



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,  
CA 94103-2479

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 22, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard )**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>2335 15th Avenue</b>	Case No.:	<b>2013.0146V</b>
Cross Street(s):	<b>Santiago and Taraval</b>	Building Permit:	<b>201302089761</b>
Block / Lot No.:	<b>2344A/008</b>	Applicant/Agent:	<b>Andrew Morrall</b>
Zoning District(s):	<b>RH-1(D) / 40-X</b>	Telephone:	<b>415 282 0616</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>andy@morallarch.com</b>

### PROJECT DESCRIPTION

The project proposes to enclose a second floor rear deck on the southwest corner of the dwelling. This existing structure currently encroaches into the required rear yard, thereby requiring a rear yard variance to allow enclosure of the deck.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 20'-6". The existing structure encroaches 12'-10" into the required rear yard. The proposed deck enclosure would encroach approximately 10'-4" into the required rear yard and result in a rear yard of approximately 10'-2" at point of the addition. Therefore, the project requires a variance from the rear yard requirement of the Planning Code.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Casey Noel**

Telephone: **415-575-9125** Mail: [Casey.Noel@sfgov.org](mailto:Casey.Noel@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0146V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On April 3, 2013, the Department issued the required Section 311 notification for this project (expires May 3, 2013).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

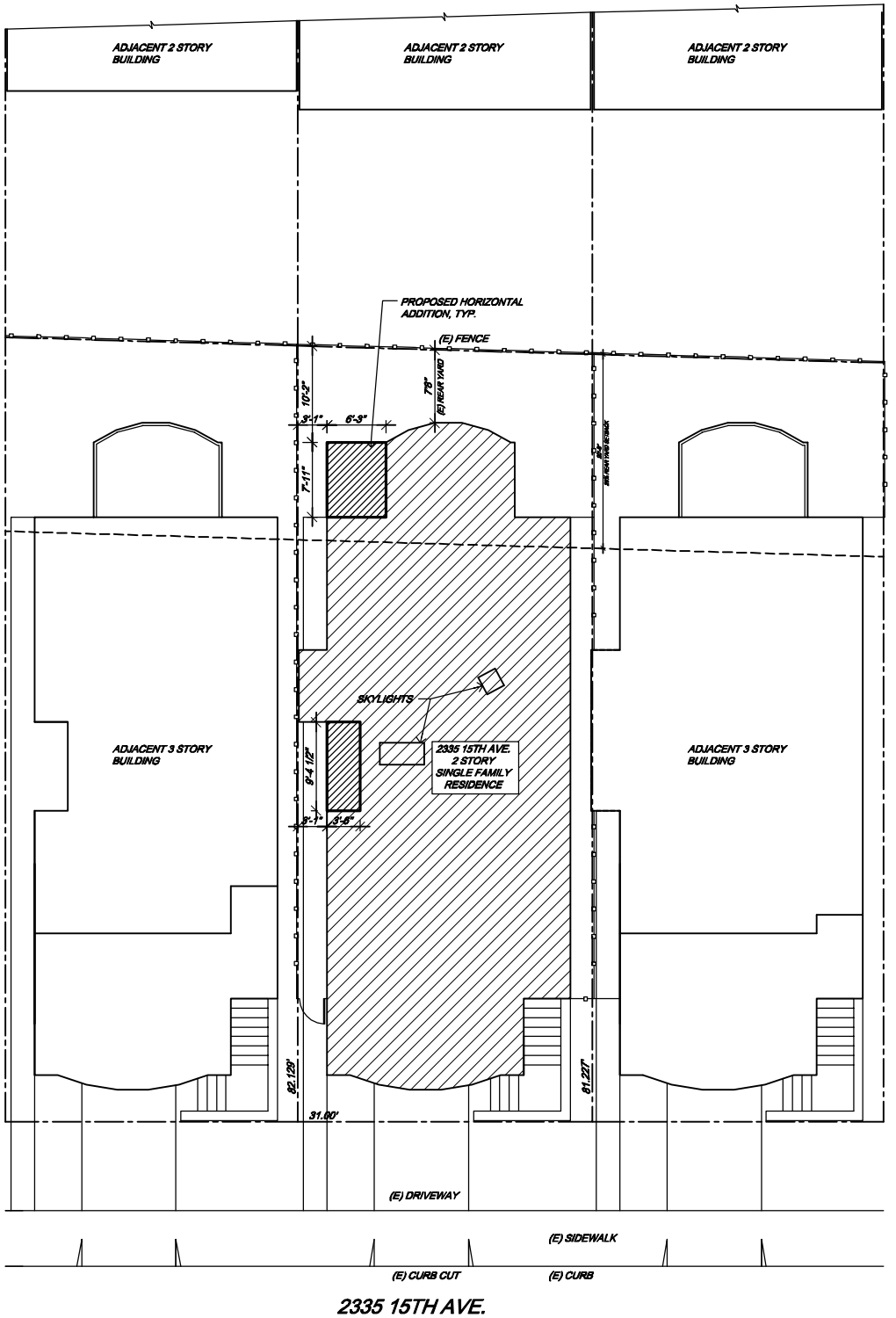
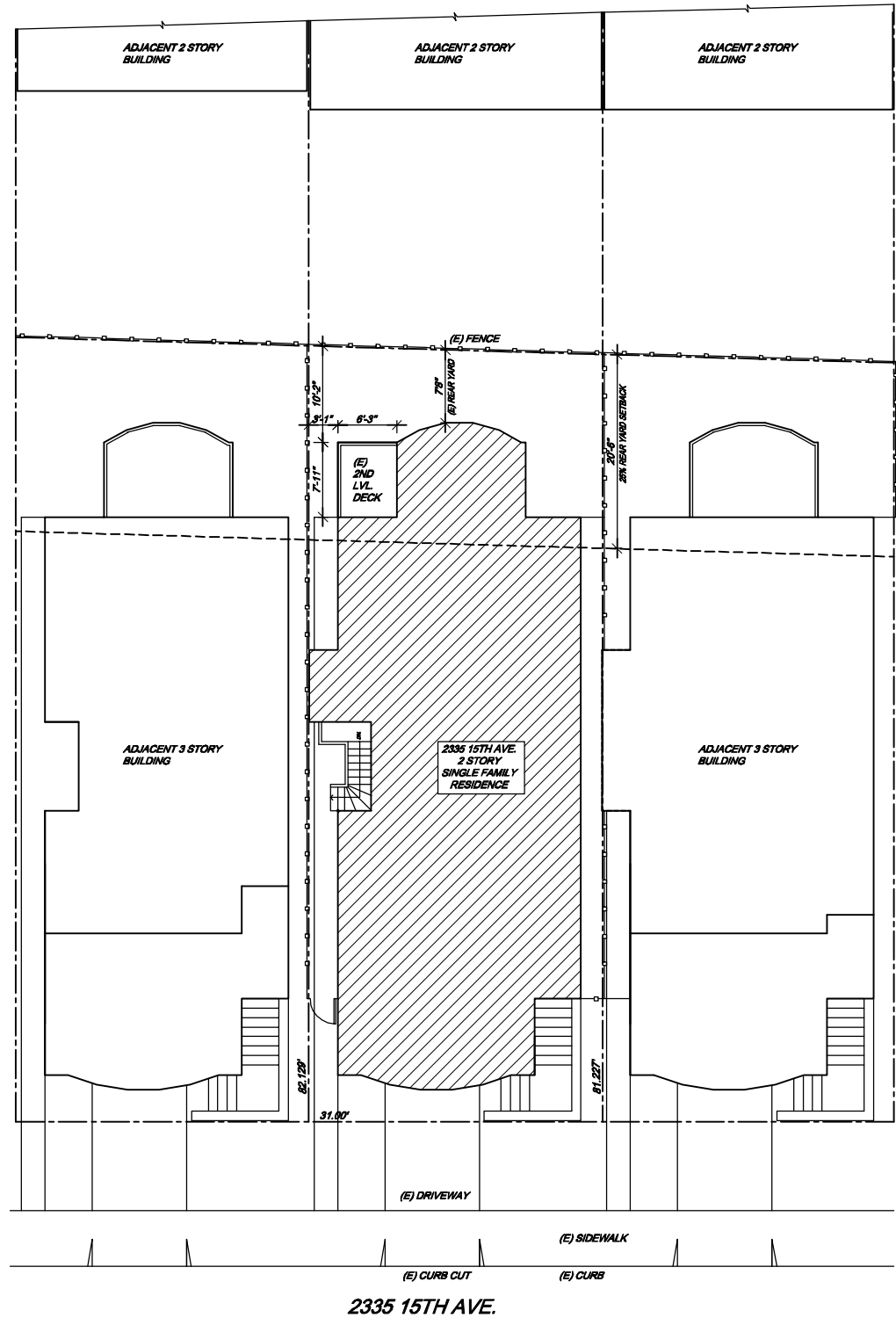
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

IMPROVEMENTS FOR THE RESIDENCE OF:  
**WENDY LAM AND BENJY SY**  
**2335 15TH AVE.**  
**SAN FRANCISCO, CA. 94116**

SHEET TITLE:  
**EXISTING AND PROPOSED  
SITE PLANS**

DATE: 2.8.13  
ISSUANCE: VARIANCE & 311 SUBMITTAL

SHEET NUMBER:  
**A1.1**



PROJECT DATA

PROJECT ADDRESS: 2335 15TH AVE.  
BLOCK AND LOT NO.: 0463A / 029  
ZONING: RH1-(D)  
HEIGHT: 40'-X  
OCCUPANCY: R3 SINGLE FAMILY  
STORIES: 2 STORIES  
BUILDING TYPE: V-A  
SQUARE FOOTAGE ADDED TO BUILDING:  
79 SQ. FT. CONDITIONED  
33 SQ. FT. UNCONDITIONED (STORAGE)  
EXISTING SQUARE FOOTAGE:  
2,130 SQ. FT. CONDITIONED  
815 SQ. FT. UNCONDITIONED (GARAGE & STORAGE)  
OVERALL REVISED SQUARE FOOTAGE:  
2,489 SQ. FT. CONDITIONED  
888 SQ. FT. UNCONDITIONED (GARAGE & STORAGE)  
DESCRIPTION OF PROJECT:  
INTERIOR REMODEL OF EXISTING KITCHEN, MASTER BEDROOM. ADD (1) INTERIOR BATH. ENCLOSE AN EXISTING REAR DECK. ENCLOSE AN EXISTING LIGHT WELL.  
OWNER CONTACT:  
WENDY LAM & BENJY SY  
2335 15TH AVE  
SAN FRANCISCO CA 94116  
415-891-7090  
ARCHITECT:  
ANDREW MORRALL  
2730 MISSION STREET  
SAN FRANCISCO CA. 94110  
415-282-0616

SHEET INDEX

- A-1.1 SITE PLANS
- A-2.1 PROPOSED PLANS
- A-3.1 PROPOSED ELEVATIONS
- A-4.1 PROPOSED SECTION
- A-5.1 EXISTING PLANS
- A-5.2 EXISTING ELEVATIONS

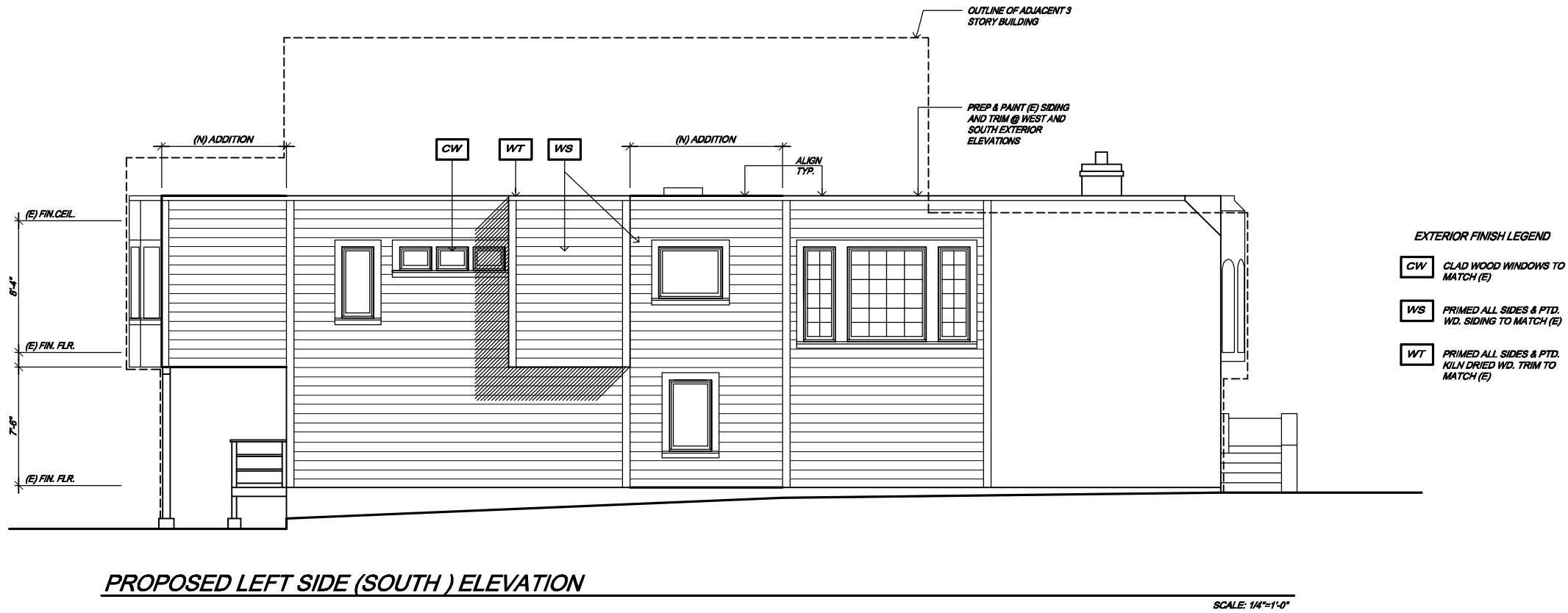
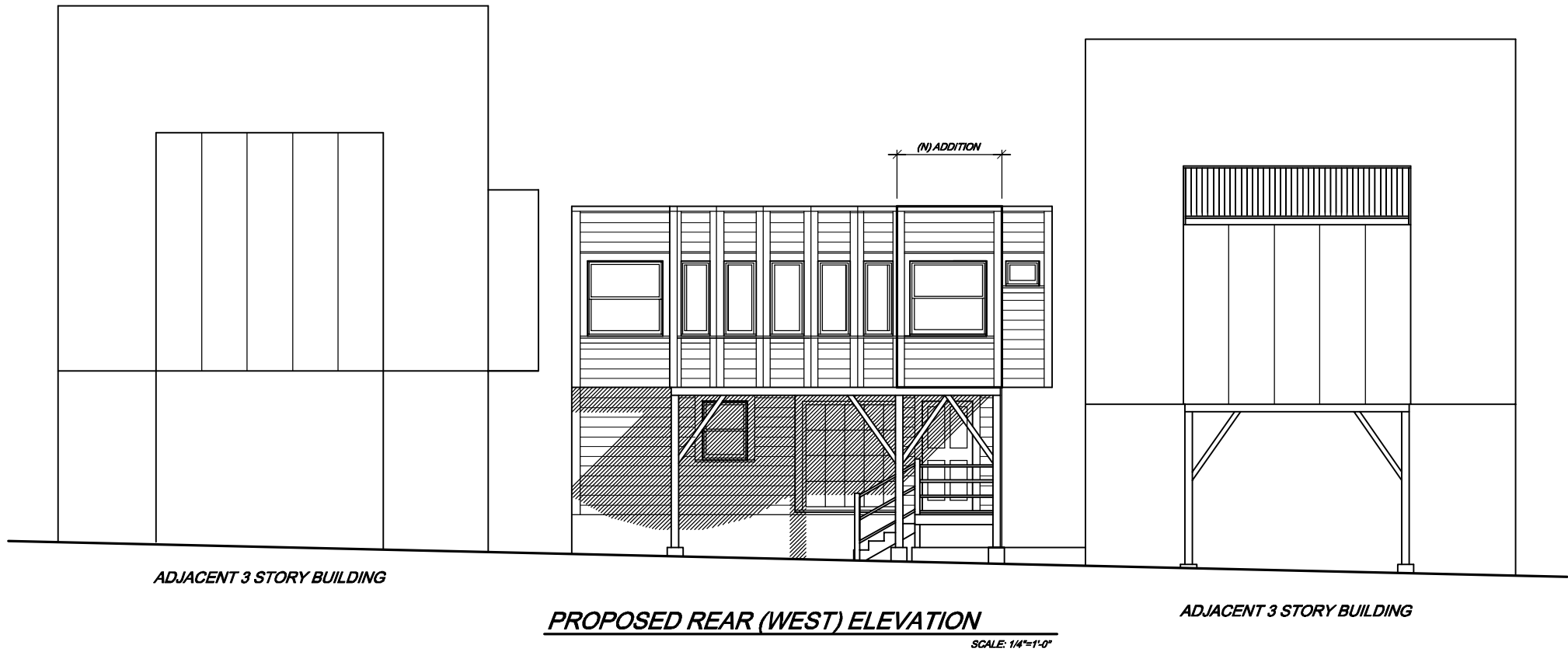


IMPROVEMENTS FOR THE RESIDENCE OF:  
**WENDY LAM AND BENJY SY**  
2335 15TH AVE.  
SAN FRANCISCO, CA. 94116

SHEET TITLE:  
**PROPOSED EXTERIOR ELEVATIONS**

DATE: 2.8.13ISSUANCE: VARIANCE & 311 SUBMITTAL

SHEET NUMBER:  
**A-3.1**



IMPROVEMENTS FOR THE RESIDENCE OF:  
**WENDY LAM AND BENJY SY**  
2335 15TH AVE.  
SAN FRANCISCO, CA. 94116

SHEET TITLE:  
**EXISTING EXTERIOR  
ELEVATIONS**

DATE: 2.8.13  
ISSUANCE: VARIANCE & 311 SUBMITTAL

SHEET NUMBER:  
**A-5.2**

