



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 25, 2013**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance(Rear Yard Variance)**  
Hearing Body: **Zoning Administrator**

PORPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>1731 Larkin St</b>	Case No.: <b>2013.0189V</b>
Cross Streets: <b>Washington &amp; Jackson</b>	Building Permit: <b>2013.06.13.9511</b>
Block / Lot No.: <b>0597/004</b>	Applicant/Agent: <b>Jorge Carbonell</b>
Zoning District: <b>RM-2 / 65-A</b>	Telephone: <b>415-336-3278</b>
Area Plan: <b>N/A</b>	E-Mail: <b>jorge@carbonellarchitecture.com</b>

### PROJECT DESCRIPTION

The proposal is to construct new decks at the rear of the existing four-story, six-unit building, and to make interior alterations, including the conversion of the existing ground floor storage area into additional off-street parking.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to provide a rear yard of 61'-9". The existing building encroaches approximately 25'-3" into the required rear yard, and is considered legal noncomplying. The proposed rear decks extend an additional 6'-6" from the rear building wall, encroaching a total of 31'-9" into the required rear yard.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Elizabeth Watty** Telephone: **415-558-6620** Mail: [elizabeth.watty@sfgov.org](mailto:elizabeth.watty@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0189V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On August 6, 2013, the Department issued the required Section 311 notification for this project (expires September 4, 2013).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

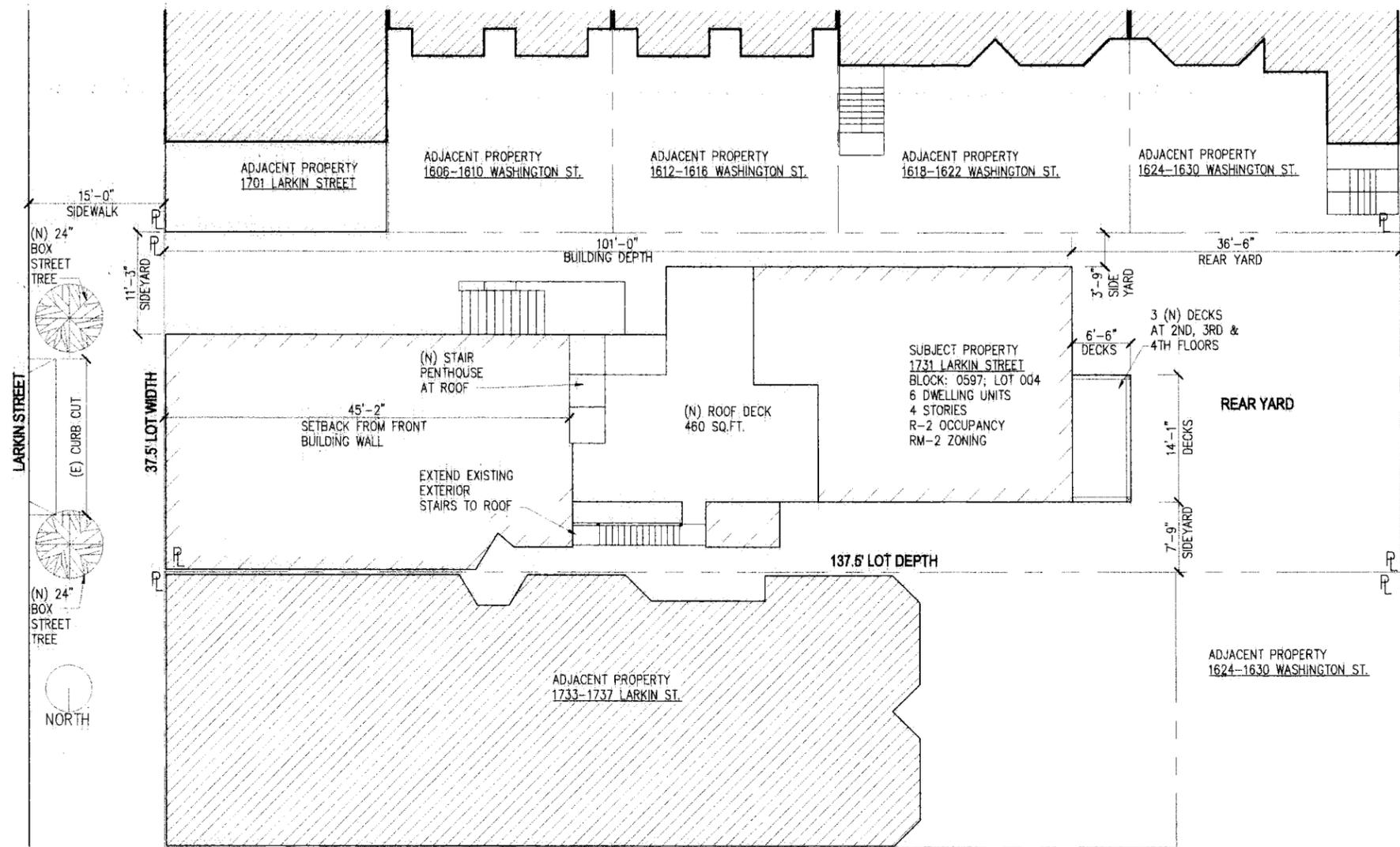
## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378



1 SITE PLAN / ROOF PLAN  
SCALE: 1/8"=1'-0"

- SCOPE OF WORK**
- 1) NEW DECKS WITHIN REQUIRED REAR YARD
  - 2) EXTEND EXTERIOR STAIRS TO ROOF
  - 3) NEW STAIRS PENTHOUSE FOR ROOF ACCESS
  - 4) NEW ROOF DECK
  - 5) REMOVE EXISTING AND ADD NEW WINDOWS AT SIDE AND REAR ELEVATIONS
  - 6) EXPAND EXISTING GARAGE INTO STORAGE SPACE

**PROJECT DIRECTORY**

OWNER: REAL EQUITY GROUP ONE, LLC  
45 WALNUT AVE. MILL VALLEY, CA, 94941  
PAULUSK12@GMAIL.COM; 415-298-0339

ARCHITECT: JORGE CARBONELL  
JORGE CARBONELL ARCHITECTURE + INTERIORS  
605 MISSISSIPPI STREET, SAN FRANCISCO, CA, 94107  
JORGE@CARBONELLARCHITECTURE.COM; 415-336-3278

STRUCTURAL: MICHAEL HOM  
HOM PISANO ENGINEERING  
2265 31st AVENUE, SAN FRANCISCO, CA, 94116  
HOM@HOMPISANO.COM; 415.713.8087

**BUILDING INFORMATION**

BUILDING DESCRIPTION: APARTMENT BUILDING  
(E) # STORIES: 4 - NO CHANGE  
CONST. TYPE: 5-B - NO CHANGE  
OCCUPANCY: R-2 - NO CHANGE  
# DWELLING: 6 - NO CHANGE

OCCUPANT LOAD AT AREA OF SCOPE OF WORK:  
1 PER 200 SQ.FT.

**APPLICABLE CODES:**

CALIFORNIA BUILDING CODE; 2010 EDITION  
CALIFORNIA ELECTRICAL CODE; 2010 EDITION  
CALIFORNIA MECHANICAL CODE; 2010 EDITION  
CALIFORNIA PLUMBING CODE; 2010 EDITION  
CALIFORNIA RESIDENTIAL CODE; 2010 EDITION  
CALIFORNIA ENERGY CODE; 2010 EDITION  
CALIFORNIA FIRE CODE; 2010 EDITION  
CALIFORNIA GREEN BUILDING CODE; 2010 EDITION

**DRAWING INDEX**

- A0.0 COVER SHEET & SITE PLAN
- A0.1 GENERAL REQUIREMENTS
- A1.1 EXISTING CONDITIONS & DEMOLITION
- A2.1 FLOOR PLANS - PROPOSED
- A2.2 FLOOR PLANS - PROPOSED
- A3.1 BUILDING SECTION & TYPICAL DETAILS
- S1.0 STRUCTURAL PLANS
- S2.1 STRUCTURAL PLANS
- S2.2 STRUCTURAL PLANS
- S2.3 STRUCTURAL PLANS
- S3.1 STRUCTURAL PLANS
- S4.1 STRUCTURAL PLANS
- S4.2 STRUCTURAL PLANS
- S5.1 STRUCTURAL PLANS
- S5.2 STRUCTURAL PLANS

**JORGE CARBONELL ARCHITECTURE & INTERIORS**

605 MISSISSIPPI ST.  
SAN FRANCISCO, CA  
94107  
TEL. (415) 336-3278  
FAX. (415) 206-1848  
jrcarbonell@hotmail.com

**PROJECT: RESIDENTIAL ALTERATION**

**ADDRESS:**  
1731 LARKIN STREET  
SAN FRANCISCO  
CA, 94109

**LOT / BLOCK:**  
0597 / 004

ISSUED	DATE
PLANNING	02.22.2013
PLANNING	07.29.2013

**SYMBOLS**

	SECTION DRAWING SHEET NUMBER		EQUIPMENT SYMBOL EQUIPMENT TYPE EQUIPMENT GROUP
	ELEVATION DRAWING SHEET NUMBER		REVISION
	DETAIL DRAWING SHEET NUMBER		WALL TYPE
	INTERIOR ELEVATION DRAWING NUMBER		FINISH SYMBOL
	ROOM IDENTIFICATION ROOM NAME ROOM NUMBER		MATCH LINE SHADED PORTION IS SIDE CONSIDERED
	OFFICE		DATUM POINT
			COLUMN GRID

**GENERAL NOTES**

1. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
2. ALL DIMENSIONS RELATING TO THE EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
3. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF ANY CONFLICTS OR DISCREPANCIES HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM
4. THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO RESOLVE ANY UNCLEAR ITEMS
5. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE.
6. ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS

**ABBREVIATIONS**

&	AND	DET.	DETAIL	FT.	FOOT OR FEET	OPNG.	OPENING	SQ.	SQUARE
@	ANGLE	DIA.	DIAMETER	FTG.	FOOTING	OPP.	OPPOSITE	S.S.D.	SEE STRUCTURAL DRAWINGS
ADJ.	ADJUSTABLE	DN.	DOWN	GA.	GAUGE	OSCI	OWNER SUPPLIED	S.S.T.	STAINLESS STEEL
AL.	ALUMINUM	DR.	DOOR	GALV.	GALVANIZED	PL.	PLYWOOD	STA.	STATION
APPROX.	APPROXIMATE	DS.	DOWNSPOUT	G.B.	GRAB BAR	PT.	POINT	STD.	STANDARD
ARCH.	ARCHITECTURAL	D.S.P	DRY STANDPIPE	GYP.	GYPSON	Q.T.	QUARRY TILE	STL.	STEEL
ASPH.	ASPHALT	DWG.	DRAWING	H.B.	HOSE BIBB	R.	RISER	STOR.	STORAGE
BD.	BOARD	E.	EAST	HDWD.	HARDWOOD	HORIZ.	HORIZONTAL	STRL.	STRUCTURAL
BITUM.	BITUMINOUS	E.A.	EACH	HR.	HOUR	HT.	HEIGHT	SUSP.	SUSPENDED
BLDG.	BUILDING	EL.	ELEVATION	HT.	HEIGHT	INSUL.	INSULATION	SYM.	SYMMETRICAL
BLK.	BLOCK	ELEC.	ELECTRICAL	INT.	INTERIOR	PLYWD.	PLYWOOD	T.C.	TOP OF CURB
BLKG.	BLOCKING	ELEV.	ELEVATOR	INT.	INTERIOR	PT.	POINT	TEL.	TELEPHONE
BM.	BEAM	EMER.	EMERGENCY	JT.	JOINT	Q.T.	QUARRY TILE	T.&G.	TONGUE AND GROOVE
BOT.	BOTTOM	ENCL.	ENCLOSURE	LAM.	LAMINATE	R.	RISER	THK.	THICK
CAB.	CABINET	EQ.	EQUAL	LT.	LIGHT	R.D.	ROUGH DRAIN	TOP	TOP OF WALL
CEM.	CEMENT	EQ.T.	EQUIPMENT	MAX.	MAXIMUM	REFR.	REFRIGERATOR	TYP.	TYPICAL
CLG.	CEILING	EXT.	EXTERIOR	MECH.	MECHANICAL	REINF.	REINFORCED	UNF.	UNFINISHED
CLKG.	CAULKING	F.A.	FIRE ALARM	MEMB.	MEMBRANE	REQ'D.	REQUIRED	U.O.N.	UNLESS OTHERWISE NOTED
CLD.	CLOSE	FL.	FLOOR	MTL.	METAL	RM.	ROOM	U.O.N.	UNLESS OTHERWISE NOTED
CLR.	CLEAR	F.B.	FLAT BAR	MFR.	MANUFACTURER	R.O.	ROUGH OPENING	VERT.	VERTICAL
COL.	COLUMN	F.D.	FLOOR DRAIN	MIN.	MINIMUM	R.W.L.	RAIN WATER LEADER	VEST.	VESTIBULE
CONC.	CONCRETE	FDN.	FOUNDATION	MISC.	MISCELLANEOUS	S.	SOUTH	W.	WEST
CONSTR.	CONSTRUCTION	F.E.	FIRE EXTINGUISHER	(N)	NEW	SCHED.	SCHEDULE	W/	WITH
CONT.	CONTINUOUS	FIN.	FINISH	N.	NORTH	SECT.	SECTION	W/C.	WATER CLOSET
CTR.	CENTER	FL.	FLOOR	N.I.C.	NOT IN CONTRACT	SHR.	SHOWER	WD.	WOOD
DBL.	DOUBLE	FLUOR.	FLUORESCENT	NO./#	NUMBER	SHT.	SHEET	W/O	WITHOUT
DEPT.	DEPARTMENT	F.O.C.	FACE OF CONCRETE	NOM.	NOMINAL	SIM.	SIMILAR	WP.	WATERPROOF
		F.O.F.	FACE OF FINISH	N.T.S.	NOT TO SCALE	SPEC.	SPECIFICATION	WT.	WEIGHT
		F.O.S.	FACE OF STUDS	O.C.	ON CENTER				

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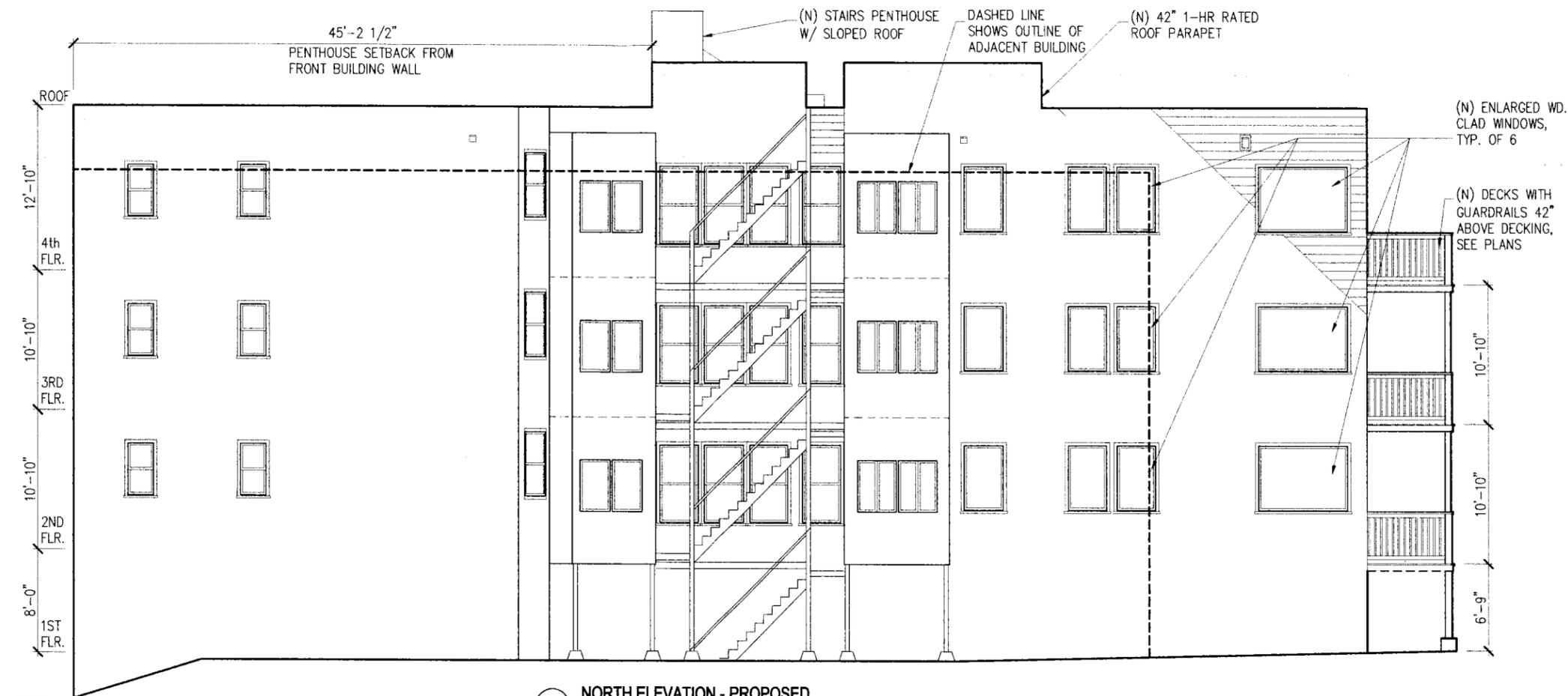
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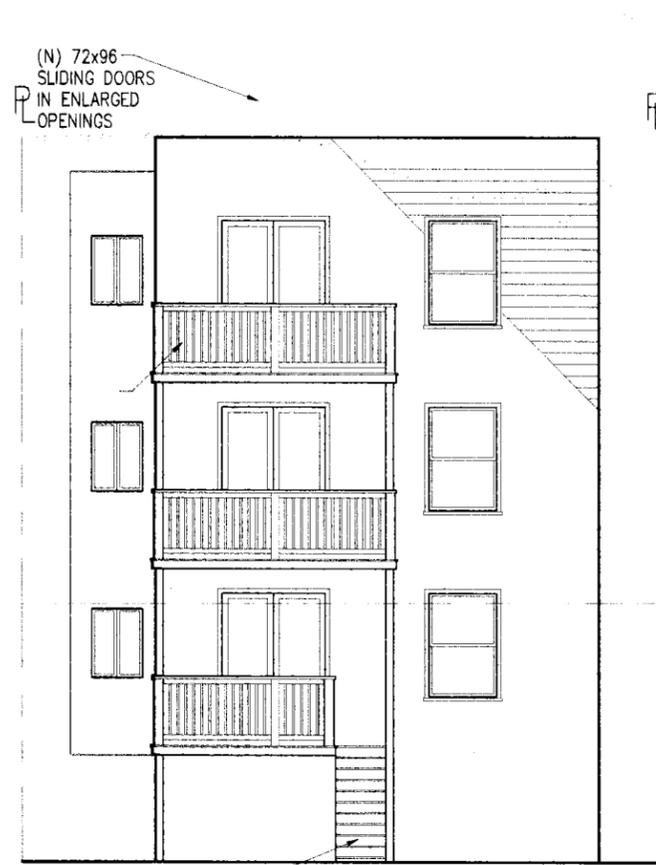
SHEET DESCRIPTION  
**COVER SHEET & SITE PLAN**

**A0.0**





1 NORTH ELEVATION - PROPOSED  
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION - PROPOSED  
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION - PROPOSED  
SCALE: 3/16" = 1'-0"

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605 MISSISSIPPI ST.  
SAN FRANCISCO, CA  
94107  
TEL. (415) 336-3278  
FAX. (415) 206-1848  
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SHEET DESCRIPTION  
**ELEVATIONS**

**A3.1**