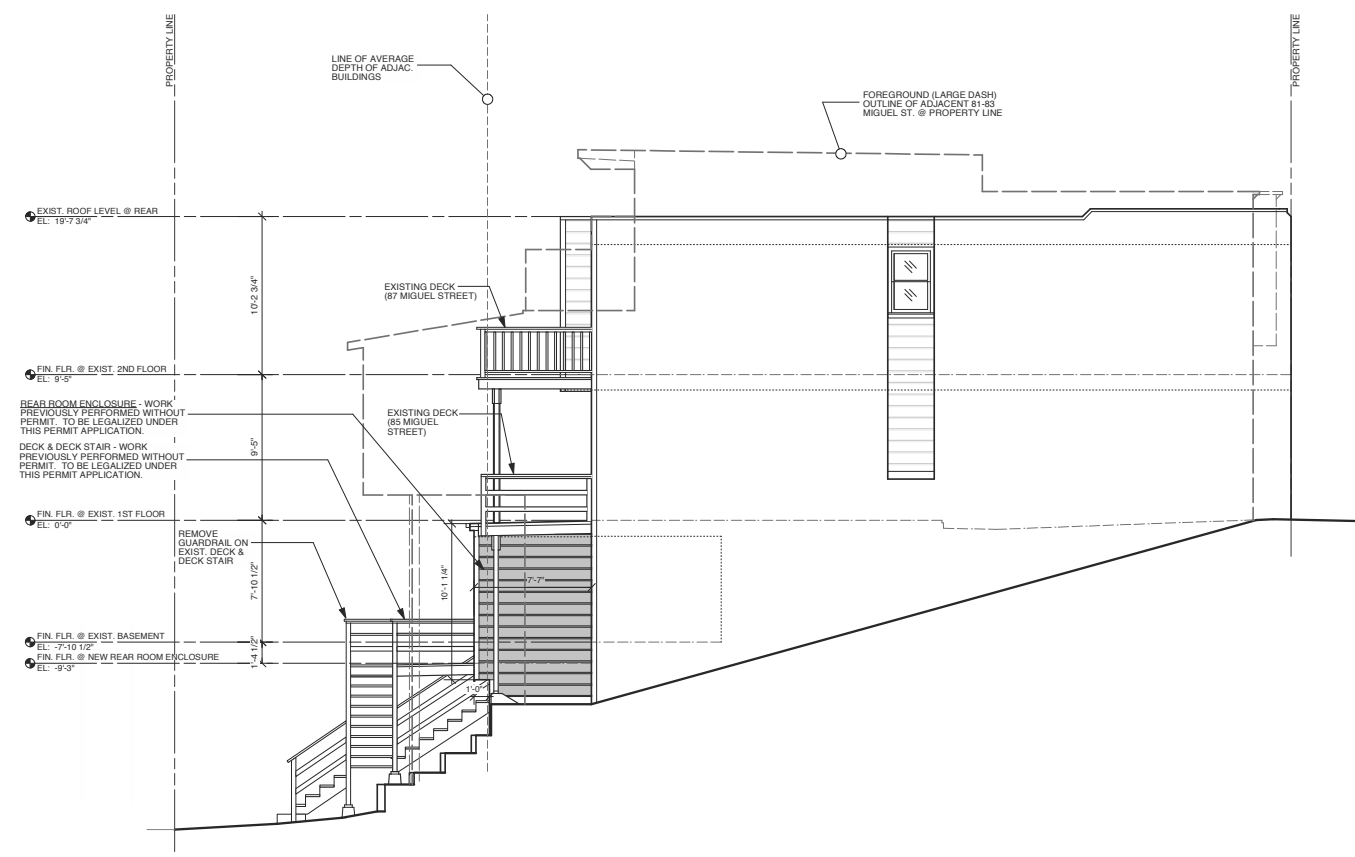
DESIGNED: R.C.  
DRAWN: R.C.

SIGNATURE: ROBERT CRUM

SCALE: AS SHOWN

SHEET NUMBER:  
**A2.0**

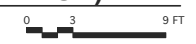




2 EXISTING WEST (SIDE) ELEVATION



1 EXISTING SOUTH (MIGUEL STREET) ELEVATION - (NO WORK ON THIS ELEVATION)



PRINTING RECORD	
DATE	ACTION
2/28/2013	SITE PERMIT

PROJECT:

**MIGUEL STREET  
RESIDENCE**

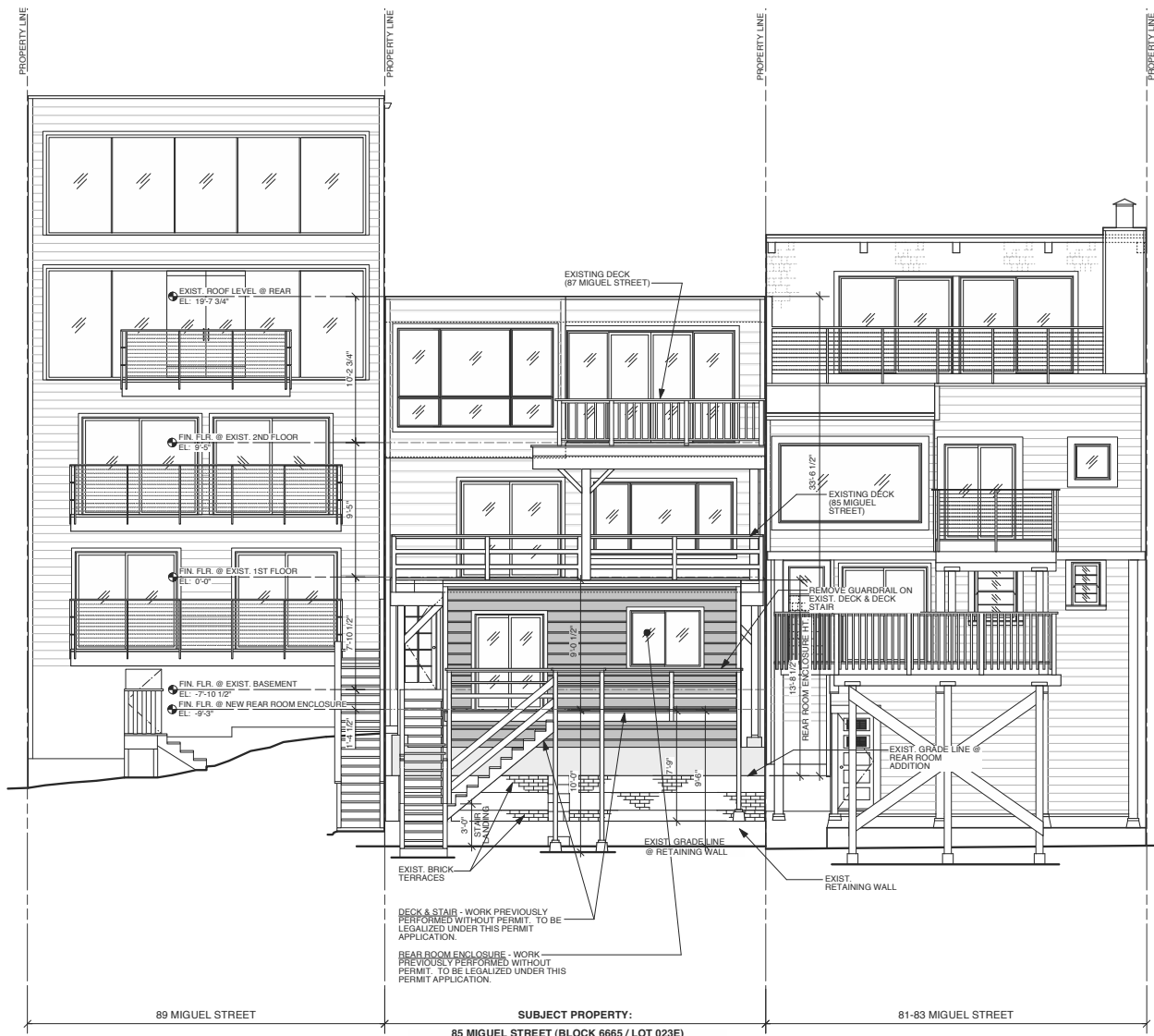
**85 MIGUEL STREET  
SAN FRANCISCO, CA. 94131**

**BLOCK # 6665 LOT # 023E**

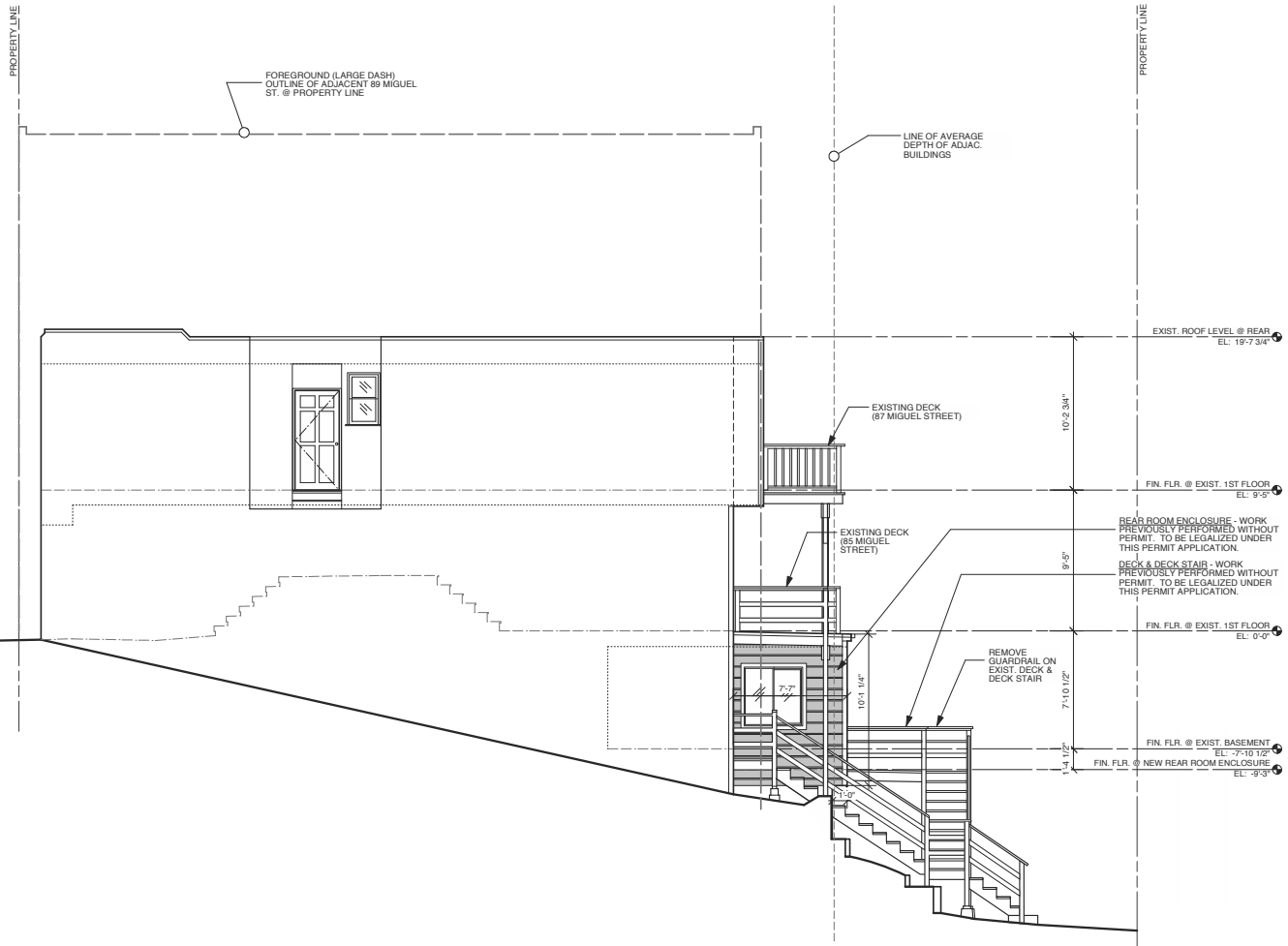
SHEET TITLE:  
**EXISTING SOUTH EXTERIOR ELEVATION  
EXISTING WEST EXTERIOR ELEVATION**

DESIGNED: R.C.	SHEET NUMBER: <b>A4.0</b>
DRAWN: R.C.	
SIGNATURE: ROBERT CRUM	
SCALE: AS SHOWN	





2 EXISTING EAST (SIDE) ELEVATION



PRINTING RECORD

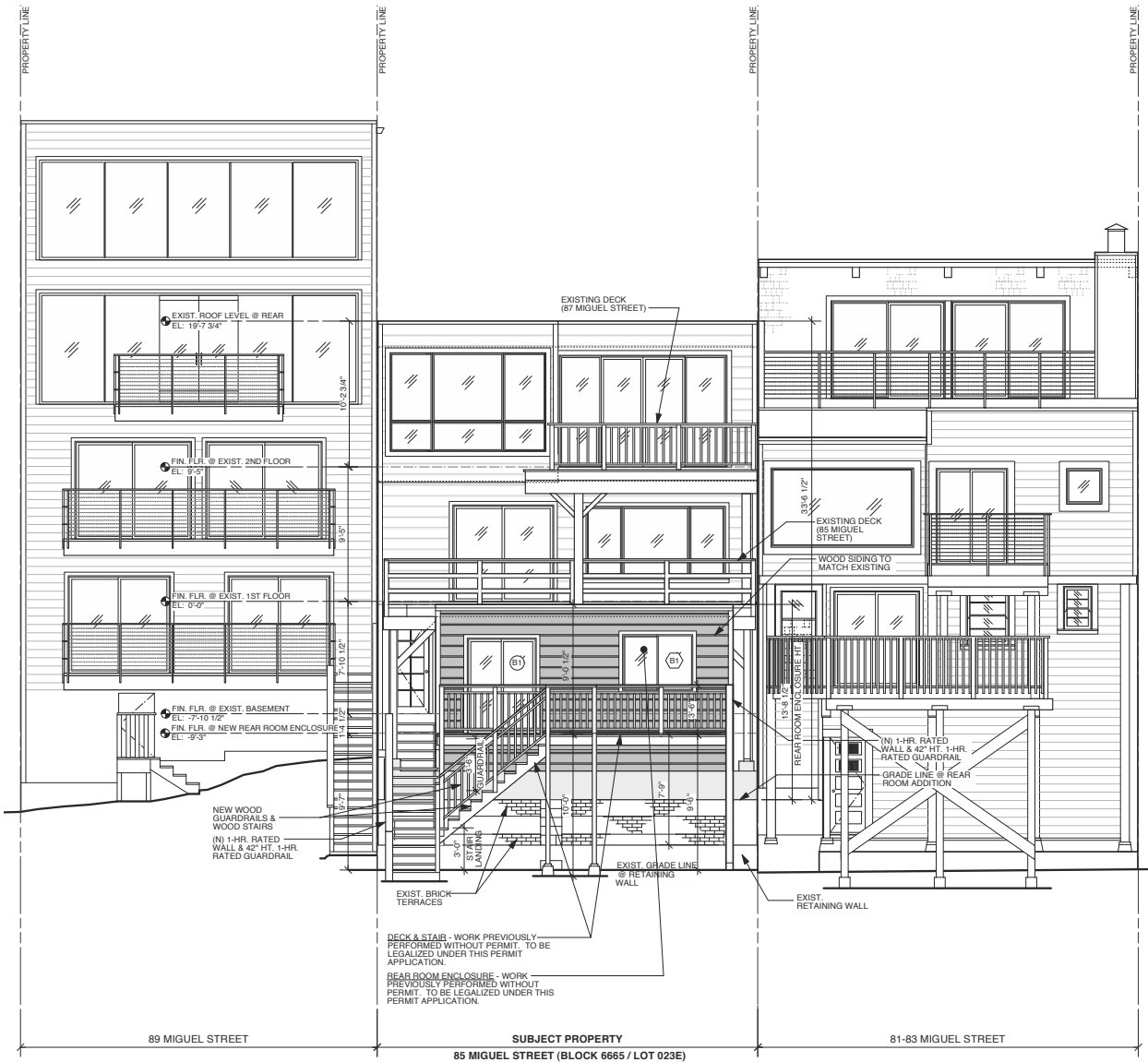
DATE	ACTION
2/28/2013	SITE PERMIT

PROJECT:  
**MIGUEL STREET  
RESIDENCE**  
**85 MIGUEL STREET  
SAN FRANCISCO, CA. 94131**  
**BLOCK # 6665 LOT # 023E**

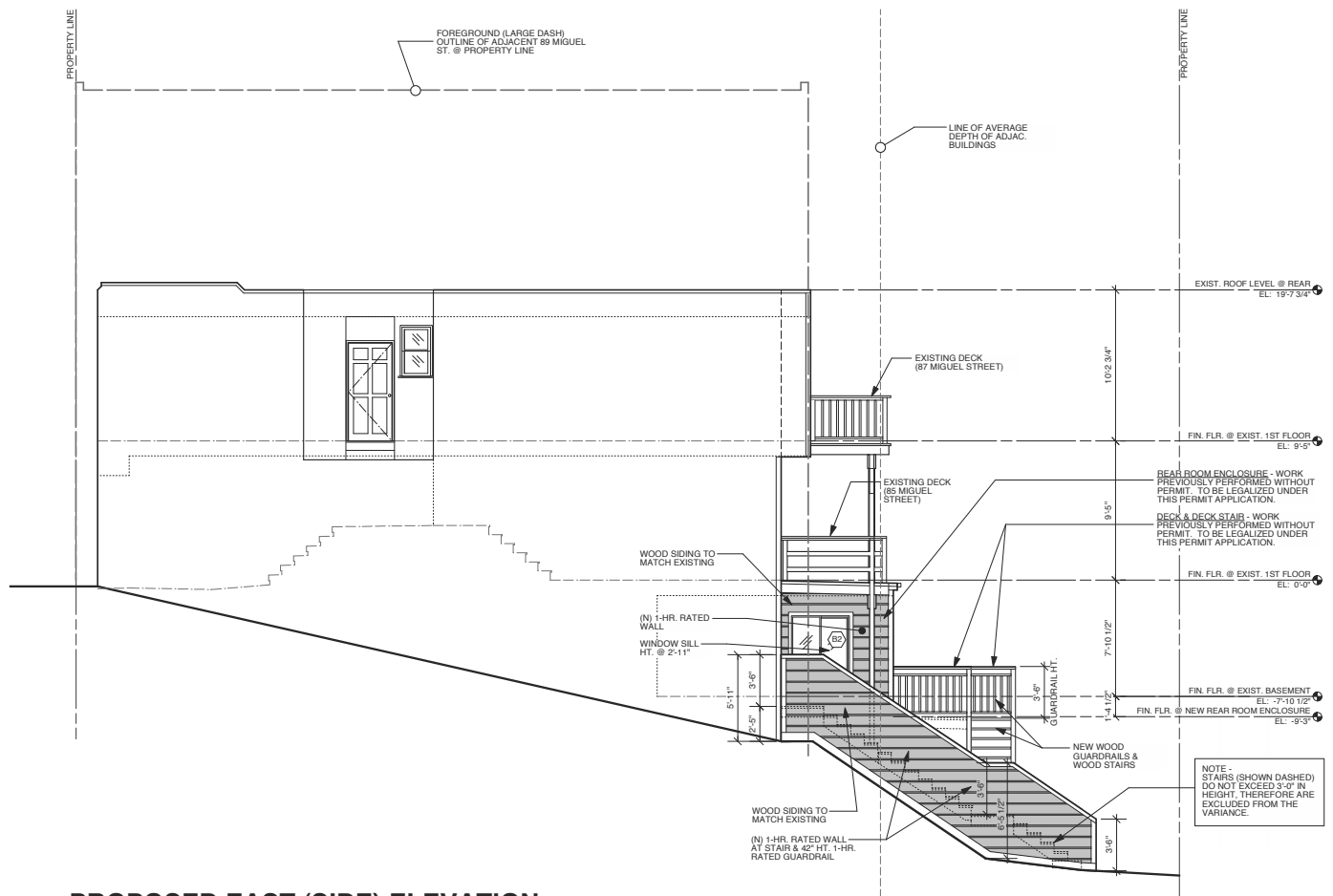
SHEET TITLE:  
**EXISTING NORTH EXTERIOR ELEVATION**  
**EXISTING EAST EXTERIOR ELEVATION**

DESIGNED: R.C.	SHEET NUMBER: <b>A4.1</b>
DRAWN: R.C.	
SIGNATURE: ROBERT CRUM	
SCALE: AS SHOWN	

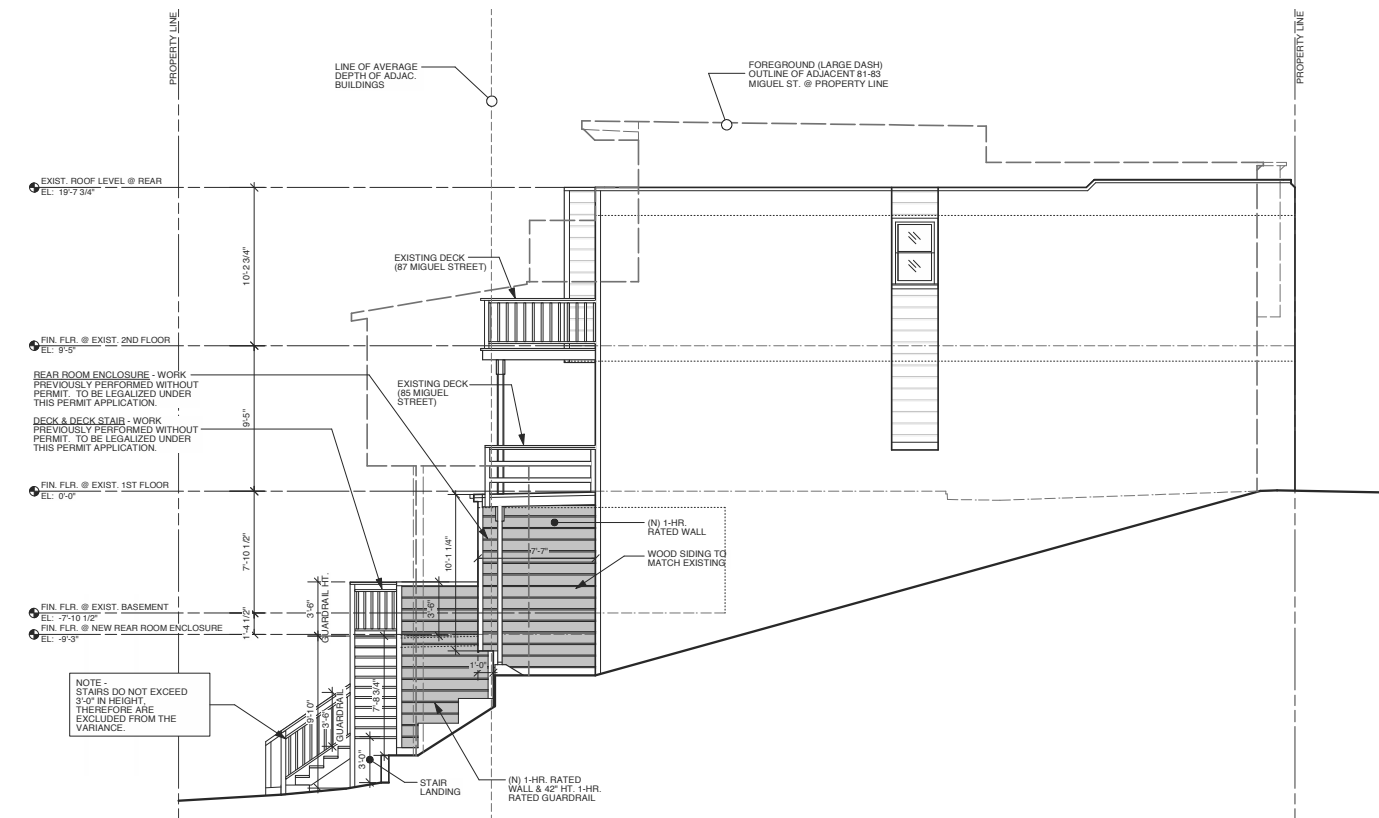




3 PROPOSED NORTH (REAR) ELEVATION



1 PROPOSED EAST (SIDE) ELEVATION



2 PROPOSED WEST (SIDE) ELEVATION



PRINTING RECORD

DATE	ACTION
2/28/2013	SITE PERMIT

PROJECT:

MIGUEL STREET  
RESIDENCE

85 MIGUEL STREET  
SAN FRANCISCO, CA. 94131

BLOCK # 6665 LOT # 023E

SHEET TITLE:  
PROPOSED EAST EXTERIOR ELEVATION  
PROPOSED WEST EXTERIOR ELEVATION  
PROPOSED NORTH EXTERIOR ELEVATION

DESIGNED: R.C.  
DRAWN: R.C.

SIGNATURE: ROBERT CRUM

SCALE: AS SHOWN

SHEET NUMBER:

A4.2