



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 22, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>760-762 Noe Street</b>	Case No.:	<b>2013.0187V</b>
Cross Street(s):	<b>Liberty and 21st</b>	Building Permit:	<b>201303152321</b>
Block / Lot No.:	<b>3603/093</b>	Applicant/Agent:	<b>Jorge Carbonell</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>415-336-3278</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>jorge@carbonellarchitectur e.com</b>
PROJECT DESCRIPTION			
<p>The proposal includes replacing an existing fire escape with a new deck and spiral staircase on the second floor, at the southeast corner of the dwelling. The existing fire escape is a noncomplying structure as it currently encroaches 3.7 feet into the required rear yard. The new deck and stairway will extend 5 feet into the required rear setback.</p> <p><b>PER SECTION 134 OF THE PLANNING CODE</b> the subject property is required to maintain a rear yard of approximately 15 feet. The proposed rear addition would encroach approximately 5 feet into the required rear yard and result in a setback of approximately 10 feet; therefore, the project requires a variance from the rear yard requirement of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Casey Noel</b> Telephone: <b>415-575-9125</b> Mail: <a href="mailto:Casey.Noel@sfgov.org">Casey.Noel@sfgov.org</a></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2013.0187V.pdf">http://sf-planning.org/ftp/files/notice/2013.0187V.pdf</a></p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On April 16, 2013, the Department issued the required Section 311 notification for this project (expires May 16, 2013).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

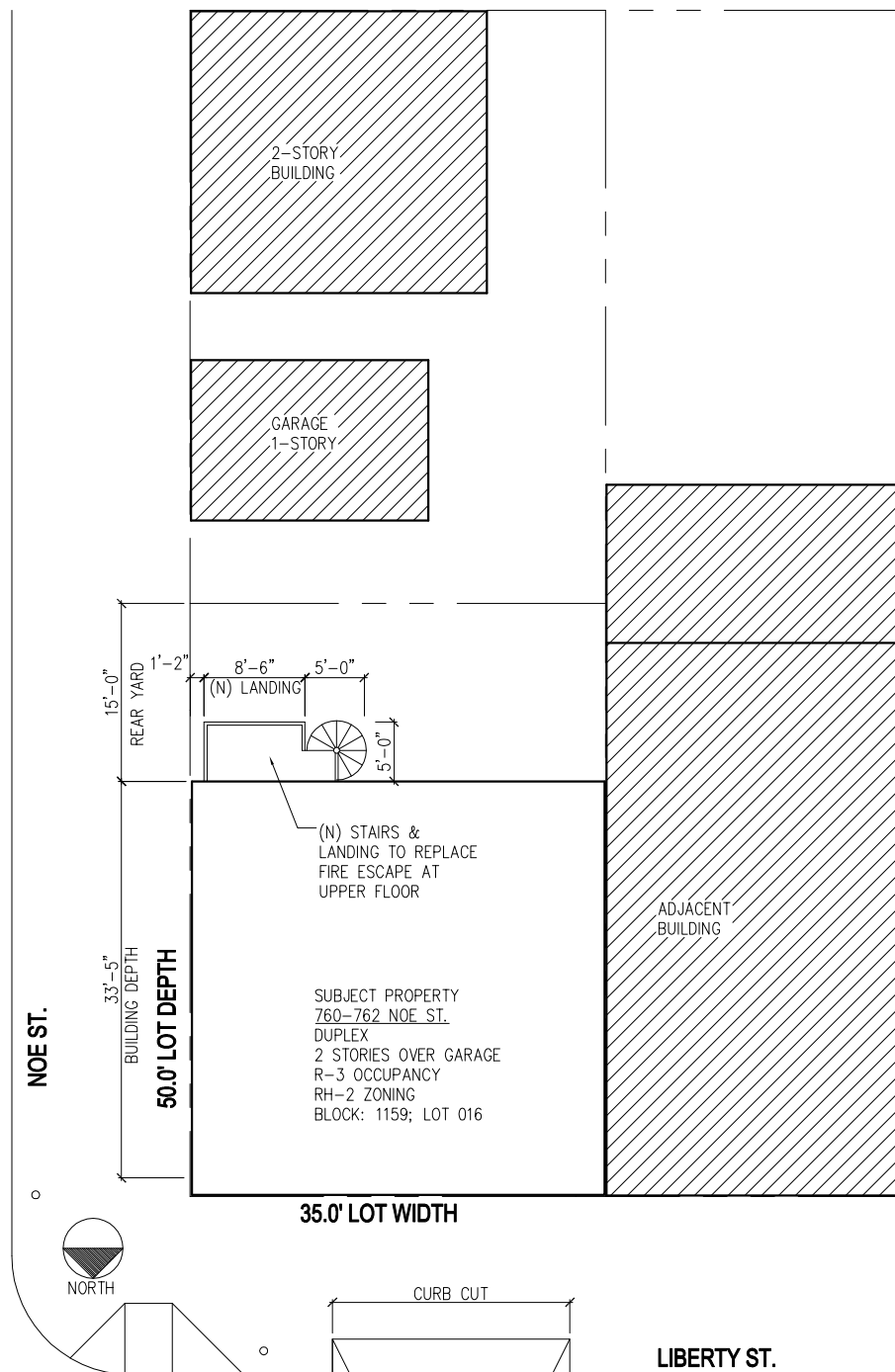
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

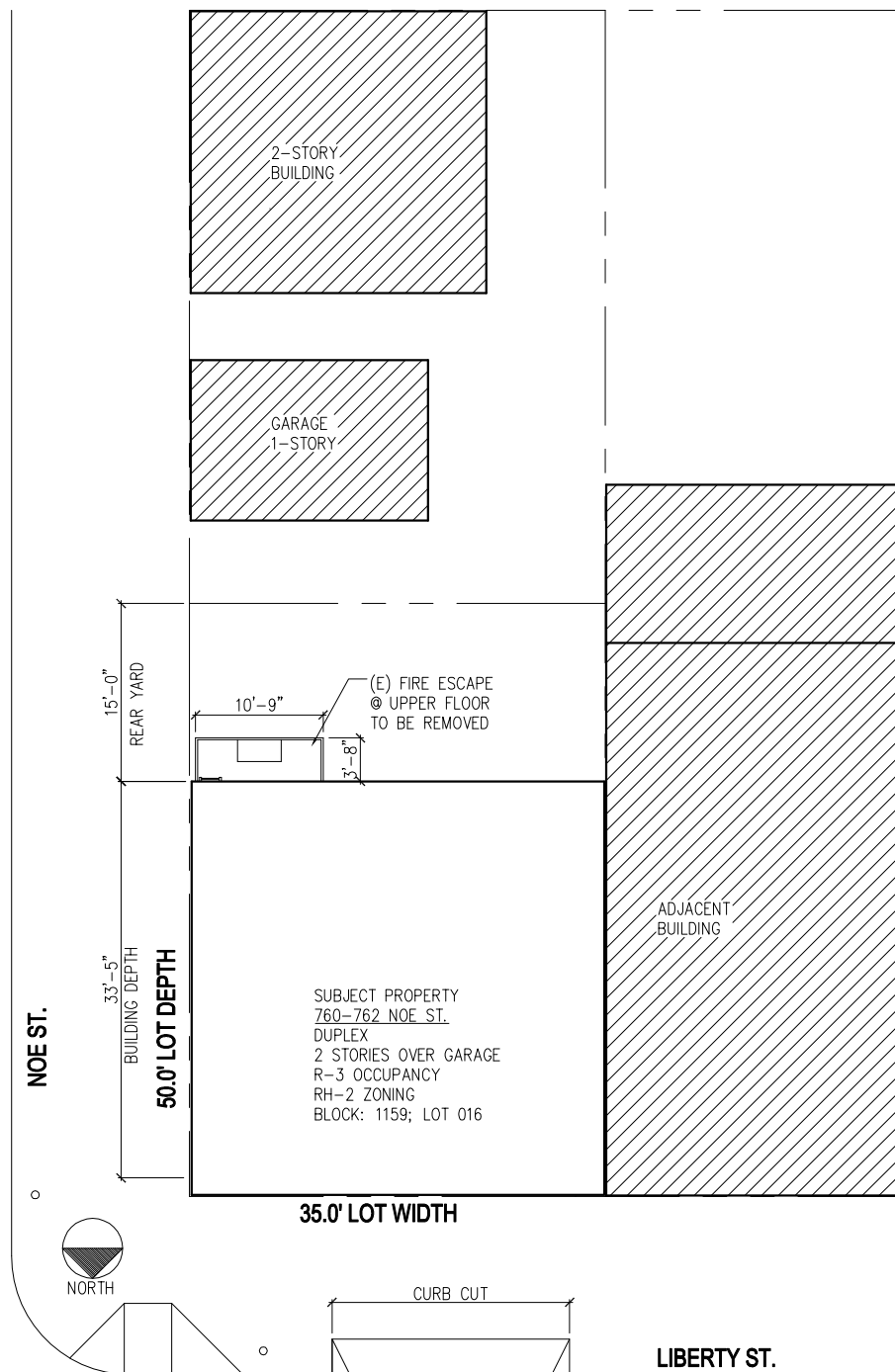
## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



**2 PROPOSED SITE PLAN**  
**SCALE: 1/8"=1'-0"**



**1** **EXISTING SITE PLAN**  
SCALE: 1/8"=1'-0"

## SCOPE OF WORK

REPLACE EXISTING FIRE ESCAPE WITH NEW SPIRAL STAIRS AND  
NEW DECK LANDING WITHIN REQUIRED REAR YARD

## PROJECT DIRECTORY

OWNER: ARDINE KANIGHTS  
762 NOE STREET, SAN FRANCISCO, CA, 94114  
ARDINE753@EARTHLINK.NET; 415-821-1161

ARCHITECT: JORGE CARBONELL  
JORGE CARBONELL ARCHITECTURE + INTERIORS  
605 MISSISSIPPI STREET, SAN FRANCISCO, CA, 94107  
JORGE@CARBONELLARCHITECTURE.COM; 415-336-3278

STRUCTURAL CONSULTANT: MICHAEL HOM  
HOM PISANO ENGINEERING  
2265 31st AVENUE, SAN FRANCISCO, CA, 94116  
HOM@HOMPISANO.COM: 415.713.8087

## BUILDING INFORMATION

BUILDING DESCRIPTION:	DUPLEX
(E) # STORIES:	3 - NO CHANGE
CONST.. TYPE	5-B - NO CHANGE
OCCUPANCY:	R-3 - NO CHANGE
# DWELLING	2 - NO CHANGE

OCCUPANT LOAD AT AREA OF SCOPE OF WORK:  
1 PER 200 SQ.FT.

APPLICABLE CODES:

CALIFORNIA BUILDING CODE; 2010 EDITION  
CALIFORNIA ELECTRICAL CODE; 2010 EDITION  
CALIFORNIA MECHANICAL CODE; 2010 EDITION  
CALIFORNIA PLUMBING CODE; 2010 EDITION  
CALIFORNIA RESIDENTIAL CODE; 2010 EDITION  
CALIFORNIA ENERGY CODE; 2010 EDITION  
CALIFORNIA FIRE CODE; 2010 EDITION  
CALIFORNIA GREEN BUILDING CODE; 2010 EDITION

## DRAWING INDEX

- A0.0 COVER SHEET & SITE PLAN
- A0.1 GENERAL REQUIREMENTS
- A2.1 FLOOR PLANS
- A3.1 ELEVATIONS
- S1.0 STRUCTURAL
- S2.1 STRUCTURAL
- S3.1 STRUCTURAL

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SAN FRANCISCO, CA  
94107

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FAX. (415) 206-1848

jrcarbonell@hotmail.com

**PROJECT:**  
REAR YARD DECK

**ADDRESS:**  
760-762 NOE STREET  
SAN FRANCISCO  
CA, 94114

**LOT / BLOCK:**  
3603/093

ISSUED	DATE
VARIANCE	02.22.2013
PERMIT	03.13.2013

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


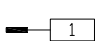







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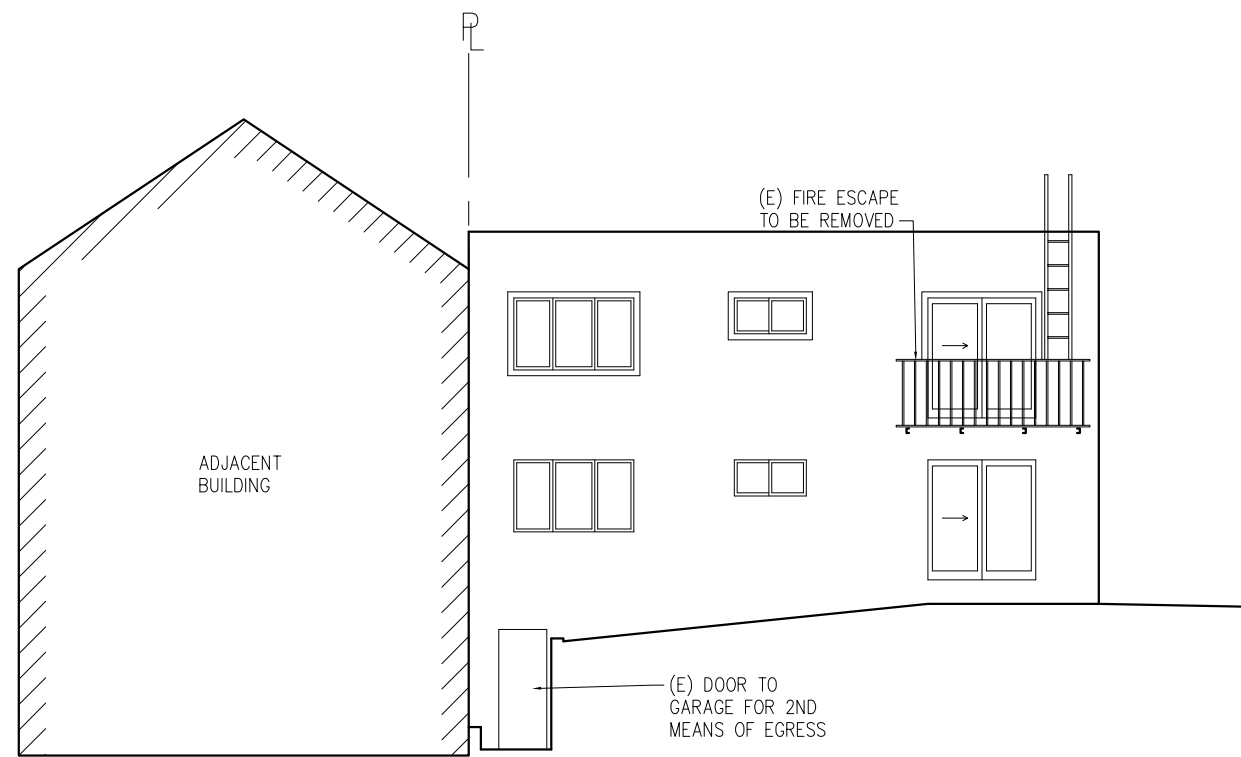
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SHEET DESCRIPTION

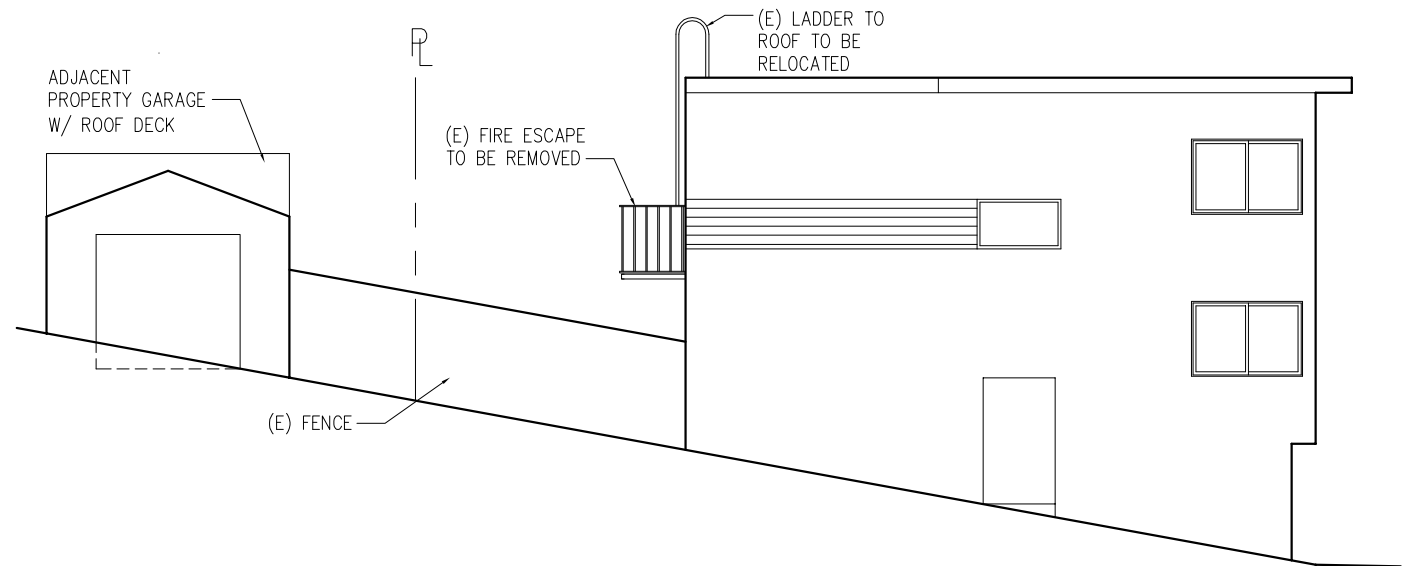
**COVER SHEET &  
SITE PLAN**

## A0.0

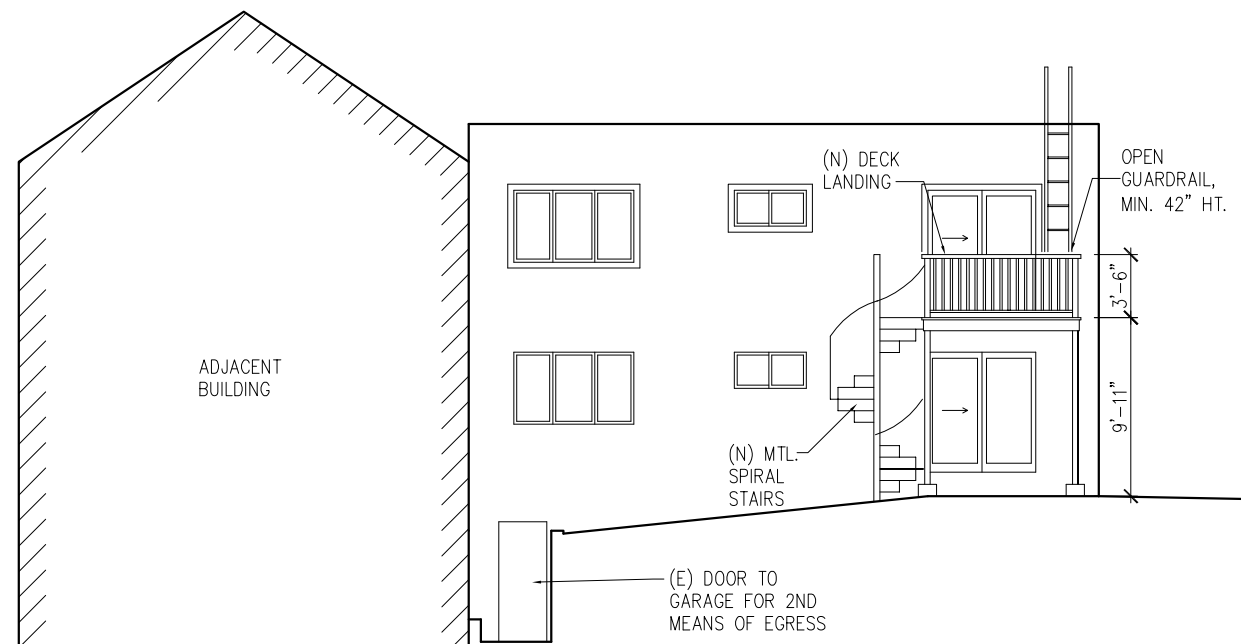
SYMBOLS		GENERAL NOTES		ABBREVIATIONS						
<div></div> <div>SECTION DRAWING SHEET NUMBER</div>	<div></div> <div>EQUIPMENT SYMBOL EQUIPMENT TYPE EQUIPMENT GROUP</div>	<div>1. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.</div> <div>2. ALL DIMENSIONS RELATING TO THE EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.</div> <div>3. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF ANY CONFLICTS OR DISCREPANCIES HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM</div> <div>4. THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO RESOLVE ANY UNCLEAR ITEMS</div> <div>5. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE.</div> <div>6. ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS</div>	<div><div>&amp;</div><div>AND</div><div>ANGLE</div><div>AT</div><div>ADJUSTABLE</div><div>AL.</div><div>ALUMINUM</div><div>APPROX.</div><div>APPROXIMATE</div><div>ARCH.</div><div>ARCHITECTURAL</div><div>ASPH.</div><div>ASPHALT</div><div>BD.</div><div>BOARD</div><div>BITUM.</div><div>BITUMINOUS</div><div>BLDG.</div><div>BUILDING</div><div>BLK.</div><div>BLOCK</div><div>BLKG.</div><div>BLOCKING</div><div>BM.</div><div>BEAM</div><div>BOT.</div><div>BOTTOM</div><div>CAB.</div><div>CABINET</div><div>CEM.</div><div>CEMENT</div><div>CLG.</div><div>CEILING</div><div>CLKG.</div><div>CAULKING</div><div>CLO.</div><div>CLOSET</div><div>CLR.</div><div>CLEAR</div><div>COL.</div><div>COLUMN</div><div>CONC.</div><div>CONCRETE</div><div>CONSTR.</div><div>CONSTRUCTION</div><div>CONT.</div><div>CONTINUOUS</div><div>CTR.</div><div>CENTER</div><div>DBL.</div><div>DOUBLE</div><div>DEPT.</div><div>DEPARTMENT</div></div>	<div><div>DET.</div><div>DETAIL</div><div>DIA.</div><div>DIAMETER</div><div>DIM.</div><div>DIMENSION</div><div>DN.</div><div>DOWN</div><div>DR.</div><div>DOOR</div><div>DS.</div><div>DOWNSPOUT</div><div>D.S.P</div><div>DRY STANDPIPE</div><div>DWG.</div><div>DRAWING</div><div>E.</div><div>EAST</div><div>EA.</div><div>EACH</div><div>EL.</div><div>ELEVATION</div><div>ELEC.</div><div>ELECTRICAL</div><div>ELEV.</div><div>ELEVATOR</div><div>EMER.</div><div>EMERGENCY</div><div>ENCL.</div><div>ENCLOSURE</div><div>EQ.</div><div>EQUAL</div><div>EQPT.</div><div>EQUIPMENT</div><div>(E)</div><div>EXISTING</div><div>EXT.</div><div>EXTERIOR</div><div>F.A.</div><div>FIRE ALARM</div><div>F.B.</div><div>FLAT BAR</div><div>F.D.</div><div>FLOOR DRAIN</div><div>FDN.</div><div>FOUNDATION</div><div>F.E.</div><div>FIRE EXTINGUISHER</div><div>FIN.</div><div>FINISH</div><div>FL.</div><div>FLOOR</div><div>FLUOR.</div><div>FLUORESCENT</div><div>F.O.C.</div><div>FACE OF CONCRETE</div><div>F.O.F.</div><div>FACE OF FINISH</div><div>F.O.S.</div><div>FACE OF STUDS</div></div>	<div><div>FT.</div><div>FOOT OR FEET</div><div>FTG.</div><div>FOOTING</div><div>GA.</div><div>GAUGE</div><div>GALV.</div><div>GALVANIZED</div><div>G.B.</div><div>GRAB BAR</div><div>GYP.</div><div>GYPSUM</div><div>H.B.</div><div>HOSE BIBB</div><div>HDWD.</div><div>HARDWOOD</div><div>HORIZ.</div><div>HORIZONTAL</div><div>HR.</div><div>HOUR</div><div>HT.</div><div>HEIGHT</div><div>INSUL.</div><div>INSULATION</div><div>INT.</div><div>INTERIOR</div><div>JT.</div><div>JOINT</div><div>LAM.</div><div>LAMINATE</div><div>LT.</div><div>LIGHT</div><div>MAX.</div><div>MAXIMUM</div><div>MECH.</div><div>MECHANICAL</div><div>MEMB.</div><div>MEMBRANE</div><div>MTL.</div><div>METAL</div><div>MFR.</div><div>MANUFACTURER</div><div>MIN.</div><div>MINIMUM</div><div>MISC.</div><div>MISCELLANEOUS</div><div>(N)</div><div>NEW</div><div>N.</div><div>NORTH</div><div>N.I.C</div><div>NOT IN CONTRACT</div><div>NO.</div><div>NUMBER</div><div>#</div><div>NOM.</div><div>NOMINAL</div><div>N.T.S.</div><div>NOT TO SCALE</div><div>O.C.</div><div>ON CENTER</div></div>	<div><div>OPNG.</div><div>OPENING</div><div>OPP.</div><div>OPPOSITE</div><div>OSCI</div><div>OWNER SUPPLIED</div><div>CONTRACTOR</div><div>INSTALLED</div><div>PL.</div><div>PLYWOOD</div><div>PT.</div><div>POINT</div><div>Q.T.</div><div>QUARRY TILE</div><div>R.</div><div>RISER</div><div>PL.</div><div>PLATE</div><div>PLYWD.</div><div>PLYWOOD</div><div>PT.</div><div>POINT</div><div>Q.T.</div><div>QUARRY TILE</div><div>R.</div><div>RISER</div><div>R.D.</div><div>ROOF DRAIN</div><div>REF.</div><div>REFERENCE</div><div>REFR.</div><div>REFRIGERATOR</div><div>REINF.</div><div>REINFORCED</div><div>REQ'D.</div><div>REQUIRED</div><div>RM.</div><div>ROOM</div><div>R.O.</div><div>ROUGH OPENING</div><div>R.W.L.</div><div>RAIN WATER LEADER</div><div>S.</div><div>SOUTH</div><div>SCHED.</div><div>SCHEDULE</div><div>SECT.</div><div>SECTION</div><div>SHR.</div><div>SHOWER</div><div>SHT.</div><div>SHEET</div><div>SIM.</div><div>SIMILAR</div><div>SPEC.</div><div>SPECIFICATION</div></div>	<div><div>SQ.</div><div>SQUARE</div><div>S.S.D.</div><div>SEE STRUCTURAL DRAWINGS</div><div>S.S.T.</div><div>STAINLESS STEEL</div><div>STA.</div><div>STATION</div><div>STD.</div><div>STANDARD</div><div>STL.</div><div>STEEL</div><div>STOR.</div><div>STORAGE</div><div>STRL.</div><div>STRUCTURAL</div><div>SUSP.</div><div>SUSPENDED</div><div>SYM.</div><div>SYMMETRICAL</div><div>T.C.</div><div>TOP OF CURB</div><div>TEL.</div><div>TELEPHONE</div><div>T.&amp;G.</div><div>TONGUE AND GROOVE</div><div>THK.</div><div>THICK</div><div>T.W.</div><div>TOP OF WALL</div><div>TYP.</div><div>TYPICAL</div><div>UNF.</div><div>UNFINISHED</div><div>U.O.N.</div><div>UNLESS OTHERWISE NOTED</div><div>VERT.</div><div>VERTICAL</div><div>VEST.</div><div>VESTIBULE</div><div>W.</div><div>WEST</div><div>W/</div><div>WITH</div><div>W.C.</div><div>WATER CLOSET</div><div>WD.</div><div>WOOD</div><div>W/O</div><div>WITHOUT</div><div>WP.</div><div>WATERPROOF</div><div>WT.</div><div>WEIGHT</div></div>			
<div></div> <div>ELEVATION DRAWING SHEET NUMBER</div>	<div></div> <div>REVISION</div>		<div></div> <div>WALL TYPE</div>	<div></div> <div>DETAIL DRAWING SHEET NUMBER</div>	<div></div> <div>FINISH SYMBOL</div>	<div></div> <div>MATCH LINE SHADED PORTION IS SIDE CONSIDERED</div>	<div><div>LEFT</div><div></div><div>RIGHT</div></div> <div>INTERIOR ELEVATION DRAWING NUMBER</div>	<div></div> <div>DATUM POINT</div>	<div><div>UP</div><div></div><div>DOWN</div></div> <div>ROOM IDENTIFICATION ROOM NAME ROOM NUMBER</div>	<div></div> <div>COLUMN GRID</div>



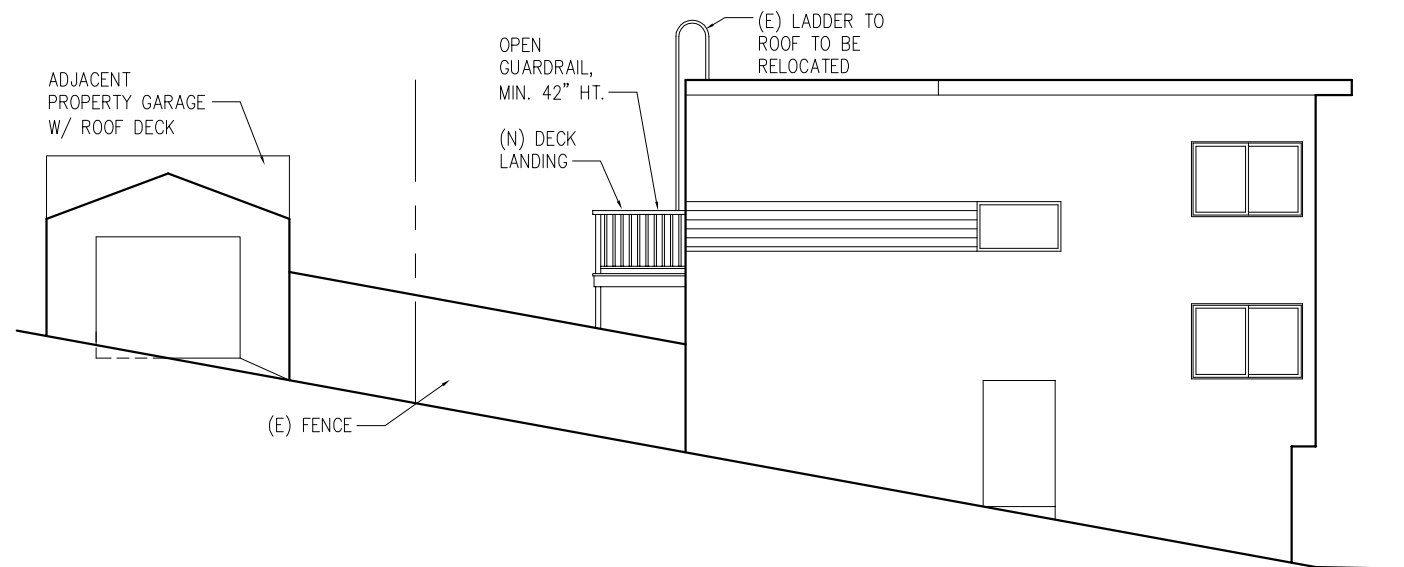
**2 SOUTH ELEVATION - EXISTING**  
SCALE: 3/16" = 1'-0"



**1 EAST ELEVATION - EXISTING**  
SCALE: 3/16" = 1'-0"



**4 SOUTH ELEVATION - PROPOSED**  
SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION - PROPOSED**  
SCALE: 3/16" = 1'-0"

**JORGE CARBONELI  
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REAR YARD DECK

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3603/093

ISSUED	DATE
<b>VARIANCE</b>	<b>02.22.2013</b>
<b>PERMIT</b>	<b>03.13.2013</b>

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SHEET DESCRIPTION  
**ELEVATIONS**

**A3.1**