MEMO

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Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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GENERAL NOTES

REMOVAL PROCESS IN HIS COORDINATION WITH THE OWNER, THEN THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN

PROCEDURES WITH THE OWNER AT THE TIME OF DISCOVERY

? ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES LAWS ORDINANCES AND LOCAL MUNICIPAL

ALL THESE GENERAL NOTES. THE CONTRACTOR SHALL IDENTIFY ANY CONFLICTS BETWEEN THE WORKS OF THE SUBCONTRACTORS, AS DIRECTED BY THESE DRAWINGS, DURING THE LAYOUT OF THE AFFECTED TRADES. THE CONTRACTOR SHALL REVIEW THESE CONDITIONS WITH THE ARCHITECT FOR DESIGN CONFORMANCE BEFORE BEGINNING ANY INSTALLATION.

SHOULD NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE REQUIRED BUT NOT SHOWN. THEN THE CONTRACTOR SHALL REQUEST THE

INFORMATION, DRAWINGS OR DOCUMENTS FROM THE ARCHITECT BEFORE STARTING OR PROCEEDING WITH THE CONSTRUCTION

THE TYPE OF WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS

NEED FOR SHOP DRAWINGS OR SAMPLES OF MATERIALS OR PRODUCTS, WHICH WERE NOT IDENTIFIED IN THESE DRAWINGS OR SPECIFICATIONS, AS WELL AS ANY MATERIAL, PRODUCT OR EQUIPMENT SUBSTITUTIONS PROPOSED IN PLACE OF THOSE ITEMS IDENTIFIED IN THESE DRAWINGS AND SPECIFICATIONS

PROVIDER. THE LOCAL ELECTRICITY PROVIDER: THE LOCAL TELEPHONE SERVICE PROVIDERS: THE LOCAL CARLE TV PROVIDER: THE OWNER'S SECURITY SERVICE PROVIDER AND ANY UNNAMED UTILITY TYPE SERVICE PROVIDER. THE CONTRACTOR SHALL PROVIDE COPIES OF ANY SUCH AGREEMENTS TO THE ARCHITECT AND OWNER, IF REQUIRED OR REQUESTED.

WORKING ENVIRONMENT. THE CONTRACTOR SHALL ALSO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ARCHITECT, THEIR

LOCAL GOVERNMENT AGENCY HAVING JURISDICTION FOR THIS ISSUE, AS WELL AS COMPLY WITH THE GENERALLY ACCEPTED INDUSTRY STANDARDS OF PRACTICE FOR A PROJECT OF THIS SCOPE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH THE DWNER, IF HE WILL BE REQUIRED TO CARRY FIRE INSURANCE OR OTHER TYPES OF INSURANCE, AS WELL AS, MAKING THE OWNER AND/OR THE ARCHITECT ADDITIONALLY INSURED OH THEIR POLICIES FOR THE DURATION OF THE PROJECT. HE SHOULD ALSO ASSIST THE OWNER IN IDENTIFYING THE AMOUNT OF COVERAGE REQUIRED FOR THEIR CO-INSURANCE NEEDS.

9. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY JOB SITE ON A DAILY BASIS. THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS OR EQUIPMENT. THE CONTRACTOR SHALL NOT ENDANGER EXISTING STRUCTURES AND ANY NEWLY CONSTRUCTED STRUCTURE BY OVERLOADING THE AFOREMENTIONED WITH MATERIALS OR EQUIPMENT. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND NEW CONSTRUCTION AFTER IT IS INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY ENCLOSURES OR PROTECTION, AS NEEDED, TO PROTECT THE EXISTING STRUCTURE AND ANY NEWLY CONSTRUCTED STRUCTURES FROM THE ILL EFFECTS OF WEATHER FOR THE DURATION OF THE ENTIRE CONSTRUCTION PROCESS.

10. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGE INCURRED BY HIM OR HIS SUBCONTRACTORS TO ANY EXISTING STRUCTURE OR WORK, ANY STRUCTURE OR WORK IN PROGRESS; UNUSED MATERIAL INTENDED FOR USE IN THE PROJECT; OR ANY EXISTING SITE CONDITION WITHIN THE SCOPE OF WORK INTENDED BY THESE DRAWINGS AND SPECIFICATIONS. THIS RESPONSIBILITY WILL INCLUDE ANY MATERIALS AND LABOR REQUIRED TO CORRECT SUCH DAMAGE TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER UNLESS AGREED TO BY THE OWNER IN WRITING.

1. THE CONTRACTOR SHALL WARRANTY ACCORDING TO STATE CONSTRUCTION LAW ALL WORK DONE BY HIM, HIS EMPLOYEES AND HIS SUBCONTRACTORS AGAINST ALL VISIBLE DEFECTS OR ERRORS THAT BECOME APPARENT WITHIN THE FIRST YEAR AFTER THE COMPLETION OF THE PROJECT, AS ACCEPTED BY THE OWNER. THE CONTRACTOR SHALL, ADDITIONALLY, WARRANTY ALL DEFECTS AND ERRORS NOT VISIBLE, BUT CONTAINED WITHIN CONSTRUCTED WORK, FOR A PERIOD OF TEN YEARS FROM THE COMPLETION OF THE PROJECT. ALSO ACCORDING TO STATE CONSTRUCTION LAW. ANY AND ALL DEFECTS AND ERRORS THAT DO BECOME APPARENT SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER FOR MATERIALS OR LABOR. ALTERATIONS OR CHANGES TO THIS WARRANTY MUST BE MUTUALLY AGREED TO IN WRITING BY BOTH THE CONTRACTOR AND THE

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE APPROPRIATENESS OF THE APPLICATION OF ALL THE PRODUCT SELECTIONS SHOWN OR INTENDED IN THESE DRAWINGS AND SPECIFICATIONS. THE INTENDED MEANING OF "APPROPRIATENESS" IS THE PROPER SYSTEM, MODEL AND SPECIFIC SELECTION REQUIRED FOR THE INTENDED USE AS SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE MOST CURRENT MODEL NAME OR NUMBER FROM THE SELECTED MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT ANY INSTALLERS, WHICH HE SELECTS FOR THE VARIOUS PRODUCTS WILL FOLLOW ALL THAT PRODUCT MANUFACTURER'S REQUIRED AND RECOMMENDED METHODS AND PROCEDURES TO ACHIEVE THE DESIRED RESULTS CLAIMED BY SUCH MANUFACTURERS FOR THEIR PRODUCTS.

IN ADDITION, THESE DRAWINGS AND SPECIFICATIONS IDENTIFY SOME REQUIRED SYSTEMS AND PRODUCTS IN GENERIC TERMS. THE CONTRACTOR IS RESPONSIBLE TO MAKE SPECIFIC SELECTIONS FOR THESE SYSTEMS AND PRODUCTS THAT SATISFY THE SAME CONDITIONS OUTLINED ABOUT THE IDENTIFIED MANUFACTURED ITEMS.

13. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO IDENTIFY THE SCOPE OF WORK FOR A DESIGN AND BUILD TYPE OF ELECTRICAL INSTALLATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE: THE NECESSARY LABOR FAMILIAR WITH THIS TYPE OF INSTALLATION; ALL NECESSARY MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, TEMPORARY CONSTRUCTION; AND ANY SPECIAL OR OCCASIONAL SERVICES REQUIRED TO INSTALL A COMPLETE WORKING ELECTRICAL SYSTEM AS DIAGRAMMATICALLY DESCRIBED AND SHOWN IN THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO VERIFY ANY INFORMATION THAT IS NOT INDICATED IN THESE DRAWINGS AND SPECIFICATIONS BUT IS REQUIRED FOR THE PERFORMANCE OF THE

14. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO IDENTIFY THE SCOPE OF WORK FOR A DESIGN AND BUILD TYPE OF MECHANICAL AND PLUMBING INSTALLATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE: THE NECESSARY LABOR FAMILIAR WITH THIS TYPE OF INSTALLATION: ALL NECESSARY MATERIALS. TOOLS. EQUIPMENT. TRANSPORTATION. TEMPORARY CONSTRUCTION; AND ANY SPECIAL OR OCCASIONAL SERVICES REQUIRED TO INSTALL COMPLETE WORKING MECHANICAL AND PLUMBING SYSTEMS, AS DIAGRAMMATICALLY DESCRIBED AND SHOWN IN THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO VERIFY ANY INFORMATION THAT IS NOT INDICATED IN THESE DRAWINGS AND SPECIFICATIONS BUT IS REQUIRED FOR THE PERFORMANCE OF THE INSTALLATION.

15. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO IDENTIFY THE SCOPE OF WORK FOR A DESIGN AND BUILD TYPE OF FIRE SPRINKLER INSTALLATION THROUGHOUT THE ENTIRE STRUCTURE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE: THE NECESSARY LABOR FAMILIAR WITH THIS TYPE OF INSTALLATION; ALL NECESSARY MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION. TEMPORARY CONSTRUCTION: AND ANY SPECIAL OR OCCASIONAL SERVICES. INCLUDING THE PROCUREMENT OF ALL PERMITS REQUIRED TO INSTALL A COMPLETE WORKING SYSTEM. THE CONTRACTOR WILL ALSO BE RESPONSIBLE TO VERIFY ANY INFORMATION THAT IS NOT INDICATED IN THESE DRAWINGS AND SPECIFICATIONS BUT IS REQUIRED FOR THE PERFORMANCE OF THE

16. IF THE CONTRACTOR FINDS FAULT WITH, DISAGREES WITH, OBJECTS TO, OR WOULD LIKE TO CHANGE THE SCOPE OF THESE GENERAL NOTES OR HIS STATED RESPONSIBILITIES, AS OUTLINED IN THESE GENERAL NOTES, THEN THE CONTRACTOR MUST RESOLVE SUCH CHANGES WITH THE OWNER IN WRITING BEFORE SIGNING A CONTRACT. FAILURE TO DO SO SHALL CONSTITUTE AN UNDERSTANDING OF THESE GENERAL NOTES AND THEIR ACCEPTANCE BY THE CONTRACTOR.

7. THE CONTRACTOR SHALL IDENTIFY IN HIS PROPOSAL OR BID, WHICH PERMITS HE EXPECTS TO OBTAIN AND WHICH PERMITS AND

18. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY ANY CONFLICTS BETWEEN HIS CONTRACT WITH THE OWNER AND THESE DRAWINI THE ARCHITECT. THE CONTRACTOR AND THE OWNER SHALL REVIEW THESE CONFLICTS IN ORDER TO AMEND ONE OF THESE DOCUMENT. BEFORE THE START OF THE CONSTRUCTION. IF A CONFLICT IS DISCOVERED WITHOUT THIS PRIOR RESOLUTION, THEN THESE DRAWINGS

SKETCHES OR ANY REQUESTED INFORMATION THAT IS REQUIRED AND REQUESTED DURING THESE MEETINGS. THE OWNER AND THE CONTRACTOR SHALL ALSO PROVIDE ANY REQUESTED INFORMATION THAT IS REQUIRED DURING THESE MEETINGS

VICINITY MAP

Mini Cafe

ABBREVIATIONS

ALUMINUM

BLOCKING

CONCRETE

DRAWING

ELECTRICAL

ELEVATION

EQUAL

EXTERIOR

FINISH FLOOR

GYPSUM

INTERIOR

LAMINATE

MAXIMUM

MINIMUM

ON CENTER

SHEATHING

SEE STRUCTURAL DRAWING

UNLESS OTHERWISE NOTED

TO BE DETERMINED

VERIFY IN FIELD

WATER CLOSET

WATERPROOF .

MECHANICAL

NOT IN CONTRACT

GALVANIZED SHEET METAL

HEATING, VENTILATING, AND

HOT WATER HEATER

AIR CONDITIONING

DRAWING INDEX

A1.1 EXISTING/DEMO FIRST FLOOR PLAN

A1.2 EXISTING SECOND FLOOR PLAN - NO CHANGES

A1.4 EXISTING/DEMO WEST ELEVATION - LAFAYETTE STREET

A3.0 PROPOSED WEST ELEVATION - LAFAYETTE STREET

PROPOSED NORTH ELEVATION - MINNA STREET

A3.1 PROPOSED SECTION A-A, EXTERIOR DOOR AND WINDOW SCHEDULE

EXISTING/DEMO NORTH ELEVATION - MINNA STREET

A1.3 EXISTING THIRD FLOOR PLAN - NO CHANGES

ARCHITECTURAL DRAWINGS

A0.1 PHOTOS OF THE PROPERTIES

A1.0 EXISTING SITE/ROOF PLAN

A2.0 PROPOSED SITE/ROOF PLAN

A2.1 PROPOSED FIRST FLOOR PLAN

AO.O TITLE SHEET

20. THE ARCHITECT OR THE OWNER CAN WRITE AND ISSUE FIELD ORDERS FOR CHANGES TO THE DRAWINGS AND SPECIFICATIONS, AS ORDERS SHALL BECOME THE BASIS OF A CHANGE ORDER.

11. THE CONTRACTOR SHALL WRITE AND ISSUE ALL CHANGE ORDERS. WHICH SHALL INCLUDE A COST BREAKDOWN FOR ALL THE WORK

2. UPON SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, WHO SHALL COORDINATE A WALK-THROUGH OF THE PROJECT WITH THE OWNER AND THE CONTRACTOR AND THEN PROVIDE A PUNCH LIST OF ITEMS TO COMPLETE. ARRANGEMENTS FOR FINAL PAYMENT WILL BE MADE AT THAT TIME.

DEMOLITION NOTES

NEW WORK, WHICH IS SHOWN ELSEWHERE. THE INTENT OF THESE DRAWINGS IS TO GENERALLY SHOW THE DEMOLITION SCOPE OF WORK EXPECTED OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE ANY ADDITIONAL DEMOLITION WORK

. ALL THE DIMENSIONS SHOWN, OR NOT SHOWN BUT REQUIRED, MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE INFORMATION SHOWN ON THESE DRAWINGS WAS DERIVED BY THE ARCHITECT WITHOUT ANY SURVEYING OR ENGINEERING EQUIPMENT

I. ALL BIDS OR PROPOSALS MUST CLEARLY IDENTIFY WHAT WORK WILL BE PERFORMED AND WHAT WORK WILL NOT BE PERFORMED. THE CONTRACTOR WILL ALSO IDENTIFY ANY ALLOWANCES FOR WORK TOO UNCERTAIN TO BID FROM THE INFORMATION SHOWN ON

WORK REQUIRED FOR INSTALLING AND CONNECTING NEW PLUMBING FIXTURES AND RELATED EQUIPMENT, AS SHOWN ON THE NEW WORK PLANS, TO THE REMAINING EXISTING SYSTEM. THE CONTRACTOR WILL REVIEW WITH THE ARCHITECT IN THE FIELD ANY CONDITIONS THAT WILL CONFLICT WITH THIS INTENT.

RE REMOVED WITH THE EXISTING SYSTEM TO REMAIN. THE CONTRACTOR WILL VERIEV THE WORK REQUIRED FOR INSTALLING ANY NEW

SHOWN TO BE REMOVED WITH THE EXISTING SYSTEM TO REMAIN. THE CONTRACTOR WILL VERIEY THE WORK REQUIRED FOR INSTALLING AND CONNECTING NEW ELECTRICAL FIXTURES AND RELATED EQUIPMENT, AS SHOWN ON THE NEW WORK PLANS, TO THE REMAINING EXISTING SYSTEM. THE CONTRACTOR WILL REVIEW WITH THE ARCHITECT IN THE FIELD ANY CONDITIONS THAT WILL

BECAUSE OF INADEQUATE PROTECTION SHALL BE FIXED, REPAIRED OR REPLACED, AS REQUIRED BY THE ARCHITECT, AT THE SOLE EXPENSE OF THE CONTRACTOR INCLUDING BUT NOT NECESSARILY LIMITED TO LABOR AND MATERIALS

B. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ANY ADDITIONAL PERMITS, ENGINEERING, SHORING AND ANY CONSTRUCTION DOCUMENTS BY OTHERS RELATED TO THIS WORK, WHETHER OR NOT THEY ARE REQUIRED, FROM THE LOCAL

9. THE CONTRACTOR IS RESPONSIBLE TO PROPERLY STORE AND PROTECT ANY MATERIAL DESIGNATED ON THE DRAWINGS TO BE SALVAGED AND RE-INSTALLED AS PART OF THE NEW WORK INTENT.

CONSTRUCTION NOTES

1. THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN THE SECURITY OF THE JOB SITE DURING THE CONSTRUCTION PROCESS UNTIL FINAL ACCEPTANCE BY THE OWNER OR UNTIL AN ALTERNATE DATE, AS MUTUALLY AGREED BETWEEN THE OWNER AND THE

2. THE CONTRACTOR WILL VERIFY THE ROUGH-IN DIMENSIONS AND REQUIREMENTS FROM THE APPROPRIATE MANUFACTURER OR FABRICATOR FOR DOORS, WINDOWS, EQUIPMENT, CABINETRY, PLUMBING FIXTURES, ELECTRICAL FIXTURES, APPLIANCES AND ANY OTHER DEVICES BEFORE PROCEEDING TO LAY OUT AREAS WHERE SUCH ITEMS ARE LOCATED.

3. ALL CONNECTIONS AND FASTENERS ARE INTENDED TO BE CONCEALED, UNLESS OTHERWISE NOTED. WHERE SUCH DEVICES CAN NOT BE CONCEALED AS INTENDED NOTIFY THE ARCHITECT FOR REVIEW OF DESIGN CONFORMANCE.

4. FIREBLOCKING SHALL BE PROVIDED IN ALL LOCATIONS IDENTIFIED IN SECTION 717.2 OF THE CALIFORNIA BUILDING CODE (CBC) AND IN ANY ADDITIONAL LOCATIONS IDENTIFIED BY THE LOCAL AUTHORITIES OR LOCAL ORDINANCES.

. THE CONTRACTOR WILL VERIFY ALL ROOF AND FRAMING SPACES REQUIRED TO BE VENTILATED WITH THE LOCAL FIELD INSPECTOR OR BY THE CBC AND PROVIDE THE APPROPRIATE NET FEE VENTILATION AREA, BUT IN NO CASE SHALL IT BE LESS THAN 1/50TH OF THE AREA OF THE SPACE TO BE VENTILATED. WHEN THE MEANS OF THE VENTILATION IS VISIBLE FROM A COMMONLY USED SPACE, PASSAGEWAY, YARD OR PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL REVIEW THIS SITUATION WITH THE ARCHITECT FOR DESIGN CONFORMANCE BEFORE INSTALLING SUCH DEVICES, EQUIPMENT OR MATERIALS.

6. THE CONTRACTOR WILL VERIFY AND PROVIDE THE REQUIRED BLOCKING AND BACKING FOR ALL CABINETRY, WALL-MOUNTED ACCESSORIES, BUILT-IN EQUIPMENT, LIGHT FIXTURES OR OTHER DEVICES REQUIRING BLOCKING OR BACKING.

7. THE CONTRACTOR WILL VERIFY AND PROVIDE ALL CODE REQUIRED FIREPROOFING AT ALL PENETRATIONS INTO AND THROUGH A FIRE RATED FLOOR, WALL, CEILING OR ROOF ASSEMBLY.

8. ALL CHANGES OR OFFSETS IN FLOOR FINISH MATERIAL WILL OCCUR UNDER A THRESHOLD, WHEN PROVIDED, OR AT THE CENTERLINE OF A DOOR TRANSITION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. OTHER LOCATIONS OF THESE CONDITIONS SHALL BE

9. THE SEALANT, CAULKING AND FLASHING LOCATIONS SHOWN ON THESE DRAWINGS ARE NOT INTENDED TO COVER ALL CONDITIONS REQUIRING THESE PRODUCTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL CONDITIONS REQUIRING THESE PRODUCTS, SIMILAR PRODUCTS AND REVIEW THESE CONDITIONS NOT IDENTIFIED IN THE DRAWINGS WITH THE ARCHITECT FOR DESIGN

VERIFIED WITH THE ARCHITECT IN THE FIELD FOR DESIGN CONFORMANCE BEFORE INSTALLING ANY MATERIAL.

10. COMPLETE ALL WORK REQUIRED TO MEET THE STATE OF CALIFORNIA ENERGY CONSERVATION REQUIREMENTS IDENTIFIED IN THE TITLE 24 REPORT SUBMITTED FOR THIS PROJECT INCLUDING BUT NOT LIMITED TO ALL MANDATORY AND SPECIAL FEATURES, AS WELL AS ANY LOCAL ORDINANCES (CECO AND RECO) AND ANY NEW REQUIREMENTS IDENTIFIED BY THE LOCAL BUILDING FIELD INSPECTOR. IF A TITLE 24 REPORT WAS NOT REQUIRED FOR THIS PROJECT, THEN THE CONTRACTOR SHALL PROVIDE ALL MEASURES REQUIRED BY THE STATE APPROVED MANDATORY FEATURES REGULATIONS IDENTIFIED IN TITLE 24.

I. THE CONTRACTOR SHALL IDENTIFY IN HIS PROPOSAL WHICH UTILITY TYPE (WATER, ELECTRICITY, TELEPHONE, INTERNET, ETC.) CONNECTIONS, USE AND RELATED COSTS WILL BE INCLUDED IN HIS OVERHEAD AND WHICH COSTS HE EXPECTS THE OWNER TO PROVIDE. ANY UTILITY TYPE COST WHICH IS NOT IDENTIFIED, AS AN OWNER PROVIDED ITEM, WILL BE ASSUMED TO BE INCLUDED IN THE CONTRACTOR'S OVERHEAD COST.

12. THE CONTRACTOR SHALL IDENTIFY AND PROVIDE THE REQUIRED SIDEWALK AND PUBLIC PASSAGE ENCLOSURE PROTECTION AT ANY AFFECTED RIGHT-OF-WAY AREAS OR PUBLIC ACCESS LOCATIONS. THE CONTRACTOR WILL REVIEW ALL INTENDED SIGNAGE WITH THE ARCHITECT FOR DESIGN CONFORMANCE.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND ANY DIRECTION FROM THE OWNER OR THE ARCHITECT SHALL NOT BE CONSTRUED TO OVER RIDE THIS RESPONSIBILITY UNLESS MUTUALLY AGREED TO IN A WRITTEN DOCUMENT IDENTIFYING A SPECIFIC AREA OF WORK FOR WHICH THE CONTRACTOR WILL NOT BE RESPONSIBLE.

LAFAYETTE & MINNA STREET

35-41Lafayette Street and 1043-1049 Minna Street, SF, Ca 94103

PROJECT DESCRIPTION

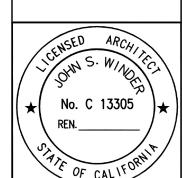
THIS PROJECT PROPOSES TO INSERT TWO NEW RESIDENTIAL UNITS (4 TOTAL) INTO EACH OF THE TWO BUILDINGS LOCATED ON THIS PROPERTY. THESE UNITS WILL BE LOCATED AT THE FIRST FLOOR OF EACH OF THE BUILDINGS, WHICH IS CURRENTLY UNUSED SPACE, DUE TO THE UNIQUE HISTORICAL CONSTRUCTION OF THE BUILDING, WHICH LOCATED THE FIRST LEVEL OF THE EXISTING RESIDENTIAL UNITS ON THE SECOND FLOOR OF THESE BUILDINGS. THE PROPOSED REMODELING WILL ADD 4 TOTAL BE FOR NEW WINDOWS AND DOORS, AS REQUIRED FOR THE 2 NEW UNITS, AND THESE PREVIOUSLY PERFORMED UNDER PERMITS # 201211194467 & # 201211194468.

WINDER **GIBSON**

architect

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PROJECT DATA

BLOCK:	3511
LOT:	066
ZONING:	EASTERN NEIGHBORHOOD MIXED USE DISTRICTS
INTERSECTION:	Lafayette Street & Minna Street
LOT SIZE:	5,150.00 sq ft
OCCUPANCY TYPE:	R1
CONSTRUCTION TYPE:	V-A
CODE USED:	2010 CALIFORNIA BUILDING CODE & SF AMENDMENTS 2010 CALIFORNIA MECHANICAL CODE & SF AMENDMENTS 2010 CALIFORNIA PLUMBING CODE & SF AMENDMENTS 2010 CALIFORNIA ELECTRICAL CODE & SF AMENDMENTS 2010 CALIFORNIA ENERGY CODE 2010 CALIFORNIA FIRE CODE & SF AMENDMENTS 2010 SF HOUSING CODE 2010 NFPA 72 (FIRE ALARMS) 2010 NFPA 13/13R (SPRINKLERS)

PROJECT DIRECTORY

ARCHITECT Winder Gibson Architects 351 ninth street, suite 301 san francisco, ca 94103

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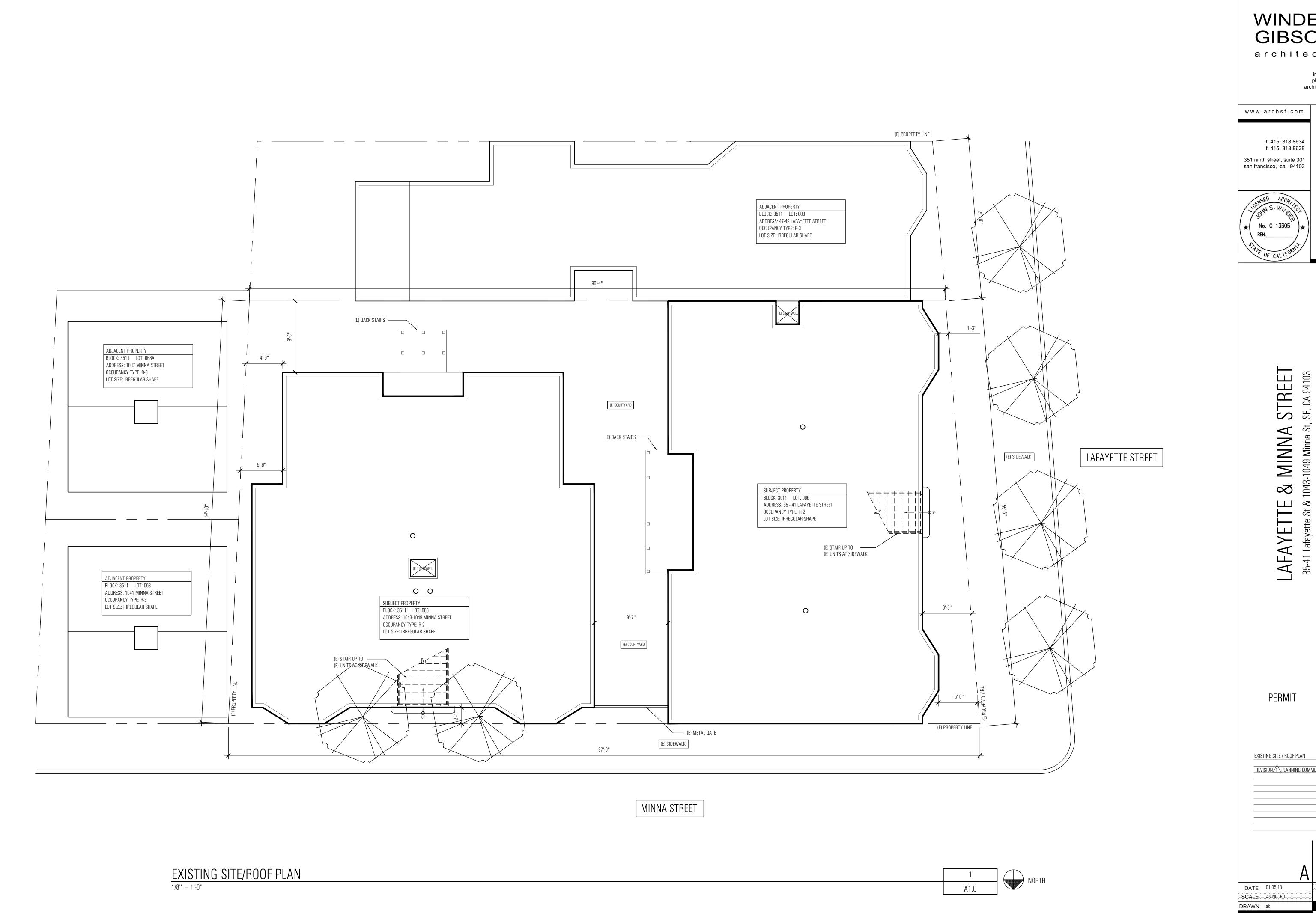
STRUCTURAL ENGINEER

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> TITLE SHEET REVISION/1\PLANNING COMMENTS 08/08/1

DATE 01.05.13 SCALE AS NOTED

DRAWN ak



WINDER GIBSON architects

interiors planning architecture

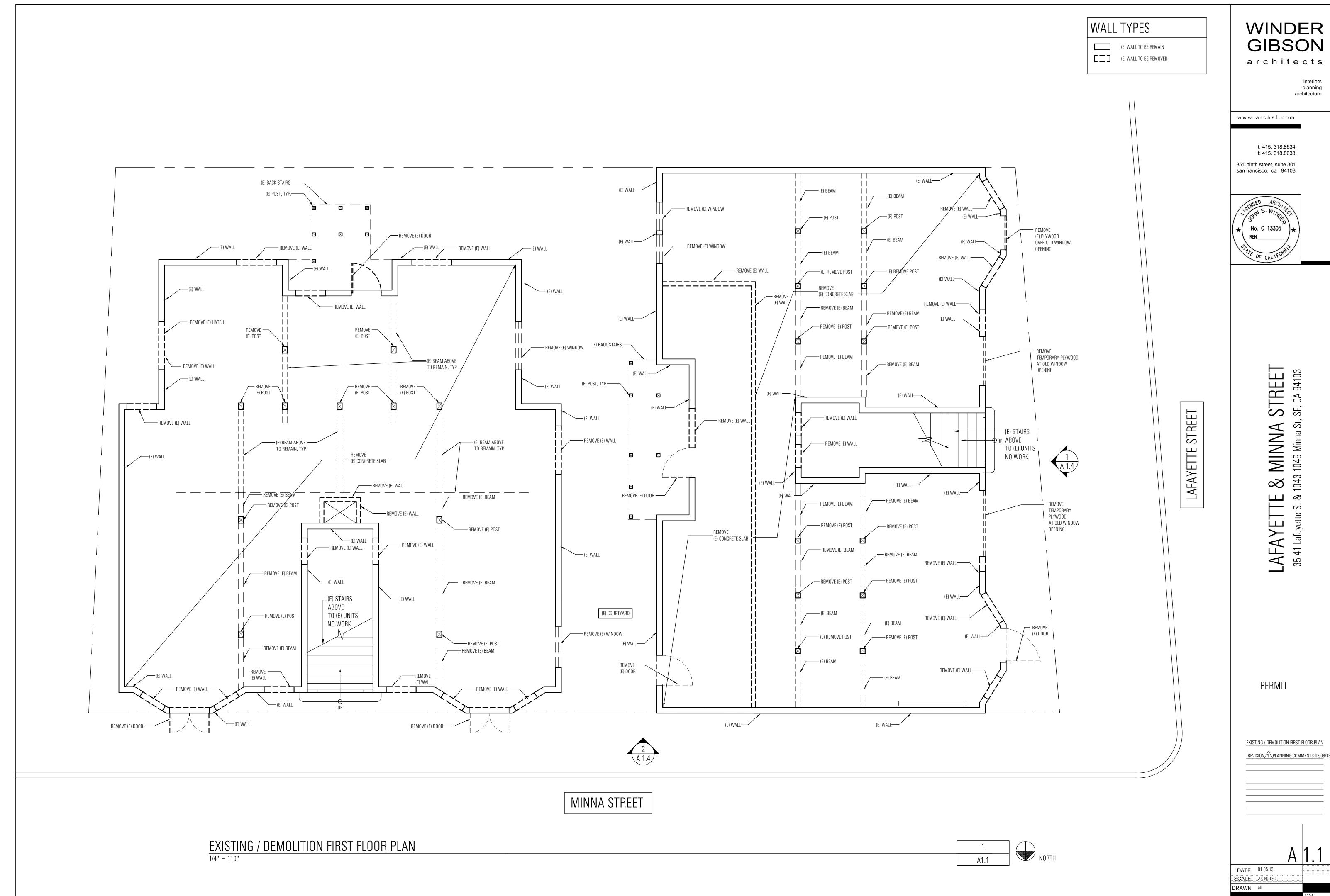
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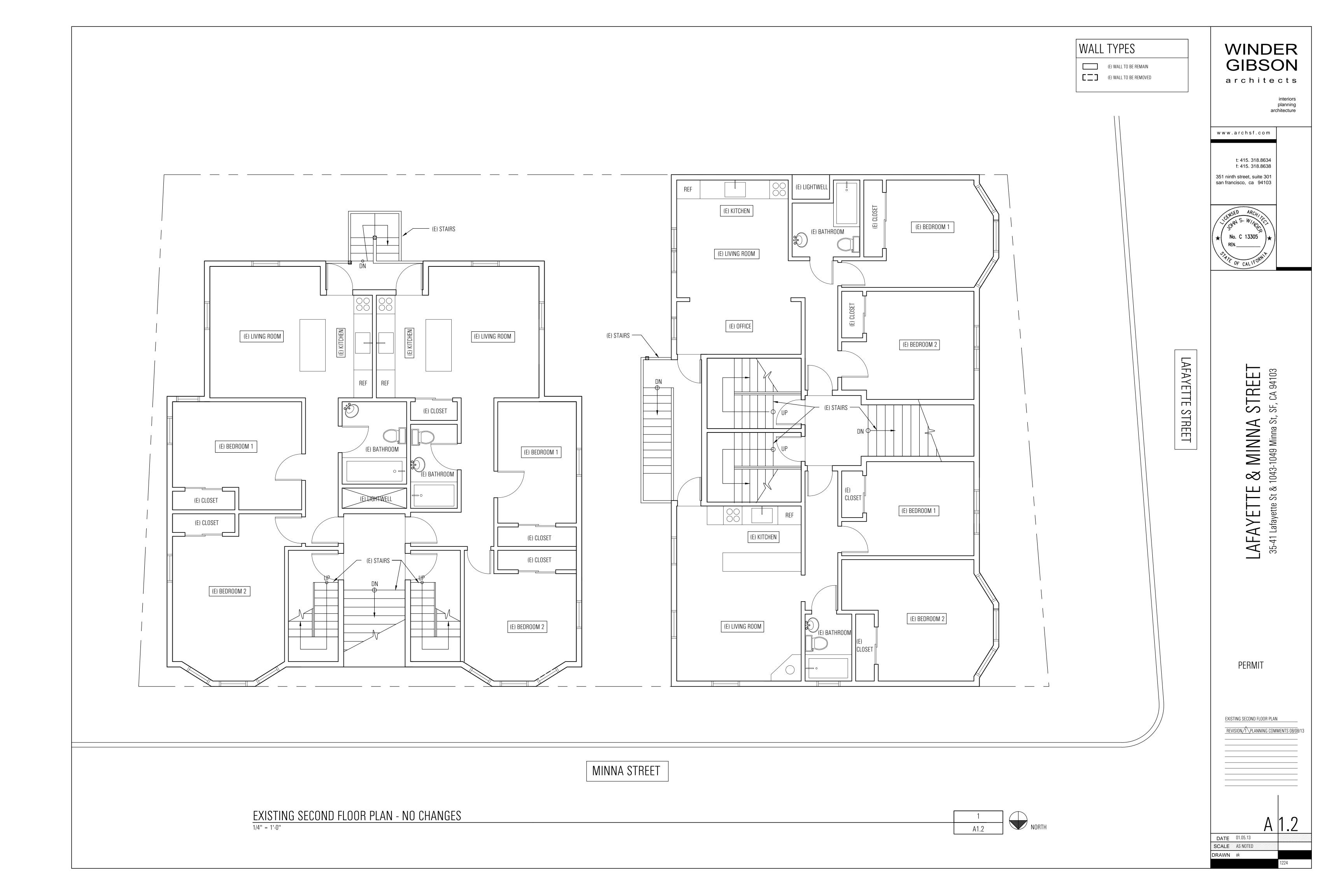
STREET MINNA 3-1049 Minna St, ∞ St

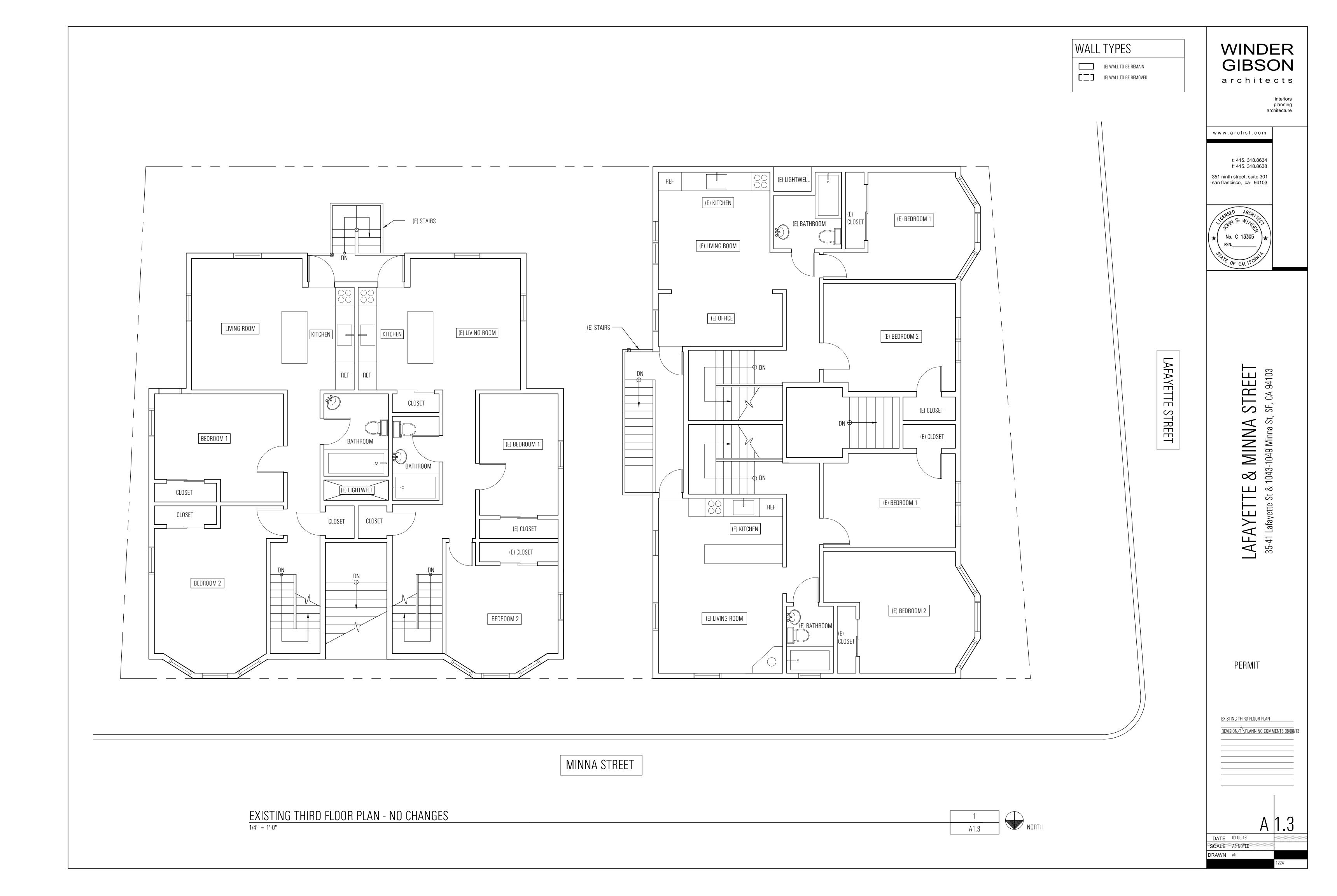
EXISTING SITE / ROOF PLAN

REVISION 1 PLANNING COMMENTS 08/08/13



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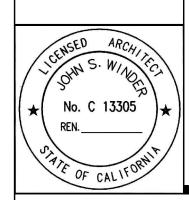




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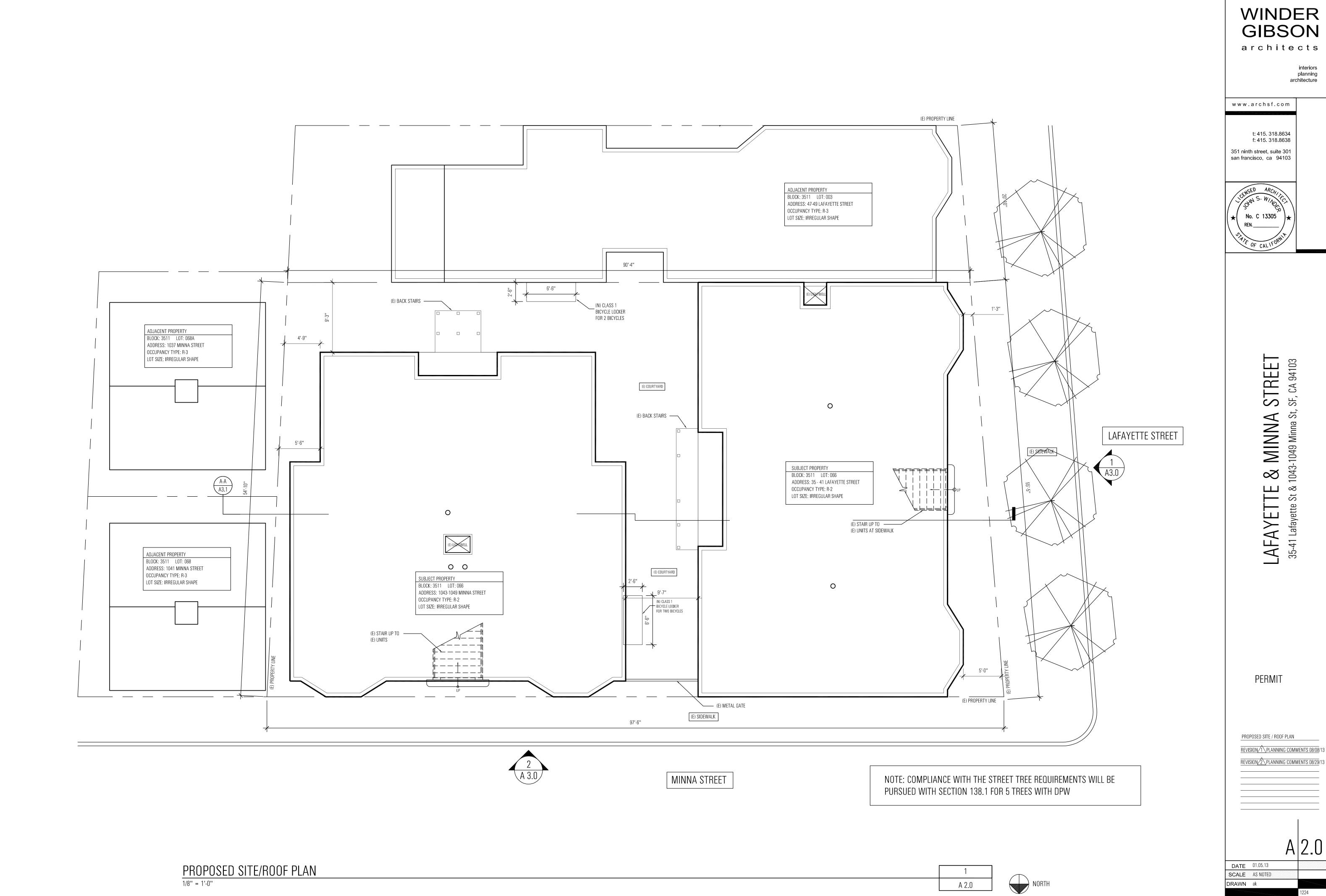


STREET, SF, CA 94103 MINNA -1049 Minna St, LAFAYETTE 35-41 Lafayette St 8

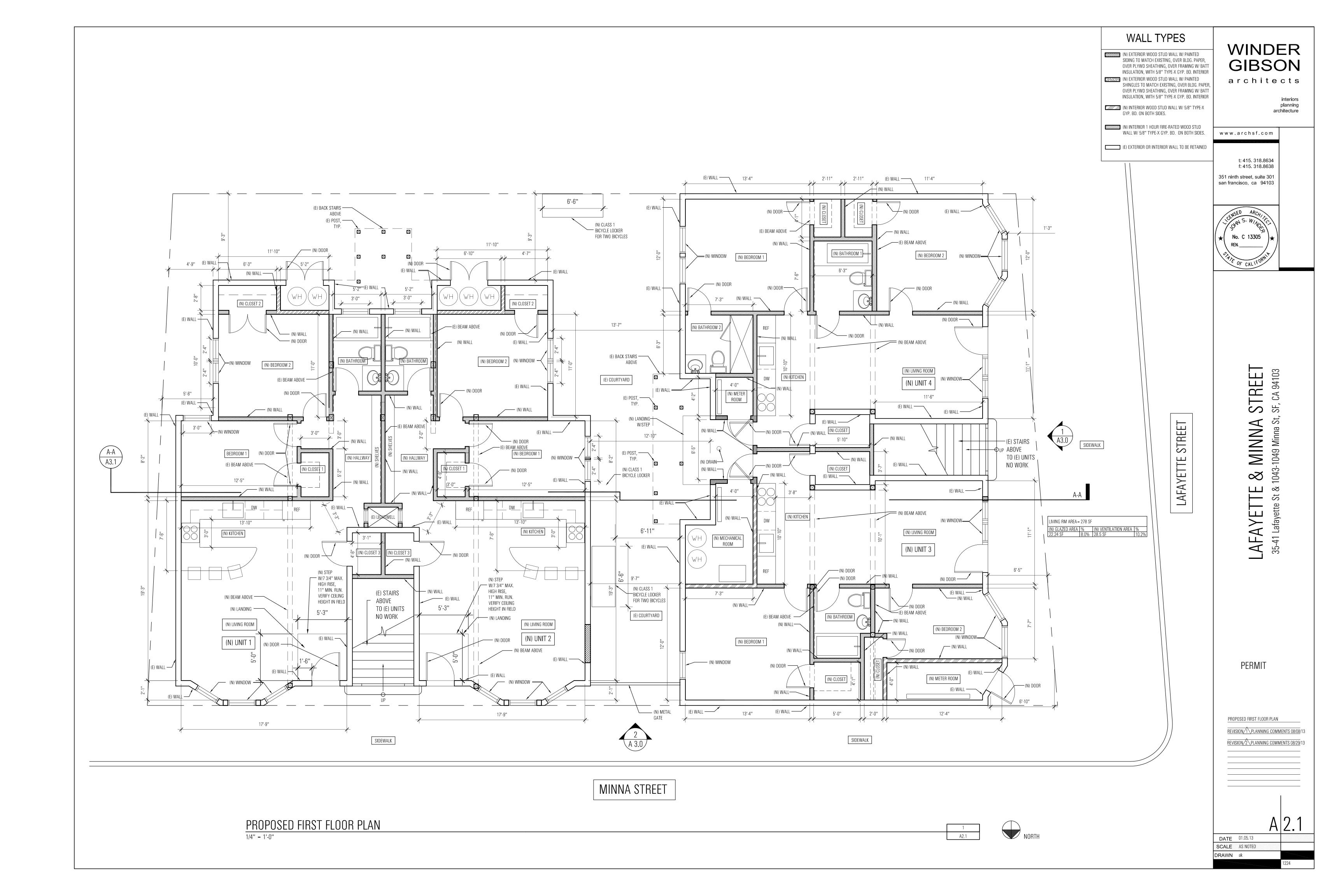
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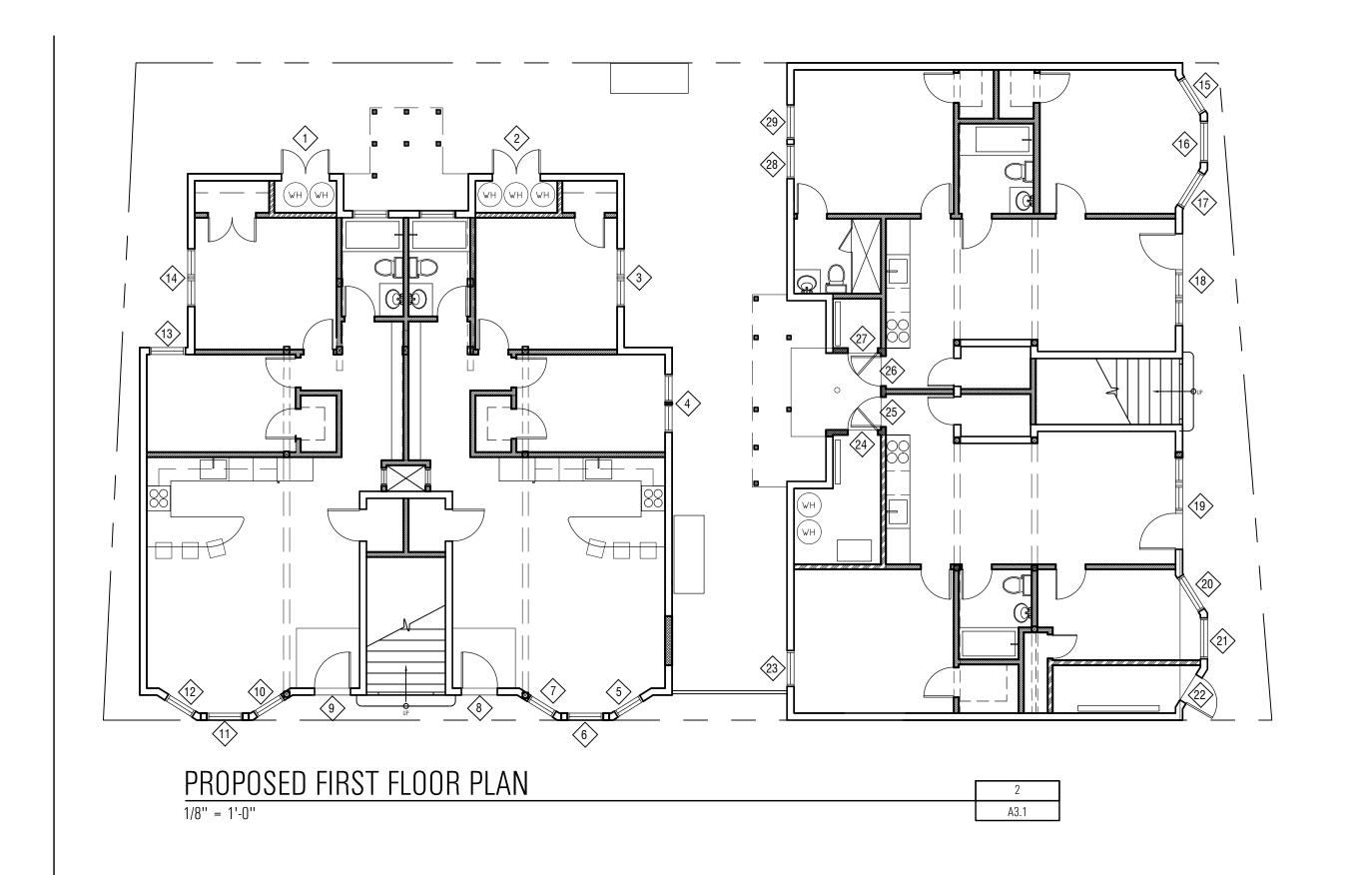
DATE 01.05.13 SCALE AS NOTED DRAWN ak



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