



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 26, 2013**  
 Time: **9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance(Rear Yard)**  
 Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION                                 | APPLICATION INFORMATION                 |
|--|---|
| Project Address: <b>200 Elsie St</b>                 | Case No.: <b>2013.0192V</b>             |
| Cross Street(s): <b>Eugenia Ave. &amp; Elsie St.</b> | Building Permit: <b>2013.0306.1585</b>  |
| Block / Lot No.: <b>5670/001</b>                     | Applicant/Agent: <b>Mike Pitler</b>     |
| Zoning District(s): <b>RH-2 / 40-X</b>               | Telephone: <b>510-368-1499</b>          |
| Area Plan: <b>N/A</b>                                | E-Mail: <b>mike@mp-architecture.com</b> |

## PROJECT DESCRIPTION

The proposal is to replace an existing noncomplying deck and stairs with a new noncomplying deck and stairs of slightly larger size at the second story of an existing single family residence.

**PLANNING CODE SECTION 134** requires rear yard of 31 feet 6 inches for the subject property. The existing building encroaches 6 feet 6 inches into the required rear yard with the existing deck and stairs encroaching an additional 9 feet 2 inches into the required rear yard, resulting in a rear yard of approximately 16 feet. The proposed deck and stairs will not extend into the required rear yard any further than the existing deck and stairs; however, they will be approximately 3 feet 6 inches wider than the existing deck and stairs. The replacement and expansion of the deck and stairs requires a variance.

## ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Jeffrey Speirs** Telephone: **415-575-9106** E-Mail: **[Jeffrey.speirs@sfgov.org](mailto:Jeffrey.speirs@sfgov.org)**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0192V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

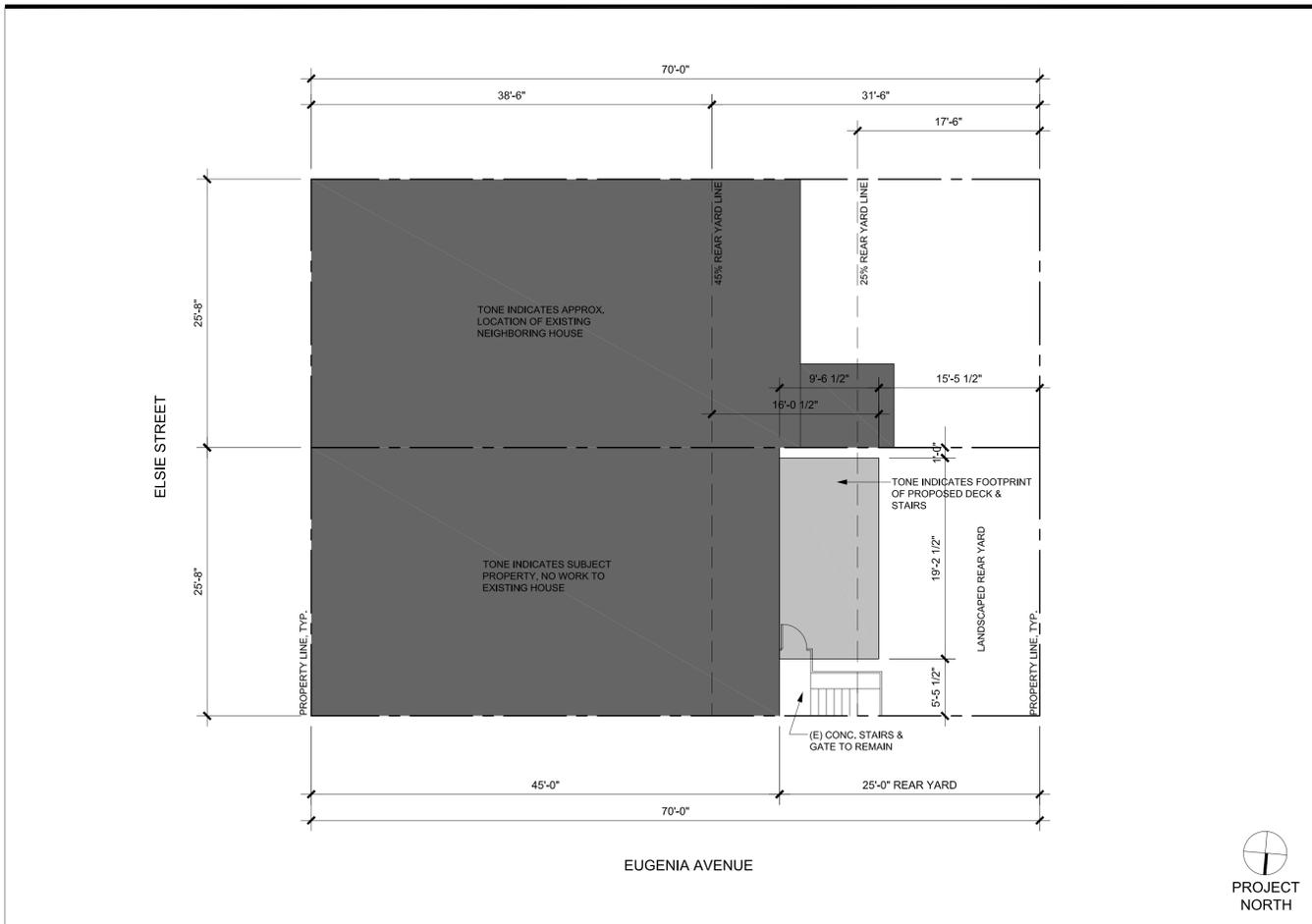
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



**PROJECT TEAM AND CONTACT INFORMATION:**  
 CLIENT: CAROLINE PRIESTLEY  
 200 ELSIE STREET  
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 (415) 971-2679  
 PRIESTLEY\_CAROLINE@YAHOO.COM

**ARCHITECT:** MIKE PITLER ARCHITECTURE  
 C/O MIKE PITLER, P.A.  
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 OAKLAND, CA 94609  
 (510) 368-1499  
 MIKE@MP-ARCHITECTURE.COM

**STRUCTURAL ENGINEER:** FAR ASSOCIATES  
 C/O FERNANDO RIVERA  
 3615 17TH STREET  
 SAN FRANCISCO, CA 94114  
 (415) 756-0612  
 FERNANDO@FAENGINEERS.COM

**PROJECT DATA:**  
 PROJECT DESCRIPTION: DEMOLITION OF DILAPIDATED EXISTING REAR-YARD DECK & STAIRS AND CONSTRUCTION OF REPLACEMENT REAR-YARD DECK & STAIRS. THE REPLACEMENT DECK & STAIRS WILL BE VERY SIMILAR TO THE EXISTING EXCEPT THAT IT WILL HAVE A LARGER FOOTPRINT AND HAVE A SLIGHTLY MODIFIED CONFIGURATION SO THAT THE NEW DECK AND STAIRS CAN HAVE CODE COMPLIANT DIMENSIONS.

**ZONING DISTRICT:** RH-2  
**HEIGHT AND BULK DISTRICT:** 40-X  
**SPECIAL USE DISTRICT:** BERNAL HEIGHTS PLANNING CODE SECTION 242  
**OTHER CONTROLS:** BERNAL HEIGHTS NORTHWEST DESIGN REVIEW AREA  
**OCCUPANCY TYPE:** R-3  
**CONSTRUCTION TYPE:** V-N  
**APPLICABLE CODES:** THIS PROJECT SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, AND THE CURRENT SAN FRANCISCO BUILDING AND PLANNING CODES.

**BUILDING HEIGHT:** NO CHANGE TO BUILDING HEIGHT  
**LOT COVERAGE:** NO CHANGE TO BUILDING LOT COVERAGE  
**BUILDING FLOOR AREA:** NO CHANGE TO BUILDING FLOOR AREA  
**SETBACKS:** NO CHANGE TO BUILDING SETBACKS. SEE SITE PLAN FOR MORE INFO

**VARIANCE REQUIRED:**  
 A PORTION OF THE REAR OF THE EXISTING HOUSE AND THE ENTIRE EXISTING REAR-YARD DECK & STAIRS ENROACHES INTO THE REQUIRED REAR YARD. BECAUSE THIS DECK IS DILAPIDATED AND NEEDS REPLACEMENT, THE ENTIRE PROPOSED DECK & STAIRS WILL ALSO ENROACH INTO THE REAR YARD. THE PROPOSED DECK AND STAIRS CANNOT MEET THE REQUIREMENTS ESTABLISHED BY THE FOLLOWING TWO CODE SECTIONS:  
 SEC. 242(a)(2)(B) RH-2 AND RH-3: THE MINIMUM REAR YARD DEPTH SHALL BE EQUAL TO 45 PERCENT OF THE TOTAL DEPTH OF THE LOT IN WHICH THE BUILDING IS LOCATED.  
 SEC. 242(a)(2)(C) ALL LOTS: THE FOLLOWING PROVISIONS RELATING TO REAR YARDS SHALL APPLY TO ALL LOTS IN THE SPECIAL USE DISTRICT: (ii) NO PART OF ANY BUILDING MAY BE WITHIN 25 PERCENT OR 15 FEET, WHICHEVER IS GREATER, OF THE REAR PROPERTY LINE.

**GENERAL NOTES:**  
 1. ALL INFORMATION SHOWN ON THE DRAWINGS IS RELATIVE TO EXISTING CONDITIONS THAT HAVE BEEN FIELD VERIFIED/OBSERVED BY THE ARCHITECT AND WITHOUT A GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND GRADES AT THE JOB SITE AND NOTIFY THE ENGINEER AND/OR ARCHITECT OF ANY DISCREPANCIES. WHEN DIMENSIONS AND/OR ARE NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOT SCALE OFF OF THE DRAWINGS BUT RATHER SHALL REQUEST THESE DIMENSIONS AND/OR DETAILS FROM THE ENGINEER AND ARCHITECT.  
 2. CONTRACTOR SHALL FIELD VERIFY PROPERTY LINE LOCATION WITH A SURVEYOR IF NECESSARY. THE MEASUREMENTS SHOWN BY THE ARCHITECT ARE FROM FIELD OBSERVATION ONLY OF EXISTING FENCE LINE LOCATIONS AND OTHER PHYSICAL SITE CHARACTERISTICS AND ARE NOT NECESSARILY THE EXACT LOCATION OF THE PROPERTY LINE.  
 3. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

SITE PLAN - PROPOSED CONDITIONS

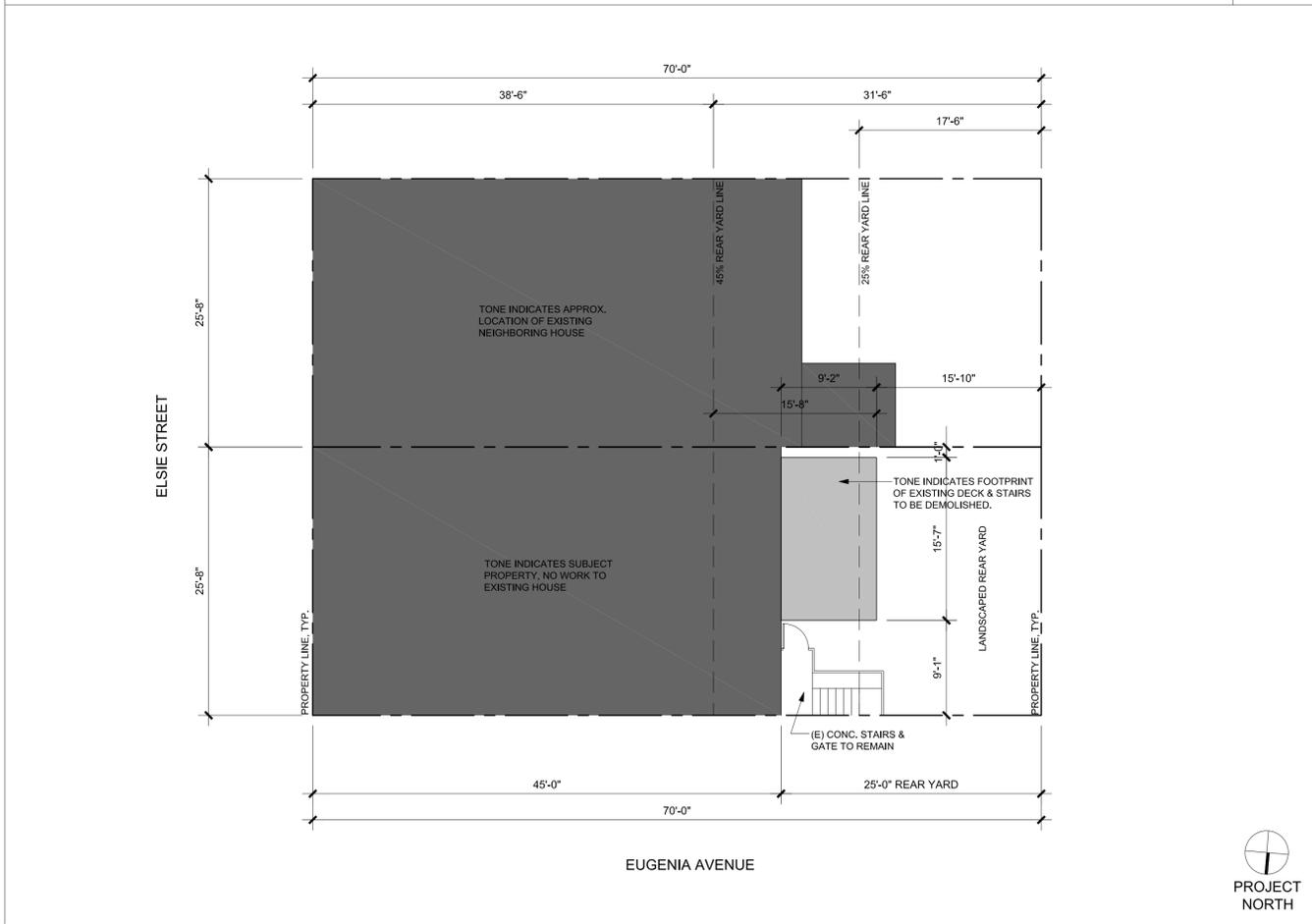
11/A.1

COMPOSITE PHOTO OF (E) DECK AND STAIRS

7/A.1

PROJECT INFORMATION

3/A.1



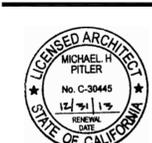
SITE PLAN - EXISTING/DEMO CONDITIONS

9/A.1



SITE MAP - AERIAL VIEW

1/A.1



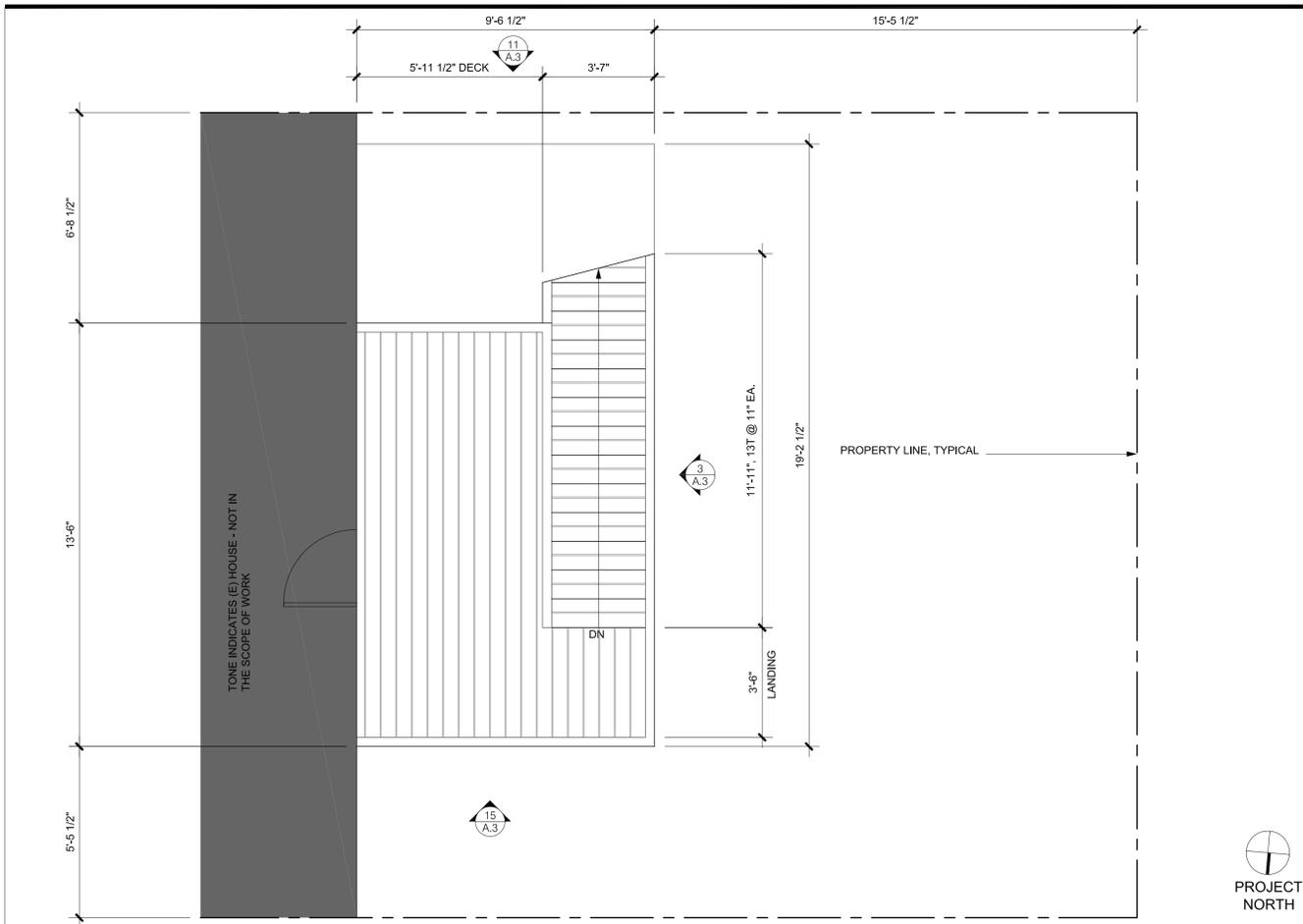
**RELEASES AND REVISIONS**

|                             |          |
|-----------------------------|----------|
| NWBHDB REVIEW SET           | 12/03/12 |
| PLANNING VARIANCE SUBMITTAL | 02/12/13 |

**PREPARED BY:** MHP  
**CREATION DATE:** 10/29/12  
**SCALE:** 1/8" = 1'-0"

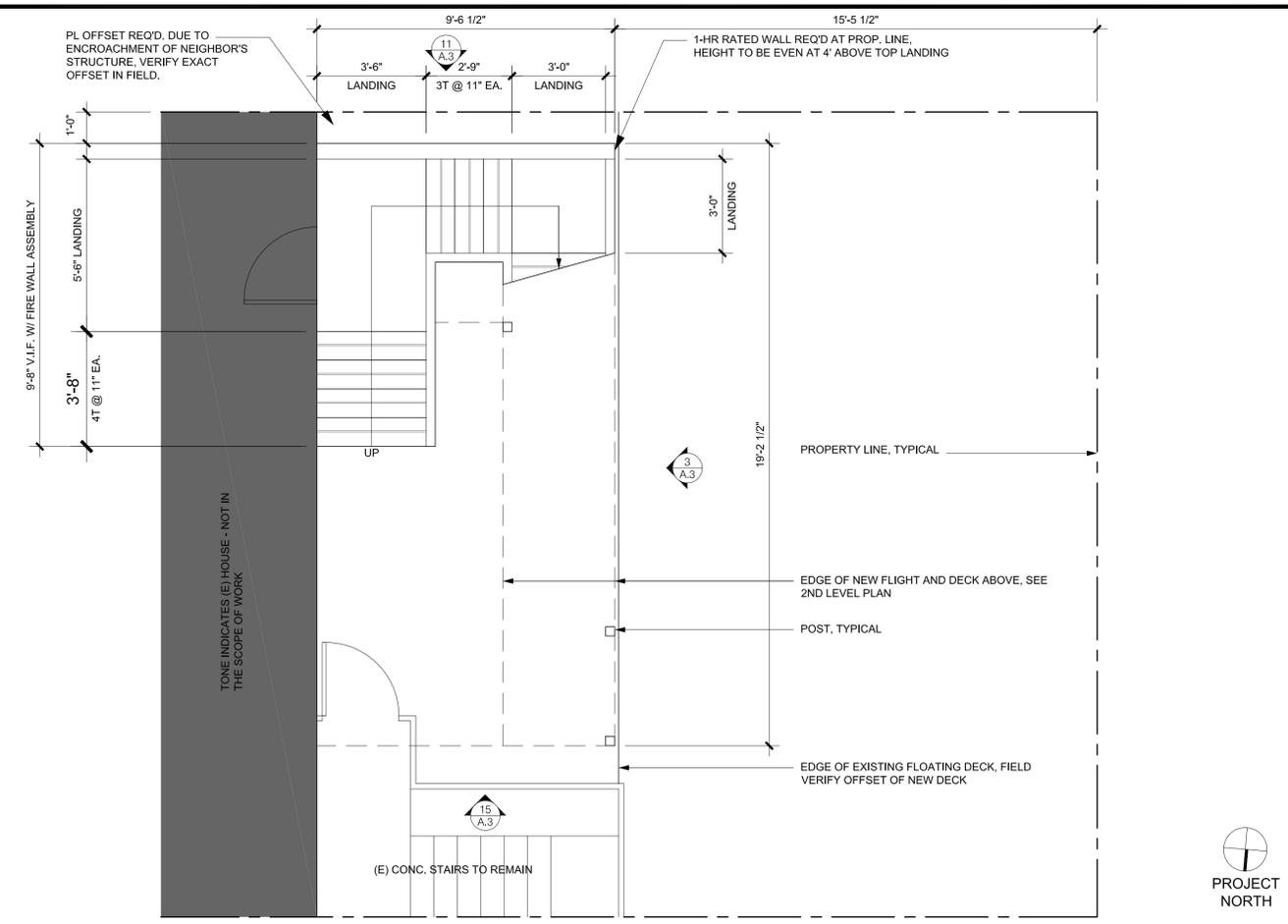
DRAWING NAME  
**COVERSHEET  
 W/ DATA, SITE  
 PLANS, &  
 PHOTOS**

DRAWING NO.  
**A.1**



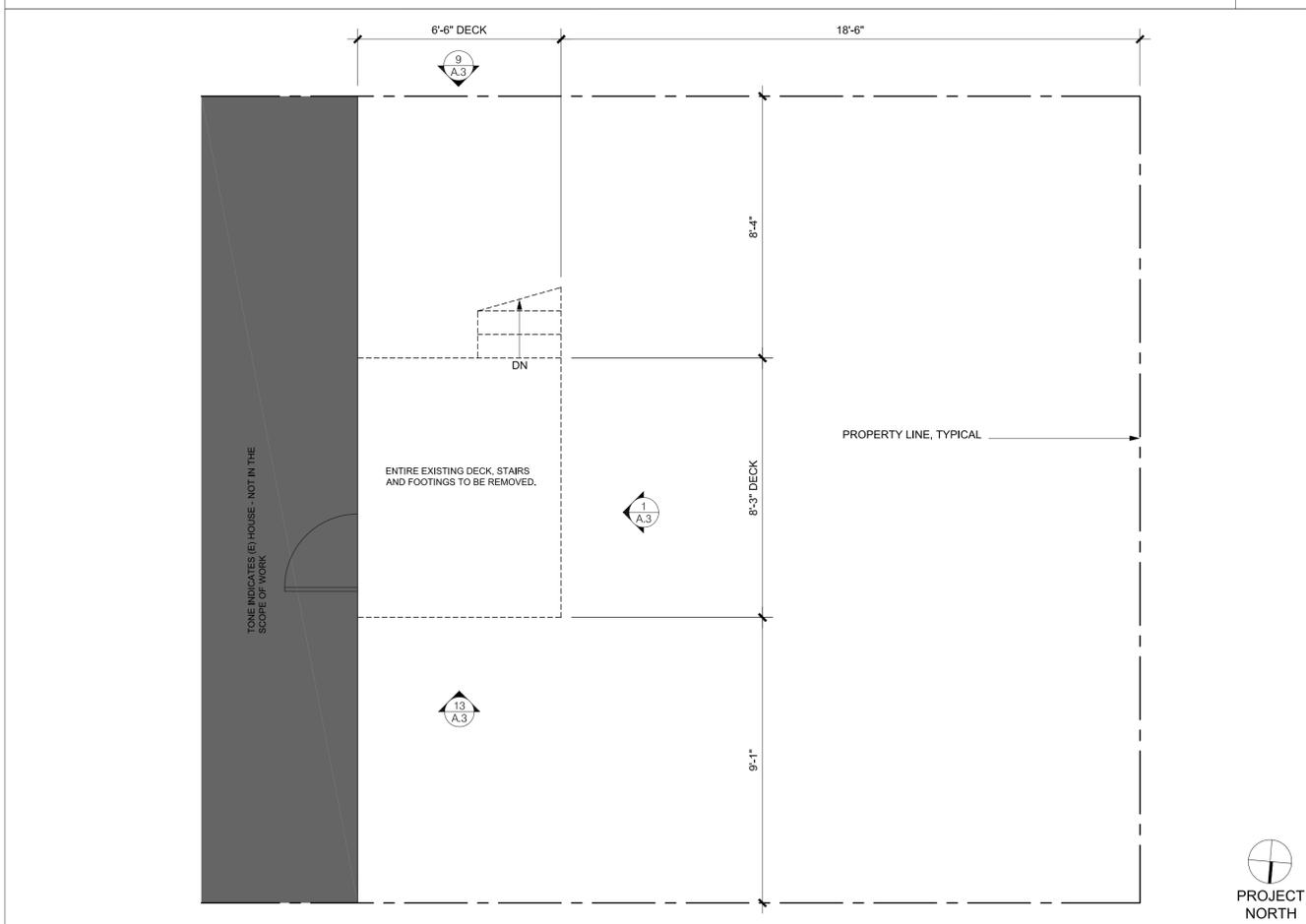
DECK PLAN AT 2ND LEVEL - PROPOSED CONDITIONS

11/A.2



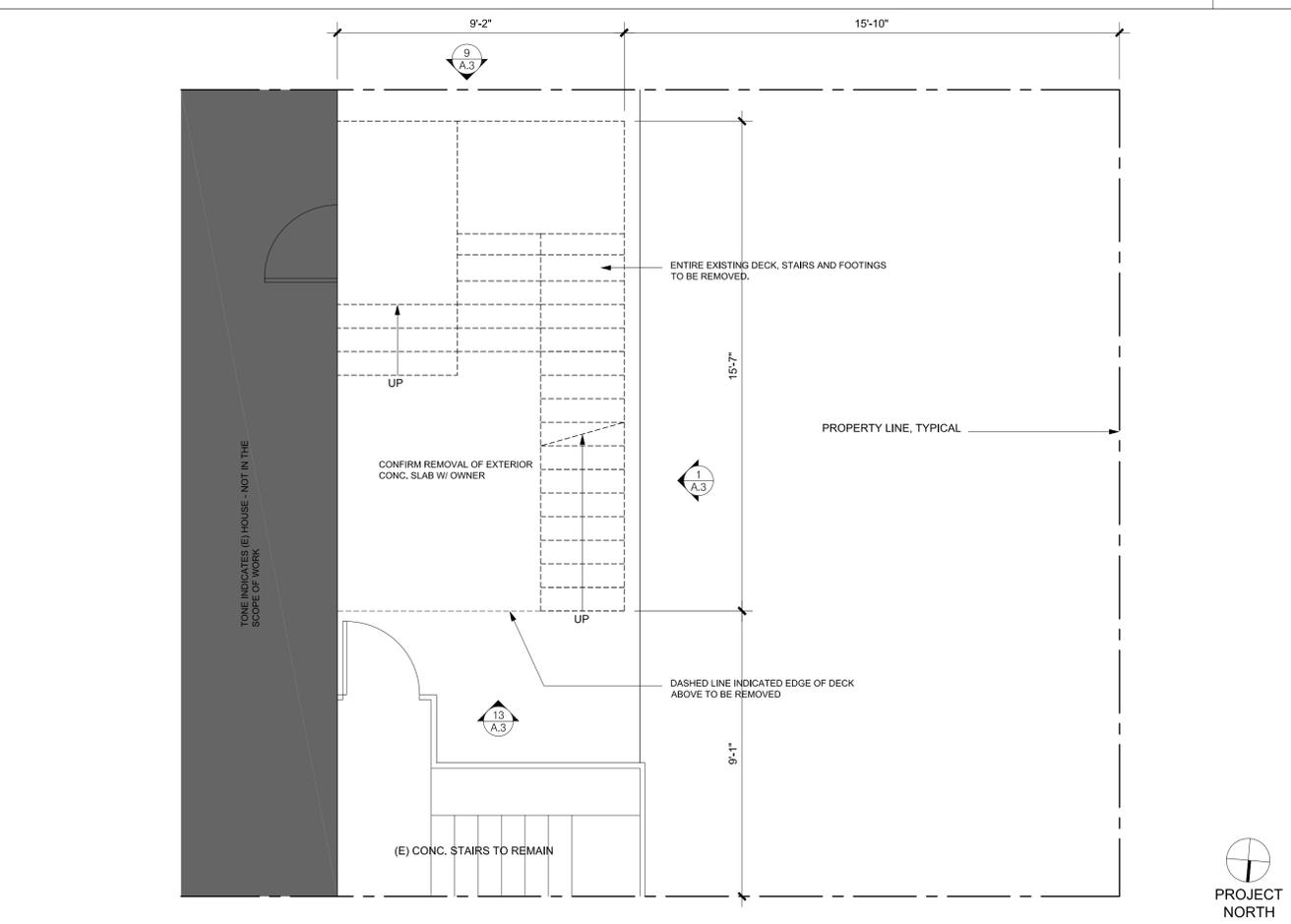
DECK PLAN AT GROUND LEVEL - PROPOSED CONDITIONS

3/A.2



DECK PLAN AT 2ND LEVEL - EXISTING/DEMO CONDITIONS

9/A.2



DECK PLAN AT GROUND LEVEL - EXISTING/DEMO CONDITIONS

1/A.2

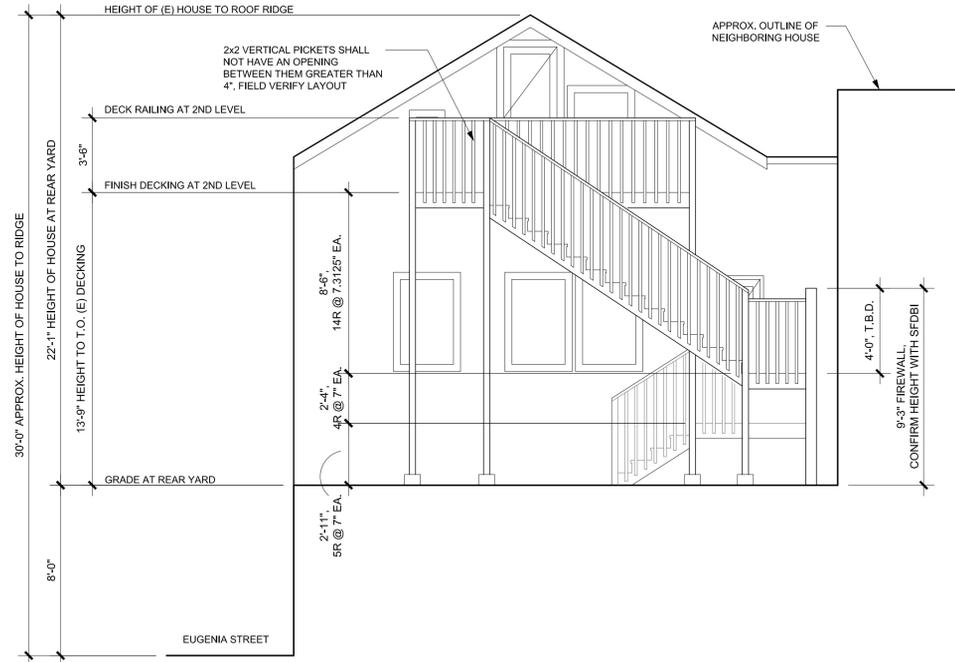
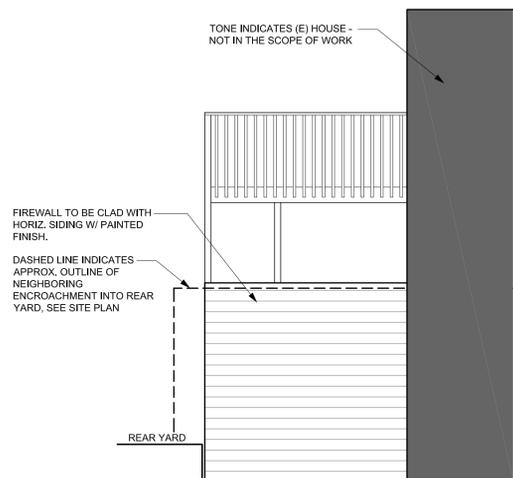
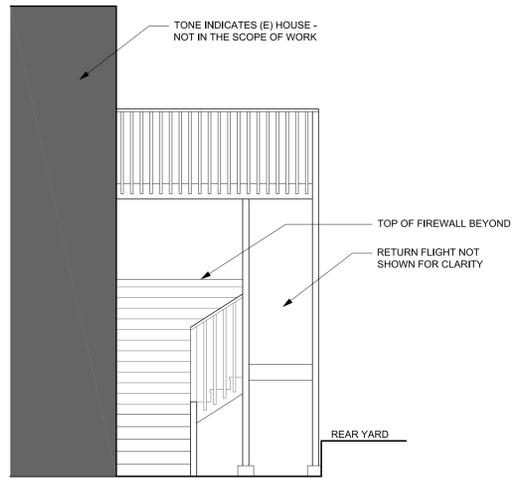


| RELEASES AND REVISIONS      |          |
|-----------------------------|----------|
| NWBHDB REVIEW SET           | 12/03/12 |
| PLANNING VARIANCE SUBMITTAL | 02/12/13 |

PREPARED BY: MHP  
 CREATION DATE: 10/29/12  
 SCALE: 3/8" = 1'-0"

DRAWING NAME  
**DECK PLAN &  
 WEST ELEV. -  
 EXISTING &  
 PROPOSED  
 CONDITIONS**

DRAWING NO.  
**A.2**



NOTE: SEE 3/A.3 FOR ADDITIONAL NOTES AND DIMENSIONS

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NORTH ELEV. - PROPOSED CONDITIONS

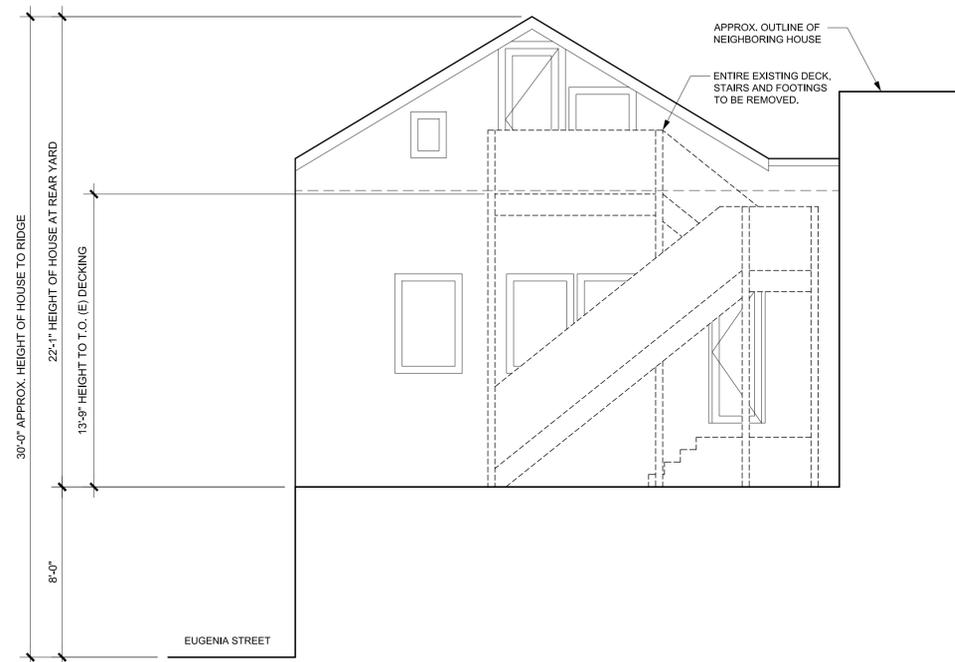
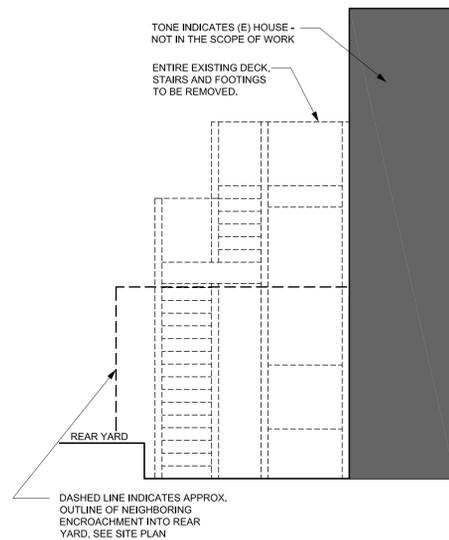
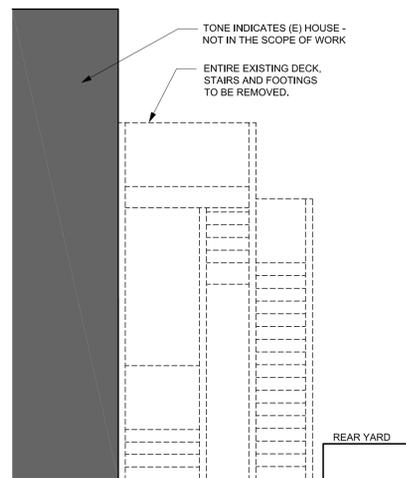
15/A.3

SOUTH ELEV. - PROPOSED CONDITIONS

11/A.3

WEST ELEVATION - PROPOSED CONDITIONS

3/A.3



NORTH ELEV. - EXISTING/DEMO CONDITIONS

13/A.3

SOUTH ELEV. - EXISTING/DEMO CONDITIONS

9/A.3

WEST ELEVATION - EXISTING/DEMO CONDITIONS

1/A.3



| RELEASES AND REVISIONS      |          |
|-----------------------------|----------|
| NWBHDB REVIEW SET           | 12/03/12 |
| PLANNING VARIANCE SUBMITTAL | 02/12/13 |

PREPARED BY: MHP  
CREATION DATE: 10/29/12  
SCALE: 1/4" = 1'-0"

DRAWING NAME  
NORTH &  
SOUTH ELEV. -  
EXISTING &  
PROPOSED  
CONDITIONS

DRAWING NO.  
**A.3**