



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 04, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>2909 Bush Street</b>	Case No.:	<b>2013.0129V</b>
Cross Street(s):	<b>Lyon &amp; Presidio Streets</b>	Building Permit:	<b>N/A</b>
Block / Lot No.:	<b>1055/021</b>	Applicant/Agent:	<b>Jeremy Paul</b>
Zoning District(s):	<b>RH-3 / 40-X</b>	Telephone:	<b>415-552-1888</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>jeremy@quickdrawsf.com</b>

### PROJECT DESCRIPTION

The subject property is a 7,217 square foot flag-shaped lot with a two-story single-family home at the front of the lot and a 308 square foot one-story structure at the southeastern corner of the lot, wholly within the rear 25 percent of the lot. The proposal is to expand and convert the structure at the rear of the subject property into a dwelling unit. The proposed project includes expanding the rear structure horizontally 10 feet 6 inches to the east and 13 feet to the west to create a 679 square foot dwelling unit. The proposed project would maintain a distance of approximately 41 feet between the front and rear buildings and maintain over 3,000 square feet of open space.

**Section 134 of the Planning Code** requires a minimum rear yard depth of approximately 56 feet for the subject property with no obstructions in the rear 34 feet of the yard. The proposed expansion and change of use of the rear structure would occur entirely in the rear 34 feet of the lot, constituting an expansion and intensification of a non-complying structure in the required rear yard.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Kanishka Burns** Telephone: **415-575-9112** Mail: [Kanishka.Burns@sfgov.org](mailto:Kanishka.Burns@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0129V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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GENERAL NOTES

Verify all dimensions of the lot, easement, and soil conditions including excavation, underpinning, drainage and utility lines at this property, as well as, at adjacent properties. All construction work shall conform to local building code.

The drawings are intended to describe and provide for a finished piece of work. The contractor shall understand that the work herein described shall be completed in every detail although every necessary item involved is not particularly mentioned. The contractor will be held responsible to provide all the materials and labor necessary for the entire completion of the work intended to be described and shall not avail himself manifestly of any unintentional error or omission should such exists.

Should any error or inconsistency appears or occurs in the drawing, the contractor shall notify the owner and Architect/Engineer for proper adjustment before proceeding with the work, and in no case, shall proceed with the work in uncertainty.

Work included:

Except as otherwise specifically stated, the contractor shall provide and pay all materials, labor, tools, equipment, and building permits including encroachment and hauling permits.

Alterations:

If alterations of design or plan are made without the written consent of the Architect/Engineer, the Architect/Engineer shall not be responsible for such alterations made by or agreed upon between owner and contractor.

Information confidential

All plans, drawings, specifications and/or information furnished herewith are and shall remain the property of the Architect/Engineer & be held confidential and not be used for any purposes other than those for which they have been supplied and prepared. These drawings are not to be copied or duplicated without the Architect's/Engineer's written permission.

Note 1:

Street tree : 24" box tree per PW street tree permit requirement.

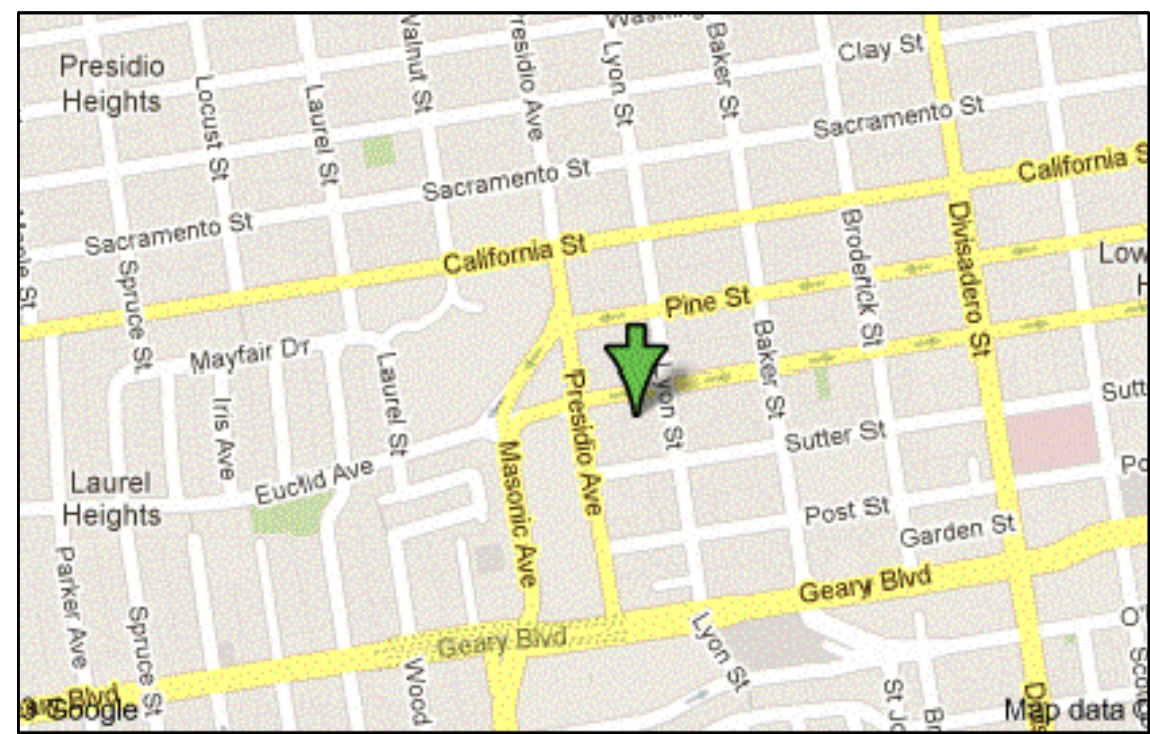
APPLICABLE CODES:

CURRENT SAN FRANCISCO ZONING CODES
2010 SAN FRANCISCO BUILDING CODE AMENDMENTS
2010 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
2010 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
2010 SAN FRANCISCO PLUMBING CODE AMENDMENTS
2010 SAN FRANCISCO HOUSING CODE AMENDMENTS

ELECTRICAL LEGEND:

SYMBOLS		SYMBOLS	
	Wall Duplex 110V outlet w/ Ground Fault Circuit Interrupter		SECTION NO. SHEET NO.
	Wall Duplex 110V outlet		DETAIL SHEET NO.
	Recess Lighting w/ high efficacy		REVISION NO.
	Ceiling Lighting		
	Exhaust Fan w/ Heat lamp or Compact Fluorescent Light		
	Smoke Detector		
	Hard-Wire Interconnect Carbon Monoxide Alarm With Battery Backup		
	Single Pole Switch		
	Single Pole Switch / Dimmer		

All new receptacles are required to be tamper resistant. All 120-volt, single phase, 15- and 20- ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter, combination-type, installed to provide protection of branch circuit.



VICINITY MAP

PROJECT DATA

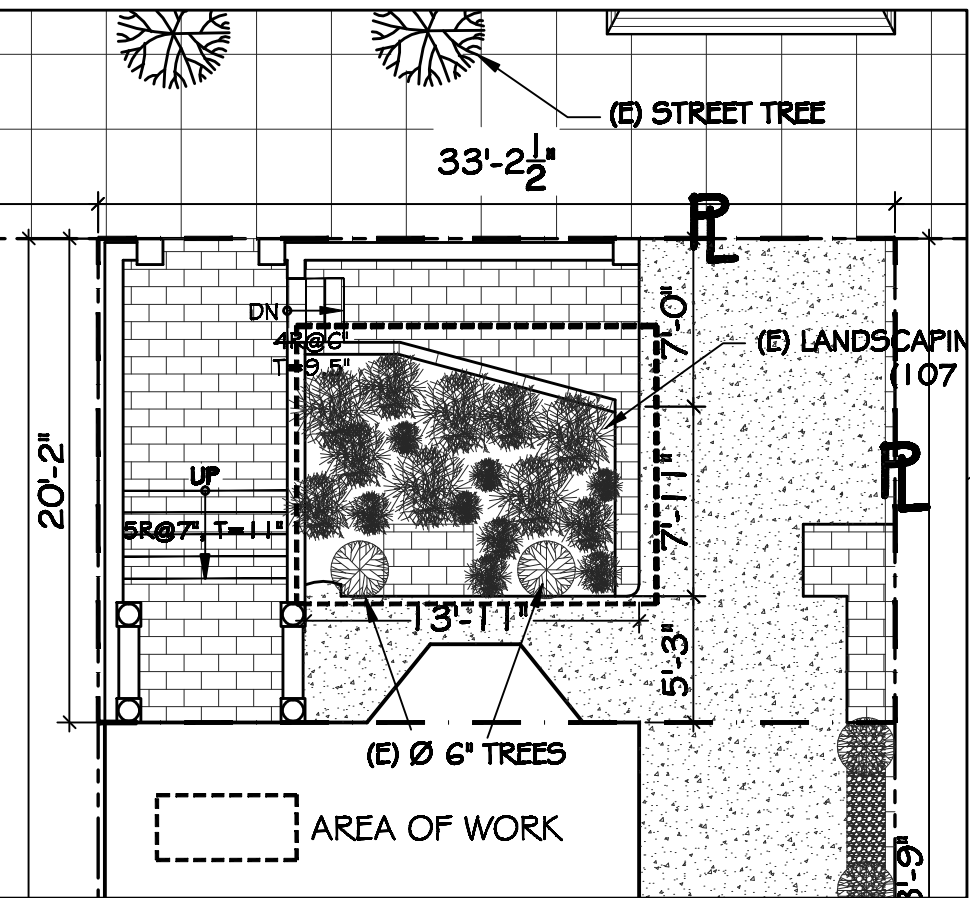
JOB ADDRESS: 2909 BUSH Street  
SAN FRANCISCO, CA  
Block: 1055 Lot: 21  
ZONING : RH3  
TYPE OF CONSTRUCTION: V-B  
OCCUPANCY: R-3  
PROPOSED BUILDING HEIGHT: 10'-2" ~ 10'-9 1/2" ±

SCOPE OF WORK

UPGRADING AN EXISTING COTTAGE BY  
ADDING A BATH & KITCHEN. ADDITIONAL  
EXTERIOR WALLS TO BE ADDED.

DRAWING INDEX

A-1: GENERAL NOTES, SITE/ROOF PLAN  
A-2: EXISTING & PROPOSED FLOOR PLANS  
SECTIONS (A-A, B-B, C-C)  
A-3: EXISTING & PROPOSED ELEVATIONS

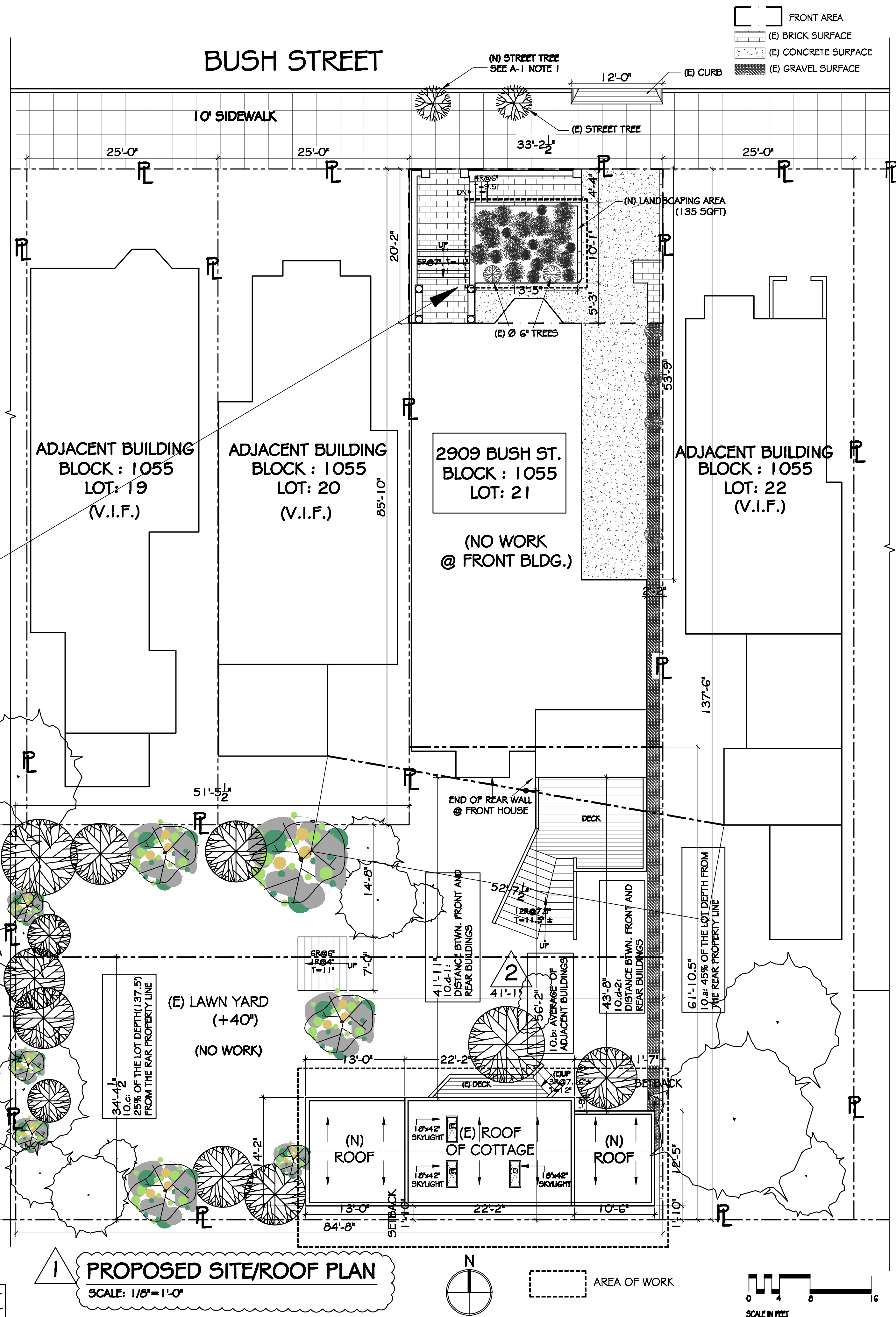


EXISTING FRONT YARD AREA

FRONT AREA	20'-2"x33'-2 1/2"=669.695SQFT --> 670 SQFT (A)
50% OF (A)	670 x .5= 335 SQFT
20% OF (A)	670 x .2= 134 SQFT
(E) LANDSCAPING AREA	107 SQFT (N) LANDSCAPING AREA 135 SQFT
(E) BRICK SURFACE IN THE FRONT YARD	408 SQFT >REQUIRED 50% (335 SQFT)

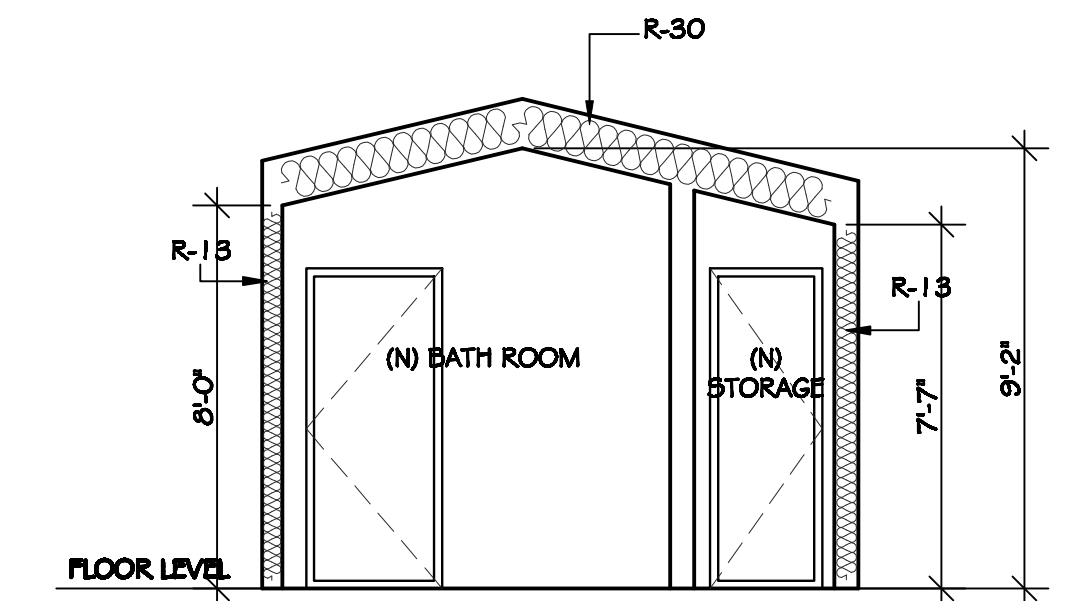
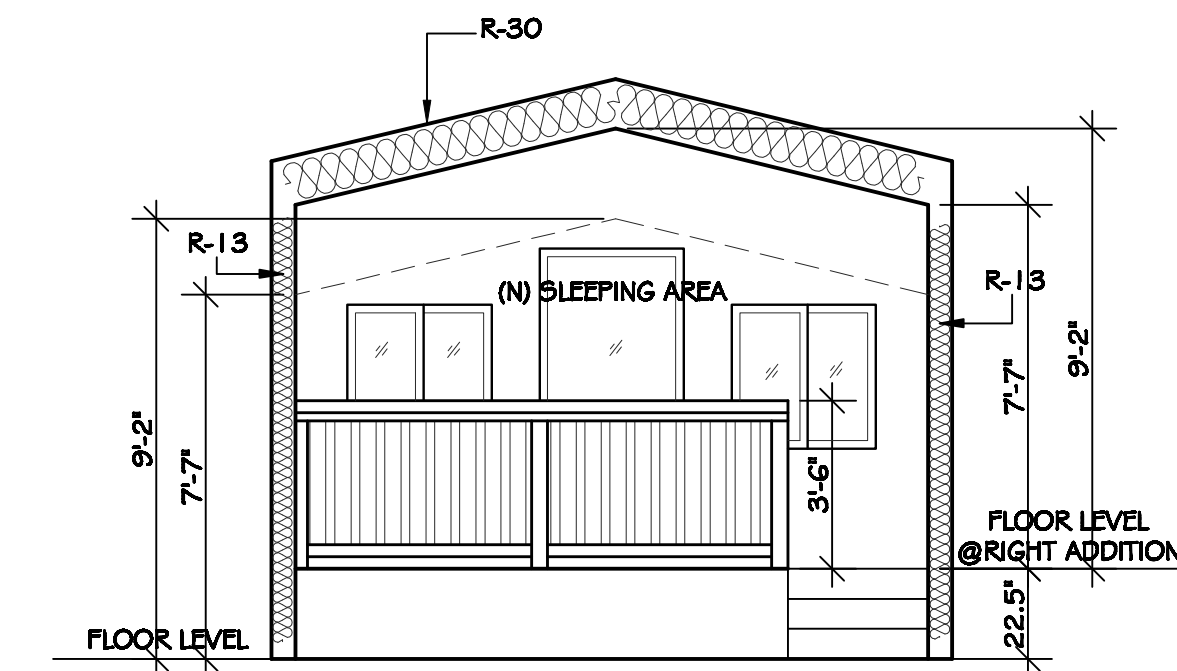
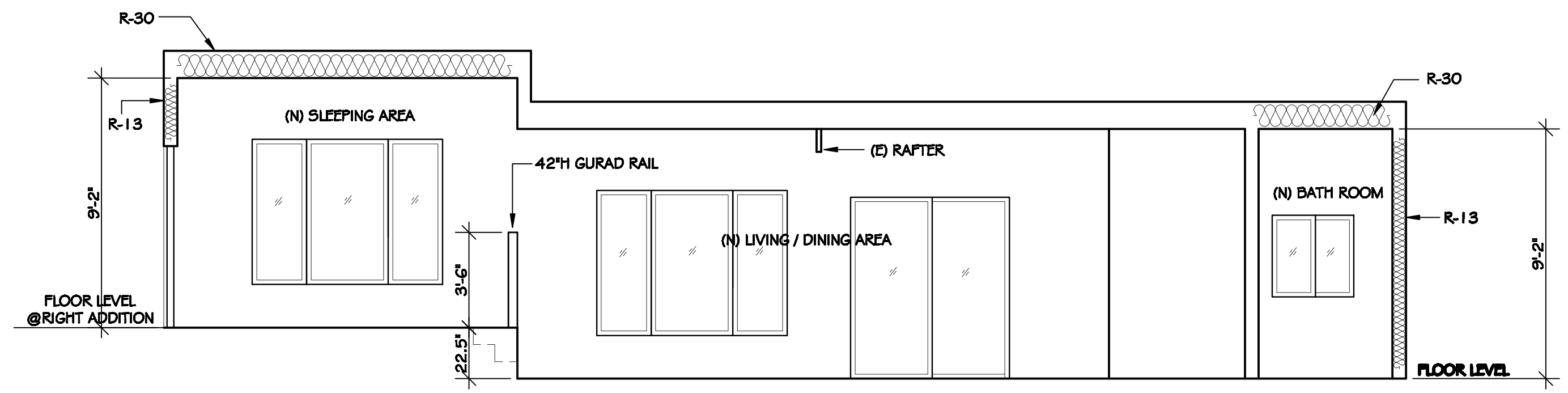
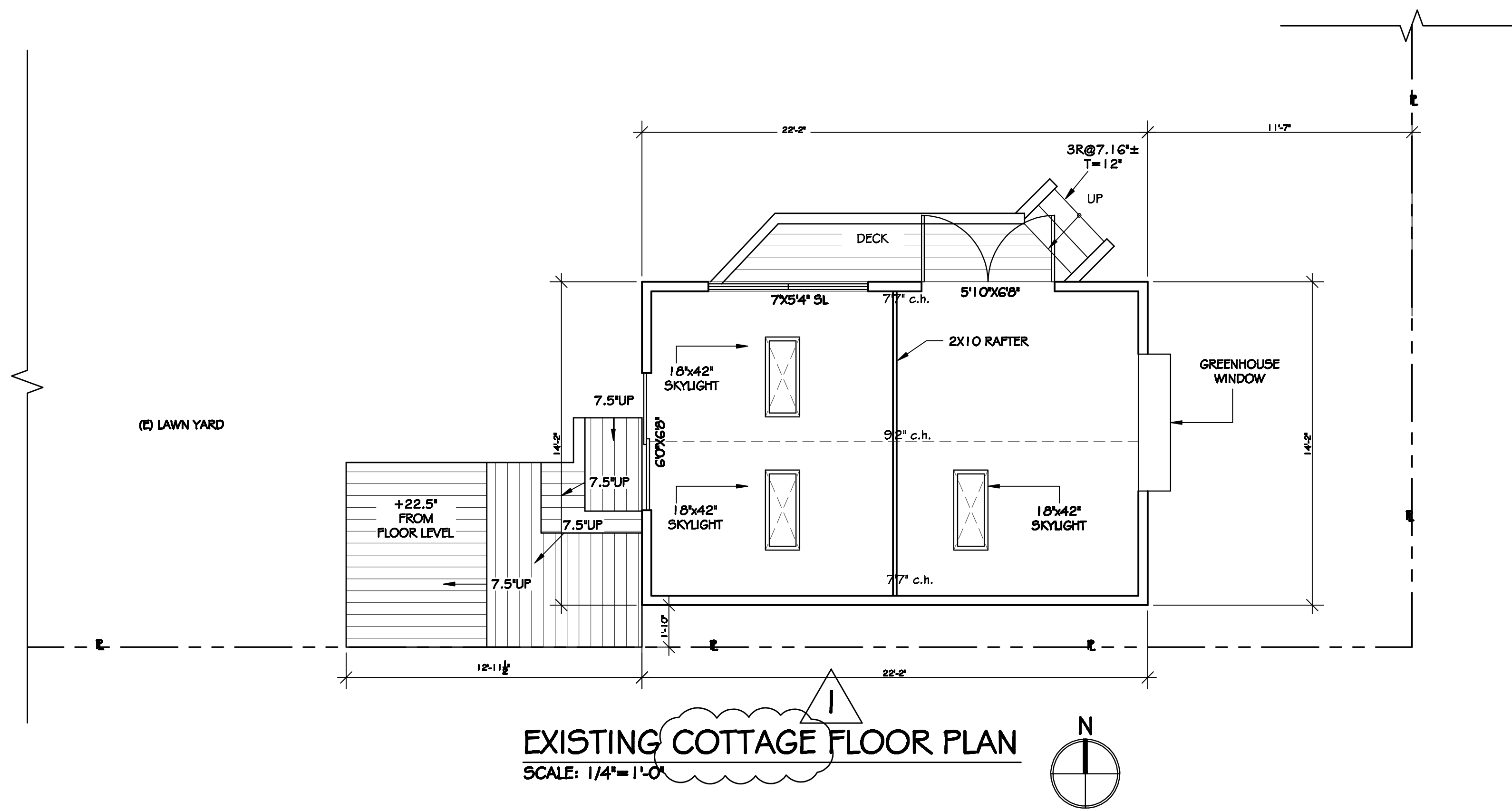
SQUARE FOOTAGE:

EXISTING COTTAGE AREA : 314 SQFT  
PROPOSED COTTAGE AREA : 629 SQFT

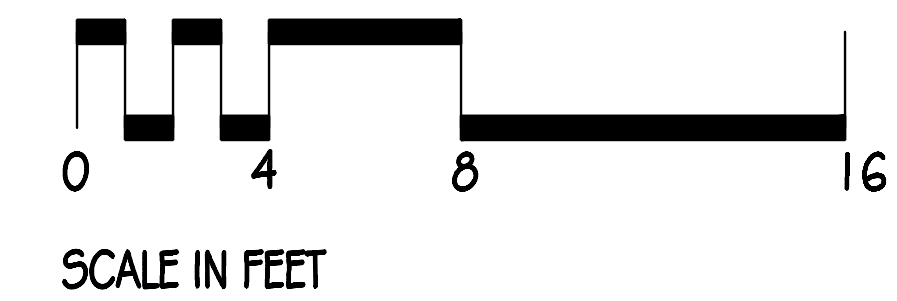
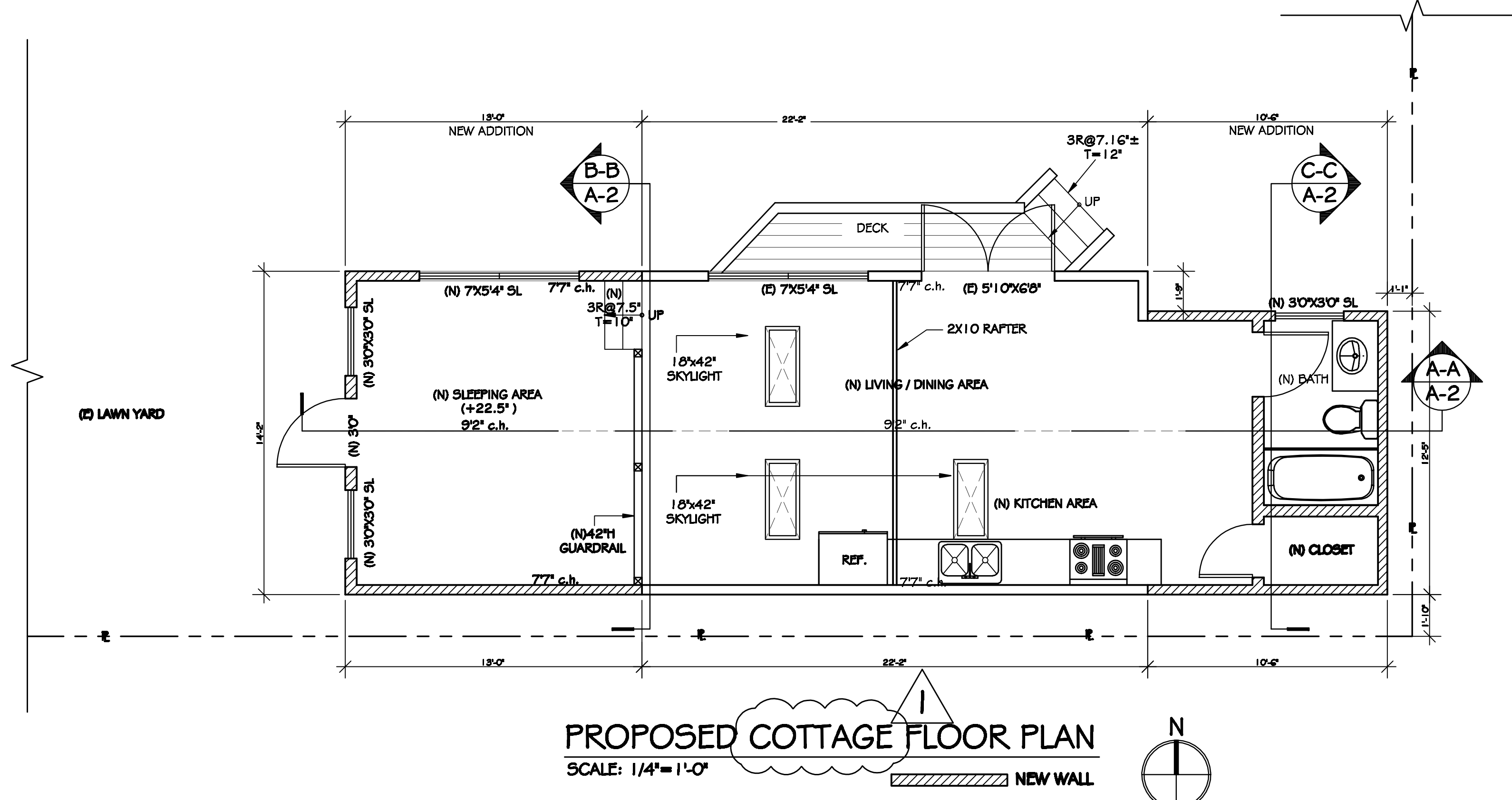


REVISIONS	BY
03.27.13	CK
04.17.13	CK
DESIGN CONSULTANTS GROUP	
3900 Geary Blvd., Suite 201 San Francisco, CA 94118 Phone: (415) 331-7180 Fax: (415) 831-7181	
REGISTERED PROFESSIONAL ENGINEER No. 18881 CIVIL ENGINEER STATE OF CALIFORNIA	
PROPOSED SITE/ROOF PLAN GENERAL NOTES	
BLOCK: 1055 LOT: 021 2909 BUSH ST SAN FRANCISCO CA 94115	
DATE	02.11.2013
SCALE	AS NOTED
DRAWN	CK
JOB	
A-1	
OF	SHEETS





- BATHROOM NOTE:**
1. No plastic plumbing pipe allowed for domestic water supply and sanitary waste system.
  2. Water closet shall have a 1.6 gallons per tank per water flush.
  3. Shower head shall not exceed a water supply flow rate of 2.5 gallons per minute.
  4. Faucets shall have maximum flow rate of 2.2 gallons per minute.
  5. Shower and Tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing type valve.
  6. All branch circuits that supply 125v, single phase 15- and 20- ampere receptacles protected by an arc-fault interrupters.
  7. All window shall have a minimum U-factor of 0.42 NFRC temporary labeling on windows shall not be removed until inspected by the enforcement agency.
  8. Ceramic tile shower stall wall extended a minimum of 70 inches above the drain inlet.
  9. Terminate exhaust fan outlet shall be minimum 3 feet away from property line and building openings w/ back-draft damper.



**Title 24 Residential Lighting requirements**  
Effective January, 1, 2010  
California Energy code (Title 24, Part 6)

**Kitchen:**  
At least 50% of installed luminaires wattage must be of high efficacy (HE) light and must be switched separately from non-HE light. Some lighting installed inside cabinet may not be included in the wattage calculation that determines half of the installed wattage is high efficacy (HE).

**Bathroom, Laundry Room, Garage, Utility Room & Closet:**  
All luminaires shall either be high efficacy (HE) or shall be controlled by a vacancy sensor. Closets that are less than 70 ft² are exempt from this requirement.

**Other Rooms:**  
This applies only to rooms that are not Kitchens, Bathrooms, Garages, Laundry rooms, Closets, or utility rooms. All installed luminaires shall either be high efficacy (HE) or shall be controlled by a vacancy sensor or dimmer.

**Recessed Luminaires in Insulated Ceilings:**  
Must be approved for zero-clearance insulation cover and must be certified as air tight.

**Outdoor Lighting:**  
All luminaires mounted to the building or to other buildings on the same lot shall be high efficacy (HE) luminaires or shall be controlled by a motion sensor in combination with a photocontrol, astronomical time clock, or energy management control system (EMCS).

**Interior Common Area of Multifamily Buildings:**  
All interior luminaires in the common areas of multifamily buildings shall either be high efficacy (HE) or shall be controlled by an occupant sensor.

REVISIONS	BY
03.27.13	CK

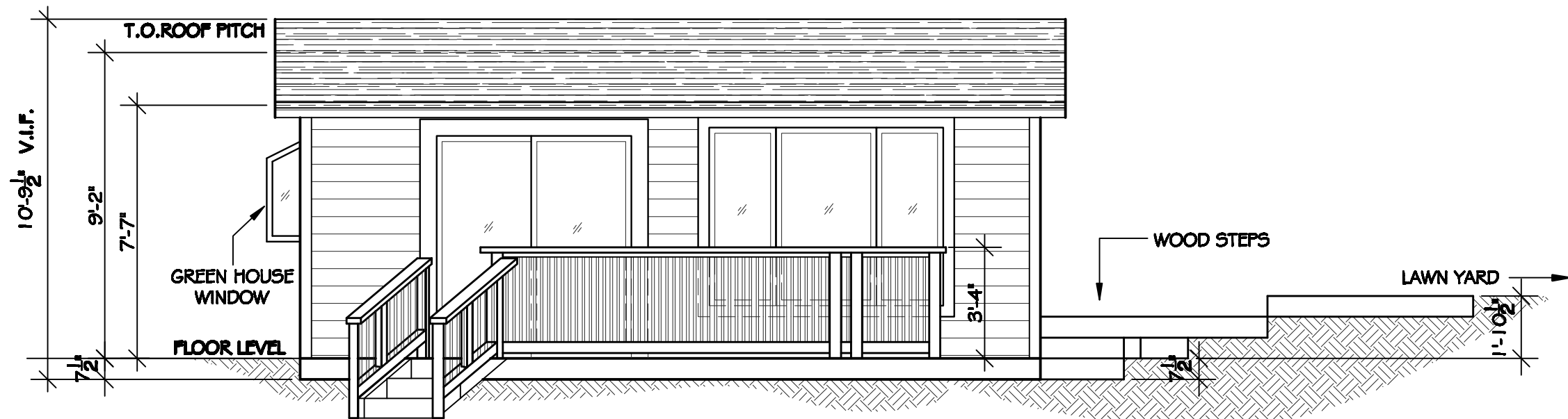
**DESIGN CONSULTANTS GROUP**  
3900 Gentry Blvd., Suite 201  
San Francisco, CA 94116  
Phone: (415) 431-7180  
Fax: (415) 831-7181

**REGISTERED PROFESSIONAL ENGINEER**  
No. 18881  
STATE OF CALIFORNIA

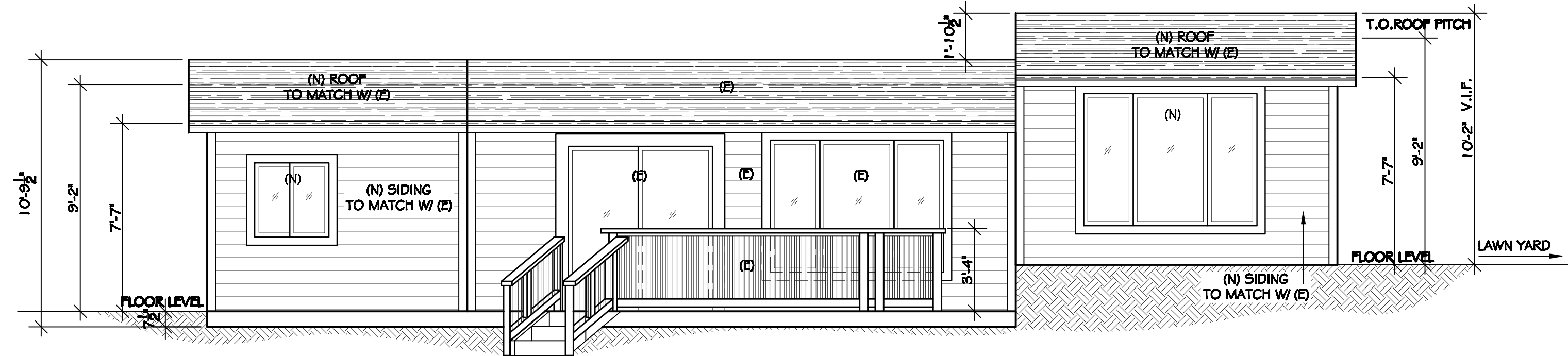
**EXISTING & PROPOSED FLOOR PLANS**  
SECTIONS (A-A, B-B, C-C)

BLOCK: 1055 LOT: 021  
2909 BUSH ST  
SAN FRANCISCO CA 94115

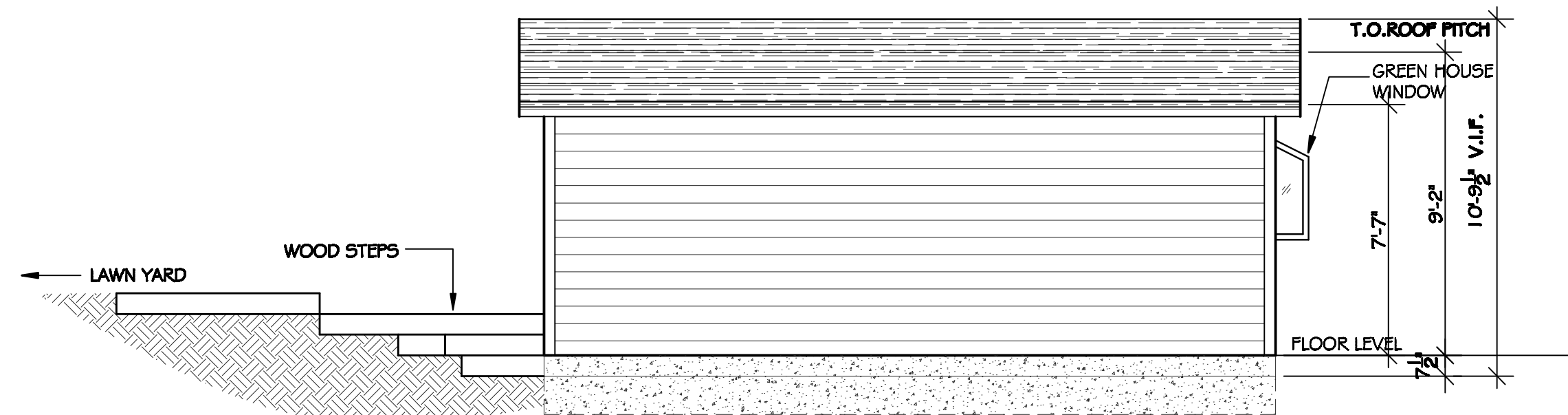
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DRAWN: CK  
JOB: A-2  
OF SHEETS



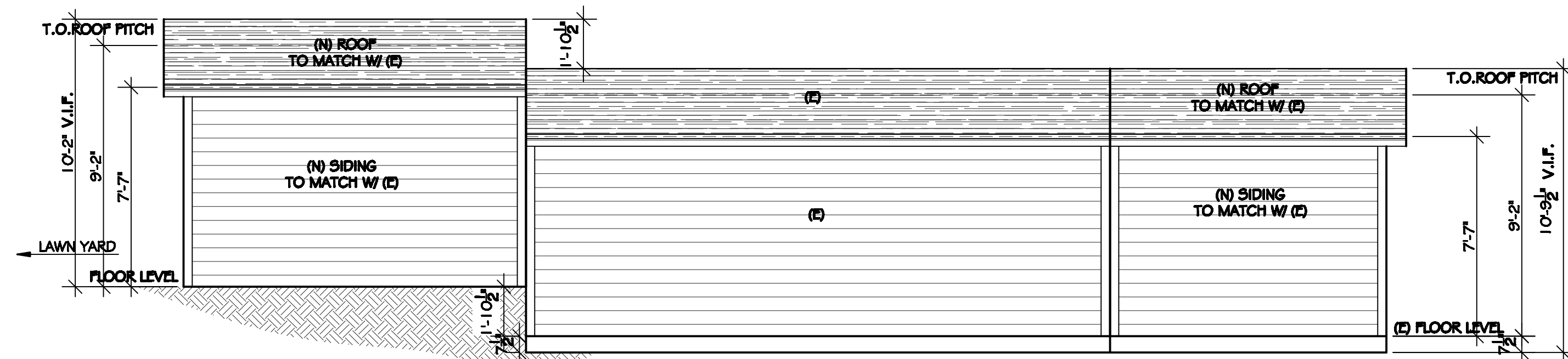
EXISTING FRONT(NORTH) ELEVATION  
SCALE: 1/4"=1'-0"



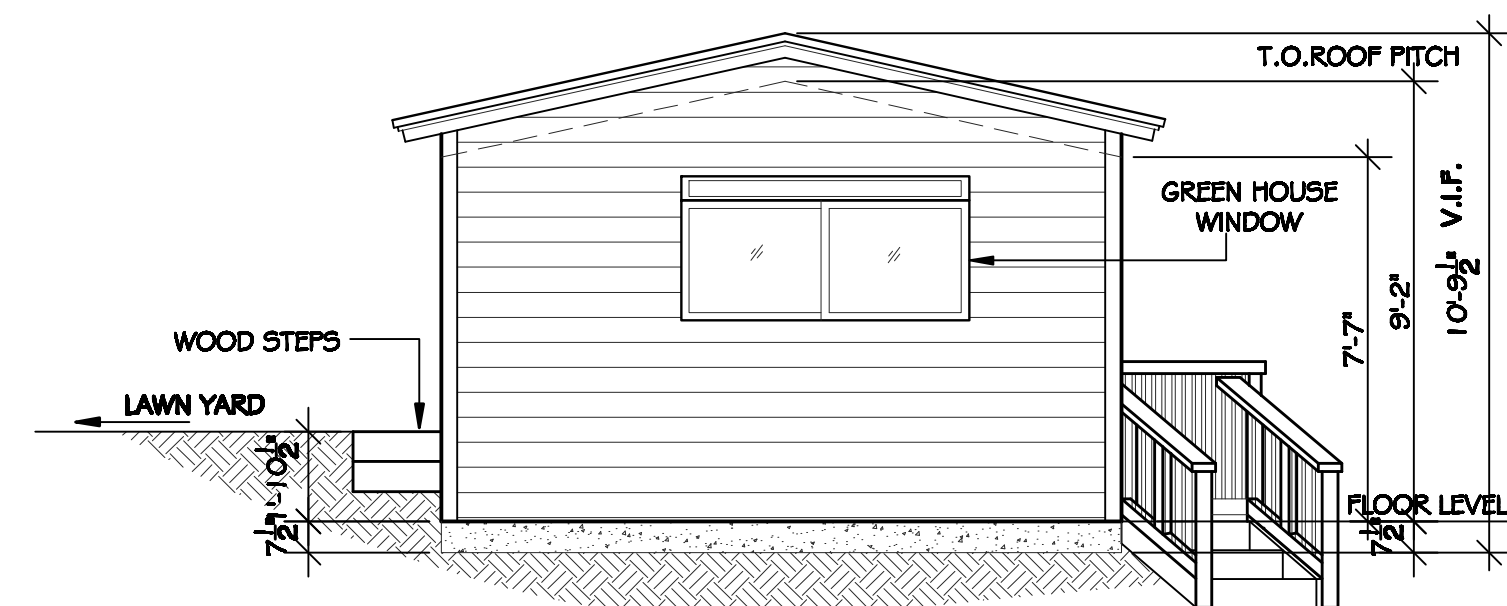
PROPOSED FRONT(NORTH) ELEVATION  
SCALE: 1/4"=1'-0"



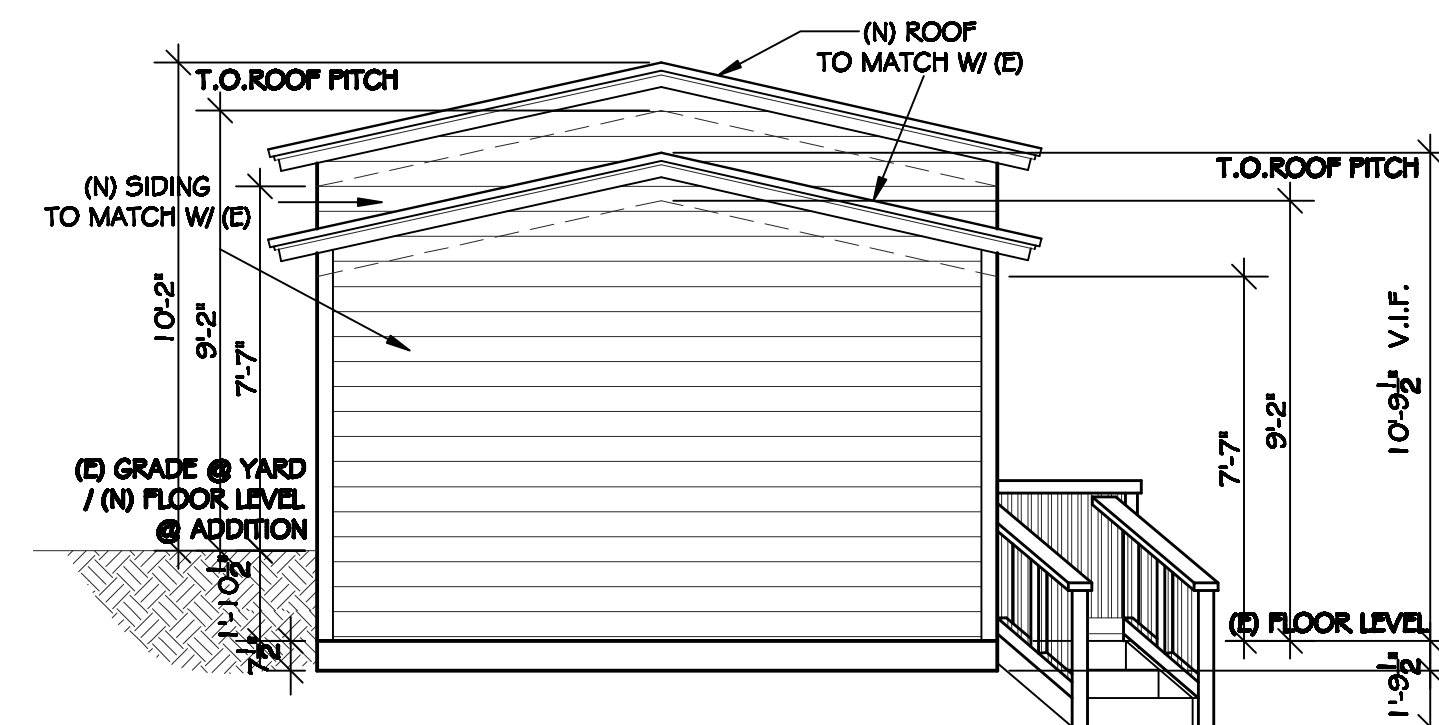
EXISTING REAR (SOUTH) ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED REAR (SOUTH) ELEVATION  
SCALE: 1/4"=1'-0"



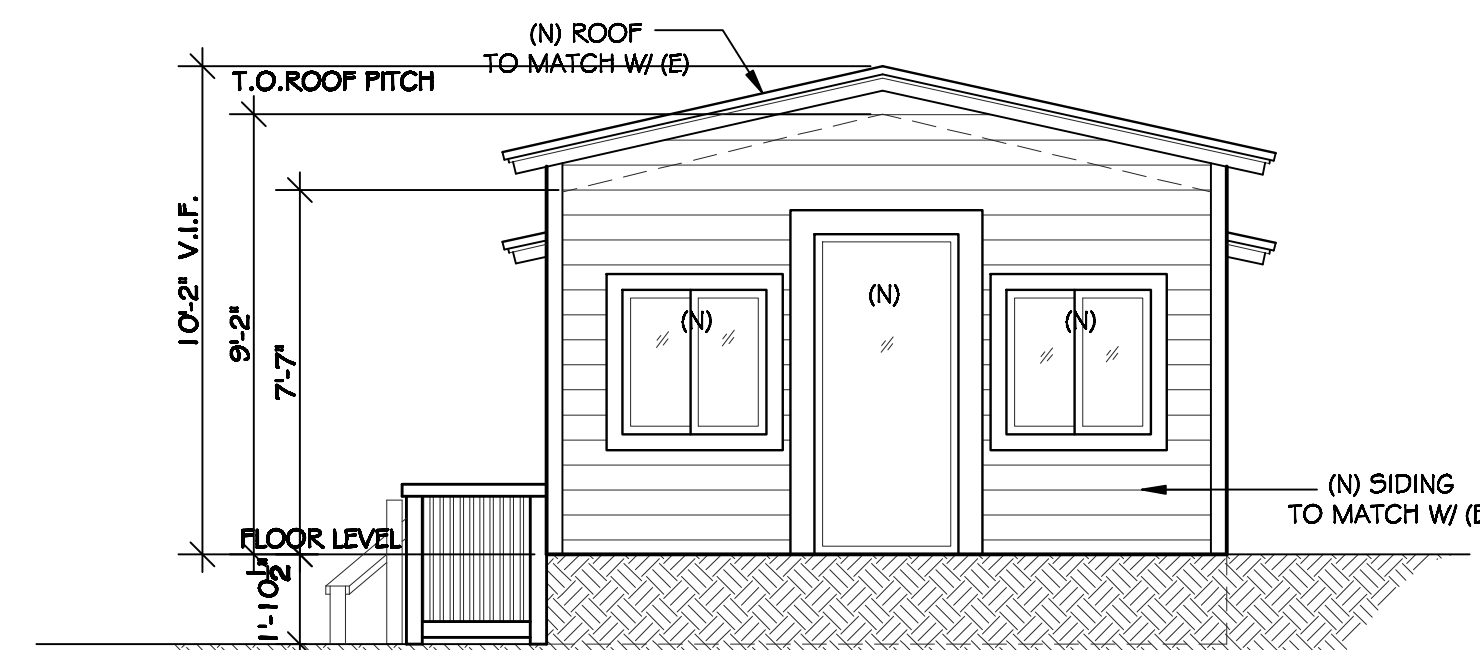
EXISTING LEFT (EAST) ELEVATION  
SCALE: 1/4"=1'-0"



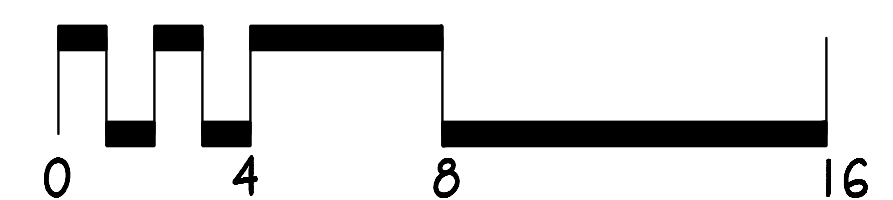
PROPOSED LEFT (EAST) ELEVATION  
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EXISTING RIGHT (WEST) ELEVATION  
SCALE: 1/4"=1'-0"



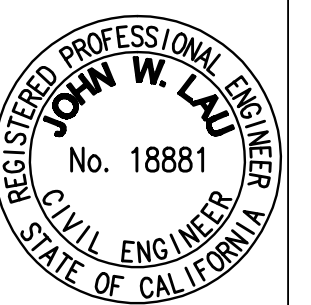
PROPOSED RIGHT (WEST) ELEVATION  
SCALE: 1/4"=1'-0"



SCALE IN FEET

REVISIONS	BY

DESIGN CONSULTANTS  
GROUP  
3900 Garry Blvd., Suite 201  
San Francisco, CA 94116  
Phone (415) 831-7180  
Fax (415) 831-7181



EXISTING & PROPOSED ELEVATIONS

BLOCK: 1055 LOT: 021  
2909 BUSH ST  
SAN FRANCISCO CA 94115

DATE	02.11.2013
SCALE	1/4"=1'-0"
DRAWN	CK
JOB	

A-3  
OF SHEETS