MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: **415.558.6409**

Planning Information: 415.558.6377



NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, March 27, 2013

Time: **Beginning at 9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Side Yard)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION APPLICATION INFORMATION Project Address: 2655 Broadway Street Case No.: 2013.0104V Normandie and Scott St Cross Street(s): Building Permit: 2012.11.21.4722 Block /Lot No.: 0961/018 Applicant/Agent: Richard Apgar Zoning District(s): Telephone: (415) 674-5554 RH-1(D)/ 40-X Area Plan: E-Mail: apgar@butlerarmsden.com N/A

PROJECT DESCRIPTION

The proposal is to expand the second and third floor bay window at the rear and to make a third floor east side expansion within the side yard of the single-family dwelling.

PER SECTION 133 OF THE PLANNING CODE the subject property is required to maintain two side yards of 5 feet each. The proposed horizontal side and rear expansions would encroach 5 feet into the east side yard.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Sharon Lai Telephone: (415) 575-9087 E-Mail: sharon.w.lai@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2013.0104V.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

ABE	BREVIATIONS					SYME	BOLS	GENERAL NOTES	PROJECT TEAM	VICINITY MAP
A.B. A.B. A.F.F. AGGR.	AND ANGLE AT CENTERLINE DIAMETER NUMBER DEMOLISH EXISTING NEW REMOVE ANCHOR BOLT ABOVE ADJACENT ABOVE FINISHED FLOOR AGGREGATE	F.D. F.F. & E. F.F. FIN. FLR. FLUOR. FIXT. F.O.C. F.O.F. F.O.S. FNDN. FT. FTG. FURR.	FLOOR DRAIN FURNITURE, FIXTURES & EQUIP. FINISH FLOOR FINISH FLOOR FLUORESCENT FIXTURE FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF STUD FOUNDATION FOOT OR FEET FOOTING FURRING	P.G. PL. PLAM. PLYWD. PR. PROP.LN. P.T. R. RAD. R.D. RDWD. REF. REFR. REINF.	PAINT GRADE PLATE PLASTIC LAMINATE PLYWOOD PAIR PROPERTY LINE PRESSURE TREATED RISER RADIUS ROOF DRAIN REDWOOD REFERENCE REFRIGERATOR REINFORCED REQUIRED	1 A3.1 A3.1	DRAWING/DETAIL REFERENCE TAG DRAWING OR DETAIL SHEET WHERE DRAWING/DETAIL OCCURS SECTION REFERENCE TAG BUILDING SECTION SHEET WHERE SECTION OCCURS INTERIOR ELEVATION REFERENCE TAG INTERIOR ELEVATION SHEET WHERE INTERIOR ELEVATION OCCURS	 ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUIL CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS. CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSE THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR T SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE OF BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PAINCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATER WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLET CONDITIONS PROPOSED IN THE DRAWINGS. ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT A SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PROMMENCING WORK. COMMENCING WORK. CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES 	PERMITS ARCHITECT: BUTLER ARMSDEN ARCHITECTS 2849 CALIFORNIA STREET SAN FRANCISCO, CA 94115 T. 415. 674. 5554 F. 415. 674. 5558 SURVEYOR: FORESIGHT LAND SURVEYING 524 UNION STREET, SUITE #295 SAN FRANCISCO, CA 94133 T. 415. 735. 6180	Sport Therapy San Francisco Consultate General of Russia Green St The Richter Scales Vallejo St Vallejo St Pace P
ALN. ALUM. APPROX. ARCH. AV.	ALIGN ALUMINUM APPROXIMATE ARCHITECUTRAL AUDIO VISUAL	GALV. GA. G.F.I.C. GL.	GALVANIZED GAGE GROUND FAULT INTERCEPTOR CIRCUIT GLASS	REQ. RESIL. R.L. RM. R.O.	RESILIENT RAIN LEADER ROOM ROUGH OPENING SOUTH		ALIGN HIDDEN LINE STUD WALL (UNLESS NOTED OTHERWISE)	SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSI ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM. 5. CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITION OF PROJECT.	ONS, OR STRUCTURAL ENGINEER: HOM PISANO ENGINEERING 2265 31st AVENUE SAN FRANCISCO, CA 94116 T. 415. 307. 2750 F. 413. 301. 7730	Sco Na Francisco Na Washington St Washington St Washington St Na Something Blue
BD. BLDG. BLK. BLKG. BM.	BOARD BUILDING BLOCK BLOCKING BEAM	GR. GRND. GSM. GYP.	GRADE GROUND GALVANIZED SHEET METAL GYPSUM	S.C. SCHED. SD SECT. SHR.	SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SHOWER		CONCRETE STRUCTURE, S.S.D. INSULATION IN SECTION (BATT) INSULATION IN SECTION (RIGID)	 CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AN GUIDELINES. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDER OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES. ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLEI 	ERING	PROJECT DATA BLOCK: 0961 ZONED:
3.O. 3.U.R. 3/W	BOTTOM OF BUILT UP ROOFING BETWEEN	H.B. H.C. HDWD. HDWR.	HOSE BIB HOLLOW CORE HARDWOOD HARDWARE	SHT. SIM. SL. S.L.D. SPEC.	SHEET SIMILAR SLOPE SEE LANDSCAPE DRAWINGS		LATH AND PLASTER IN SECTION GYPSUM BOARD IN SECTION	INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. 9. IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL B BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING THE WORK.	E à WITH	BLOCK: 0961 ZONED: LOT: 018 HEIGHT LIMIT LOT SIZE: 4,500 sq.ft. OCCUPANCY: UNCONDITIONED SPACE existing
CAB. CEM. CER. CLG. CLKG.	CABINET CEMENT CERAMIC CEILING CAULKING	HORIZ. HR. INSUL.	HEIGHT HORIZONTAL HOUR INSULATION	SQ. S.S.D. S.S.	SPECIFICATION SQUARE SEE STRUCTURAL DRAWINGS STAINLESS STEEL		PLYWOOD IN SECTION FINISH WOOD IN SECTION	10. DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AN SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF 11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN	DF ID F WORK.	BASEMENT 881 sqft. 8 FIRST FLOOR - sqft SECOND FLOOR - sqft
ELR. E.M.U. E.O. EOL. EONC.	CLEAR CONC. MASONRY UNIT CENTER OF COLUMN CONCRETE	INT. LAM. LAV.	INTERIOR LAMINATE LAVATORY LINE OF	STD. STL. STOR. STRUC. SYM.	STANDARD STEEL STORAGE STRUCTURAL SYMMETRICAL	<u>x</u>	GLASS IN SECTION DOOR TAG	DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCT SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS. 12. ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.	TION	TOTAL: 881 sqft. 8 CONDITIONED SPACE existing
ONC. ONT. BL. TL.	CONCRETE CONTINUOUS DOUBLE DETAIL	L.O. LT. MAX. MED. CAB.	MAXIMUM MEDICINE CABINET	T. T.B. TEL.	TREAD TOWEL BAR TELEPHONE	X	WINDOW TAG PLUMBING FIXTURE TAG	 13. THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN SUBSECTIONS OF THESE DRAWINGS. 14. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N. 		BASEMENT 654 sqft. 6 FIRST FLOOR 1,622 sqft. 1, SECOND FLOOR 2,446 sqft. 2
IA. IM. N R.	DIAMETER DIMENSION DOWN DOOR	MECH. MEMB. MTL. MTD.	MECHANICAL MEMBRANE METAL MOUNTED	T.&G. THK. TMPR. T.O.	TONGUE AND GROVE THICK TEMPERED TOP OF	X X	PLUMBING FITTING TAG APPLIANCE TAG	15. WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED ARE PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUTHE THRESHOLD.		TOTAL: 4,722 sqft. 4
OS. OWG. OWR.	DOWNSPOUT DRAWING DRAWER	MFR. MIN. MIR. MISC.	MANUFACTURER MINIMUM MIRROR MISCELLANEOUS	T.O.P. T.O.W. T.S. T.V. TYP.	TOP OF PAVEMENT TOP OF WALL TUBULAR STEEL TELEVISION	XXX	EQUIPMENT TAG	 16. CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION. 17. WINDOWS TO BE OPERABLE AND CLEANED, U.O.N. 18. ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM. U.O.N. 		CONSTRUCTION CLASSIFICATION TYPE V (WOOD-FRAMED CONSTRUCTION)
E. A. ELEC. ELEV.	EAST EACH ELECTRICAL ELEVATION	N. N.I.C. NO.	NORTH NOT IN CONTRACT NUMBER	U.O.N.	UNLESS OTHERWISE NOTED	x x	REVISION TAG MATCHLINE	 19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N. 20. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUE FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N. 21. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRAD 		existing p FIRE SPRINKLER NO -
ENCL. EQ. EQUIP. EXT.	ENCLOSURE EQUAL EQUIPMENT EXTERIOR	NOM. N.T.S. O/	NOMINAL NOT TO SCALE OVER	V.C.T. VERT. V.I.F.	VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD	+	WORKPOINT OR DATUM	BUILDING PAPER. 22. STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PR TREATED DOUGLAS FIR.	CODES	SCOPE OF WORK
	<u></u>	O.A. OBS. O.C. O.D. OPNG. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE	W. W/ WD. W/O W.P. WT.	WEST WITH WOOD WITHOUT WATERPROOFING WEIGHT	X þ	WALL TYPE TAG THRESHOLD	NOTE: DESIGN BASED ON THE CBC 2010 & SAN FRANCISCO BUILDING CODE 20 AMENDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTION		EXTERIOR - REPLACE (E) EXT. FINISHES, REPLA WINDOWS/DOORS IN SIMILAR LOCATIONS. REF SKYLIGHT. MINOR HORIZONTAL EXTENSIONS AT THE REAL FACADES, UNDER 10'-0". (NO VERTICAL INCREA INTERIOR - REPLACE (E) CENTRAL STAIR, INTER ADJACENT SPACES.

DIVISADERO

SCOTT

Butler Armsden 2849 California Street San Francisco CA 94115 t 415 · 674 · 5554 F 415 · 674 · 5558 e architects@butlerarmsden.com www.butlerarmsden.com

ARCHITECTS

I HOULC'I D				
BLOCK: 0961 LOT: 018 LOT SIZE: 4,500 sq.Ft.		ZONED: HEIGHT LIM OCCUPANC		RH-1(D) 40-X SINGLE-FAMILY
UNCONDITIONED SPACE	existi	ng	pro	posed
BASEMENT	881	sqft.	889	sqft.
FIRST FLOOR	-	sqft.	-	sqPt.
SECOND FLOOR	-	sqft.	-	sqPt.
TOTAL:	881	sqft.	889	sqft.
CONDITIONED SPACE	existi	ng	pro	posed
BASEMENT	654	sqft.	645	sqft.
FIRST FLOOR	1,622		1,776	
SECOND FLOOR	2,446	sqft.	2,47	8 sqPt.
TOTAL:	4,722	sqft.	4,89	9 sqft.
CONSTRUCTION CLASSIF	FICATIO	N		
TYPE V (WOOD-FRAMED	CONSTR	RUCTION)		
	existir	ng	pro	posed
FIRE SPRINKLER	NO		-	

CA BLDG. CODE S.F. BLDG. CODE & AMENDMENTS CA ENERGY CODE S.F. ELECTRICAL CODE	EXTERIOR - REPLACE (E) EXT. FINISHES, REPLA WINDOWS/DOORS IN SIMILAR LOCATIONS. REP SKYLIGHT. MINOR HORIZONTAL EXTENSIONS AT THE REAF
SE MECHANICAL CODE	MINOR HORIZONTAL EXTENSIONS AT THE REAL

PLACE (E) MTL REPLACE CENTRAL REAR AND EAST REASE) NTERIOR REMODEL OF

SHEET INDEX

ARCHITECTURAL:	01.29.2012
A0.0 TITLE SHEET A0.1 SITE SURVEY A0.2 EXISTING SITE PLAN A0.3 PROPOSED SITE PLAN A0.4 EXISTING PHOTOS	
A1.1 DEMOLITION PLAN - BASEMENT A1.2 DEMOLITION PLAN - FIRST FLOOR A1.3 DEMOLITION PLAN - SECOND FLOOR A1.4 DEMOLITION PLAN - ROOF	
A1.5 DEMOLITION EXTERIOR ELEVATIONS - NORTH A1.6 DEMOLITION EXTERIOR ELEVATIONS - SOUTH A1.7 DEMOLITION EXTERIOR ELEVATIONS - WEST A1.8 DEMOLITION EXTERIOR ELEVATIONS - EAST A1.9 DEMOLITION SECTIONS NORTH-SOUTH A1.10 DEMOLITION SECTIONS NORTH-SOUTH A1.11 DEMOLITION SECTIONS EAST-WEST A1.12 DEMOLITION SECTIONS EAST-WEST	
A2.1 PROPOSED PLAN - BASEMENT A2.2 PROPOSED PLAN - FIRST FLOOR A2.3 PROPOSED PLAN - SECOND FLOOR A2.4 PROPOSED PLAN - ROOF PLAN A2.5 SCHEDULES - WINDOWS & DOORS	
A3.1 PROPOSED EXTERIOR ELEVATIONS - NORTH A3.2 PROPOSED EXTERIOR ELEVATIONS - SOUTH A3.3 PROPOSED EXTERIOR ELEVATIONS - WEST A3.4 PROPOSED EXTERIOR ELEVATIONS - EAST A3.5 PROPOSED SECTIONS NORTH-SOUTH A3.6 PROPOSED SECTIONS NORTH-SOUTH A3.7 PROPOSED SECTIONS EAST-WEST A3.8 PROPOSED SECTIONS EAST-WEST	
A8.1 EXTERIOR DETAILS	

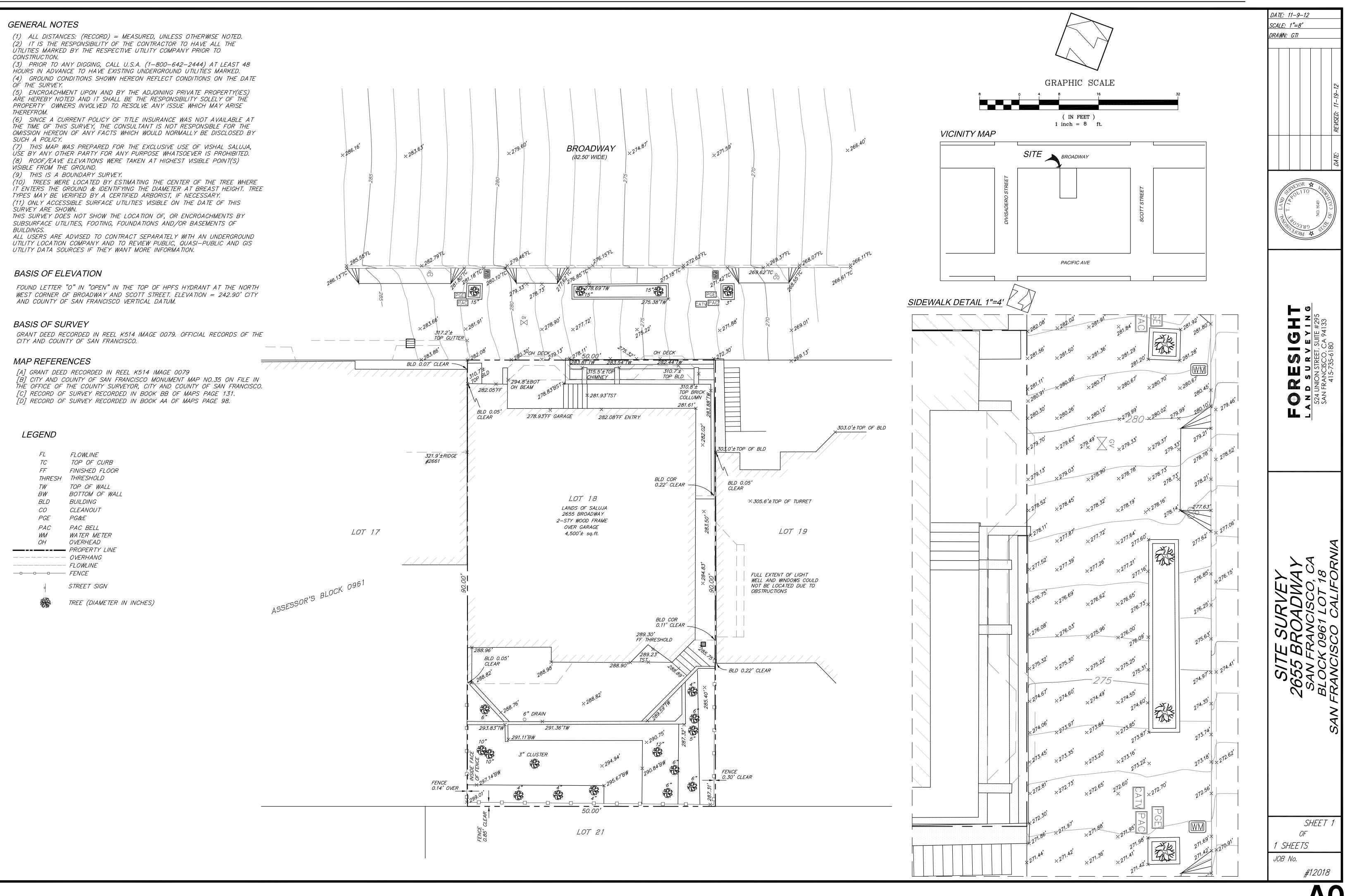
VARIANCE PERMIT

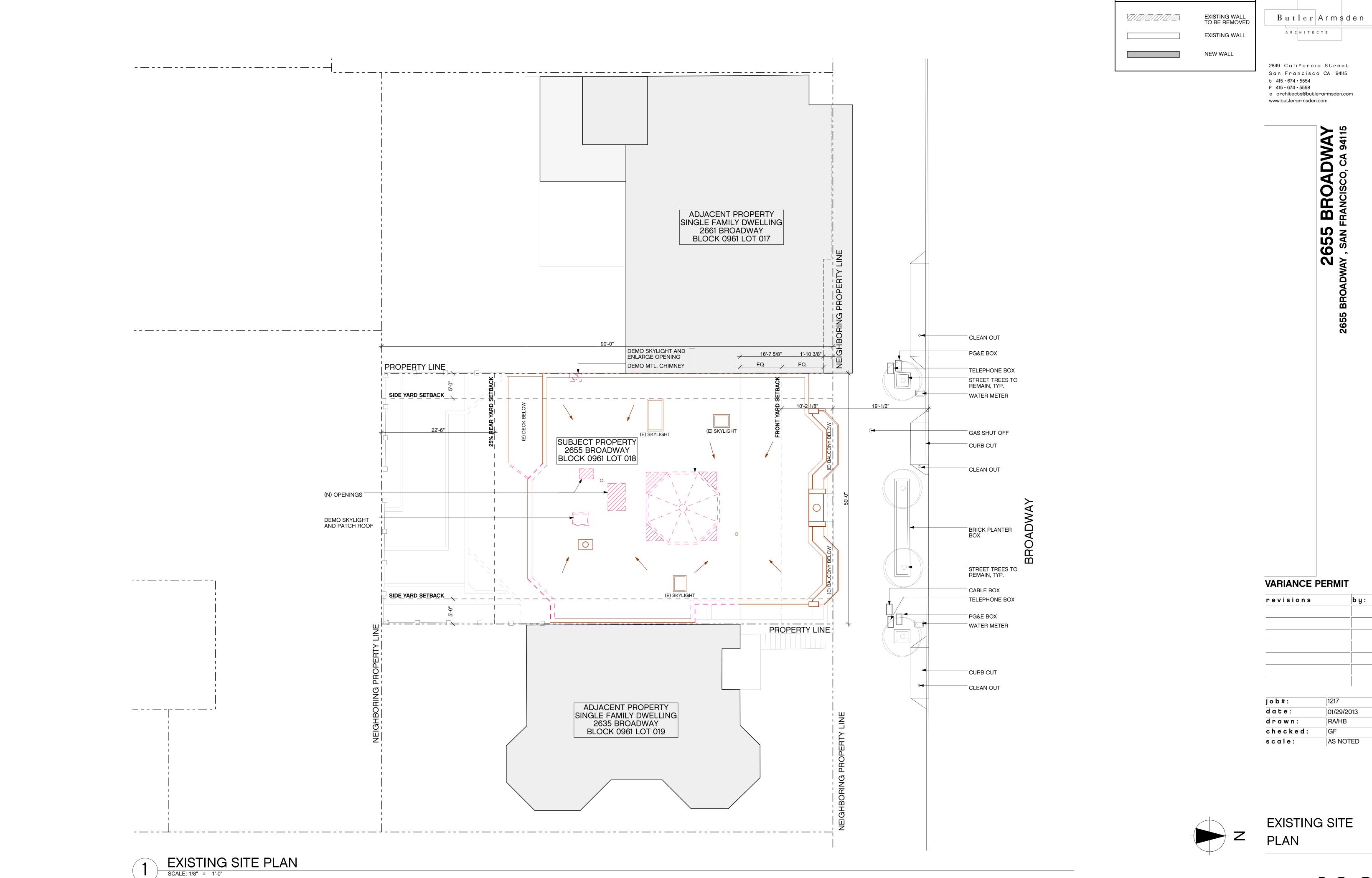
revisions	by:

j o b # :	1217		
date:	01/29/2013		
drawn:	RA/HB		
checked:	GF		
scale:	AS NOTED		

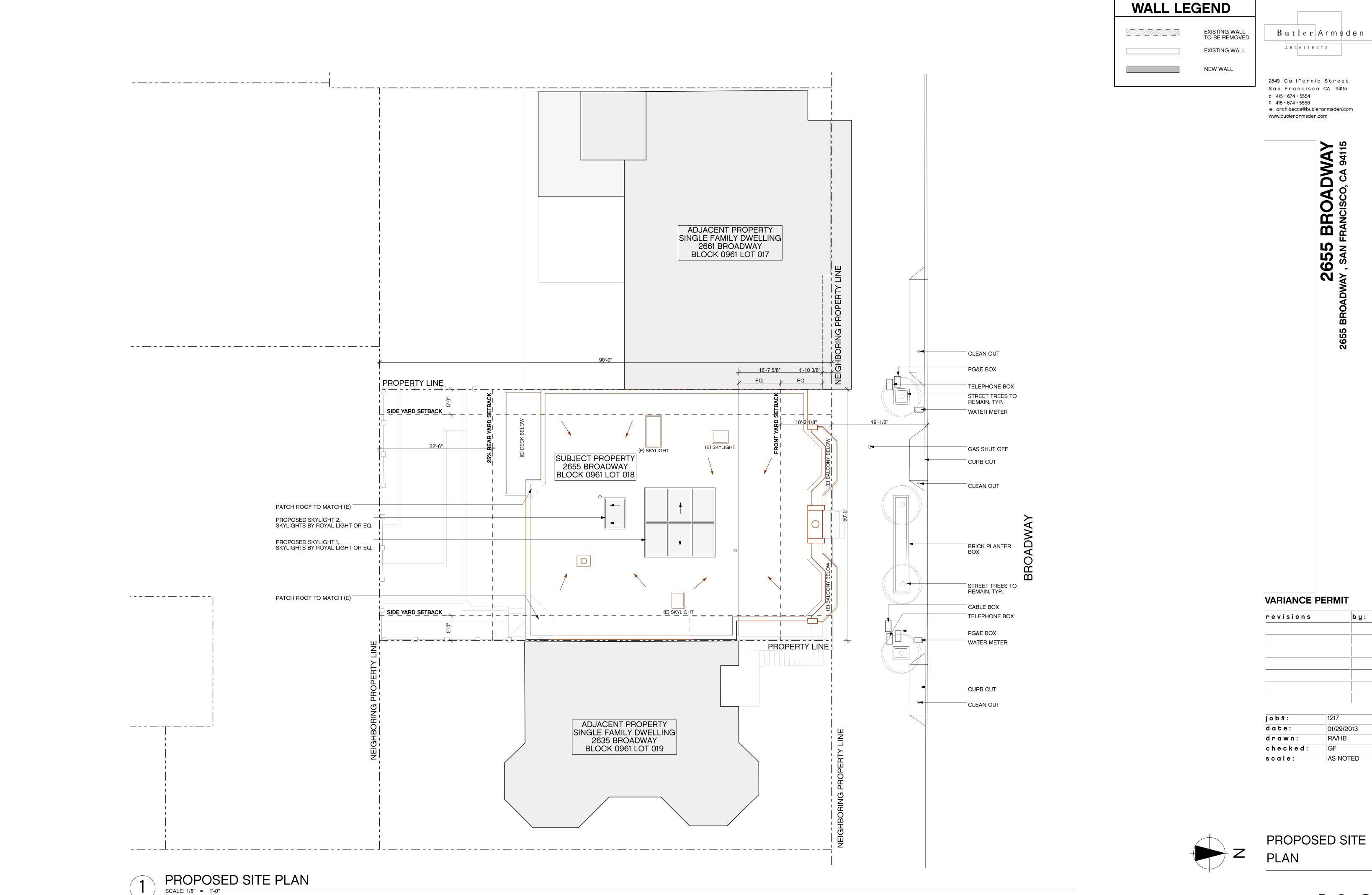
TITLE SHEET

1 BLOCK MAP
SCALE: 1" = 50'





WALL LEGEND



2849 California Street San Francisco CA 94115 t 415 • 674 • 5554

f 415 • 674 • 5558 e architects@butlerarmsden.com www.butlerarmsden.com

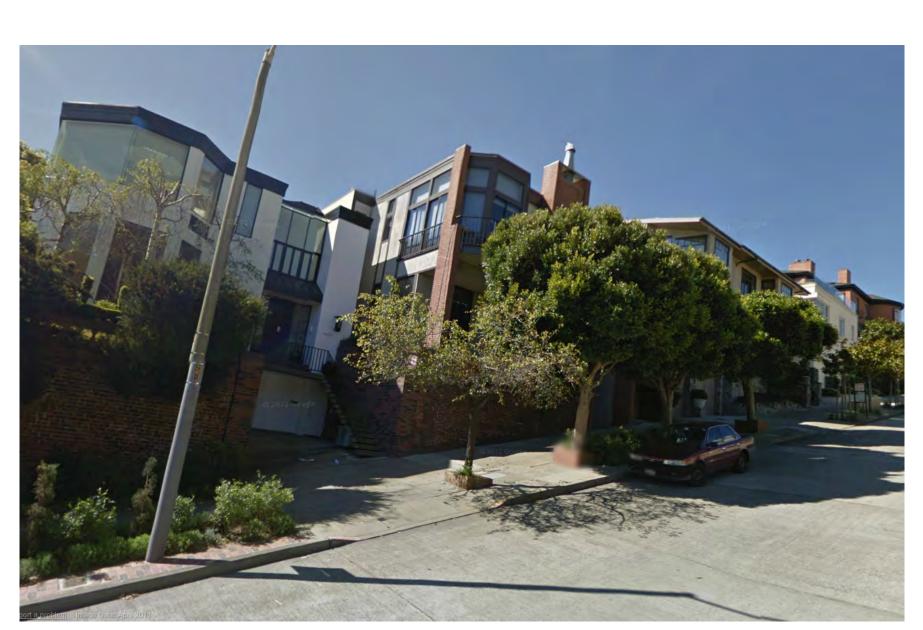
VIEW OF 2661 BROADWAY FROM ROOF OF 2655 BROADWAY



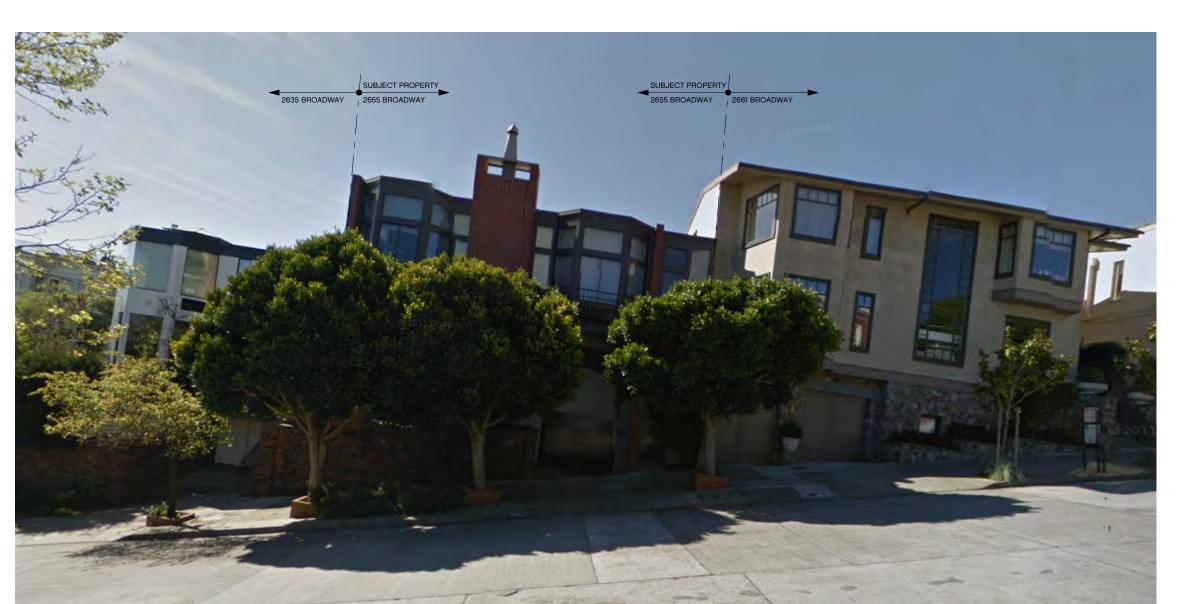




NOT TO SCALE



ADJACENT PROPERTY AT 2635 BROADWAY



VIEW ACROSS BROADWAY TO SUBJECT AND ADJACENT PROPERTIES NOT TO SCALE



SUBJECT PROPERTY 2655 BROADWAY

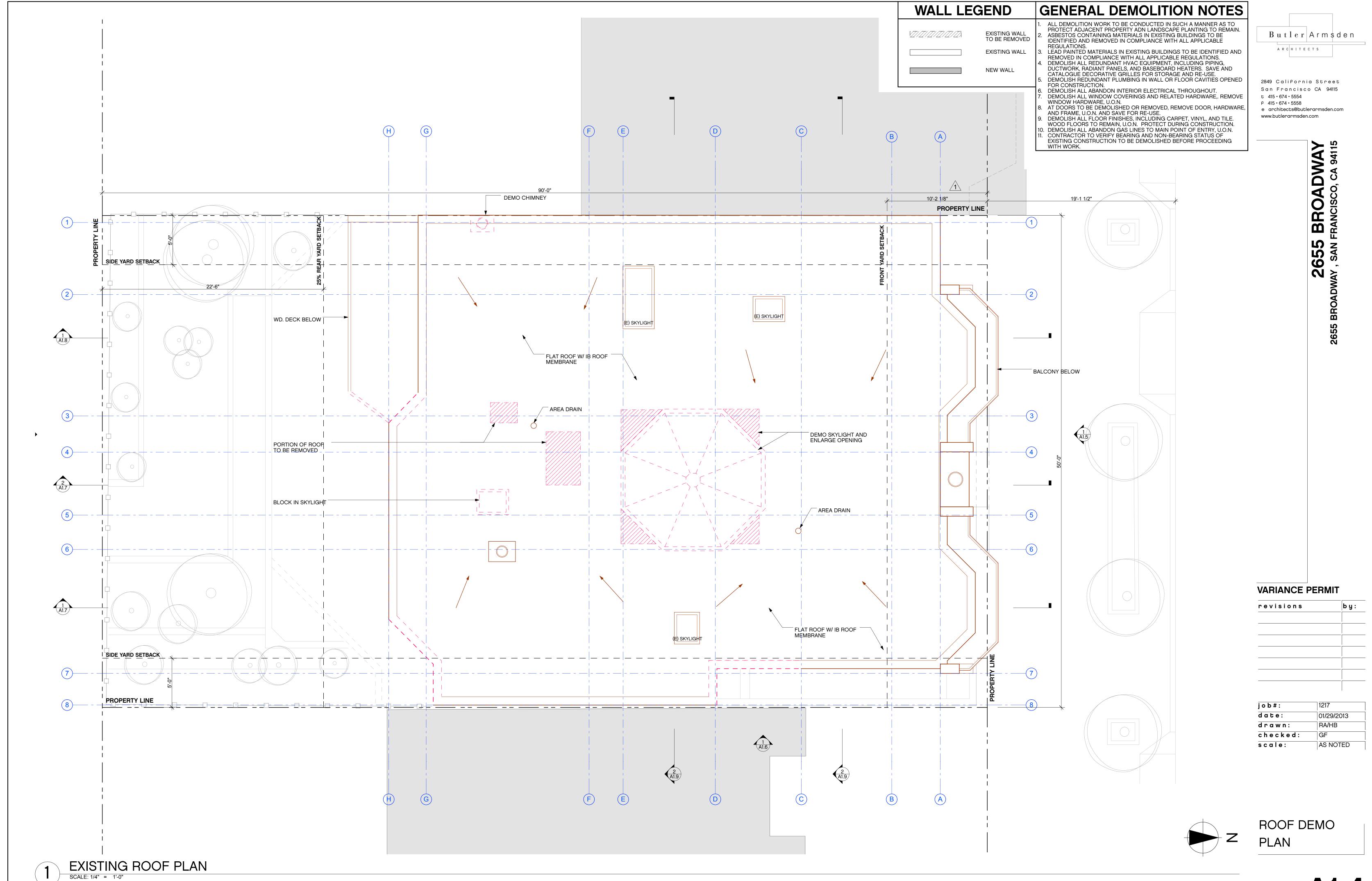
SITE PERMIT

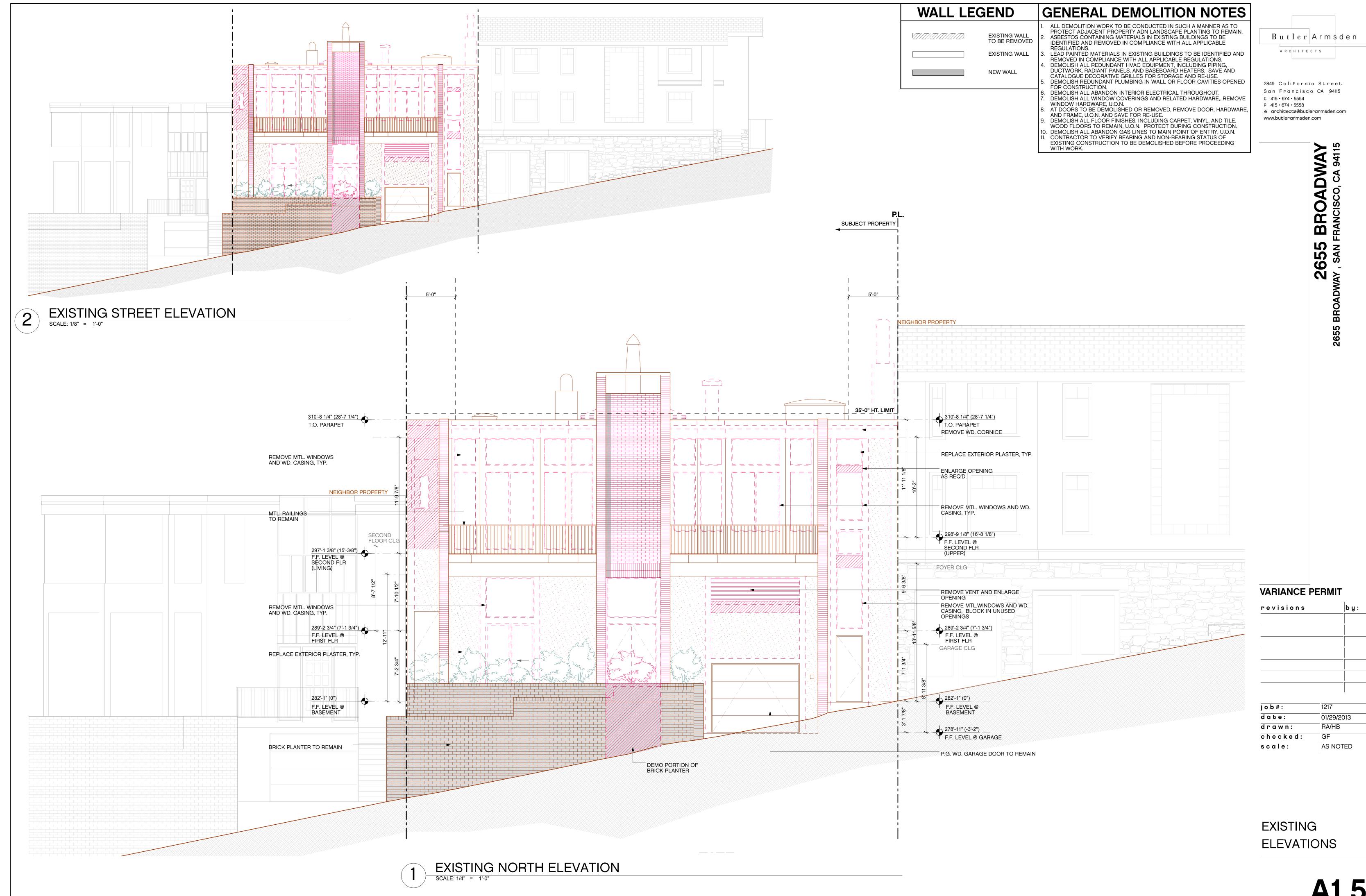
revisions

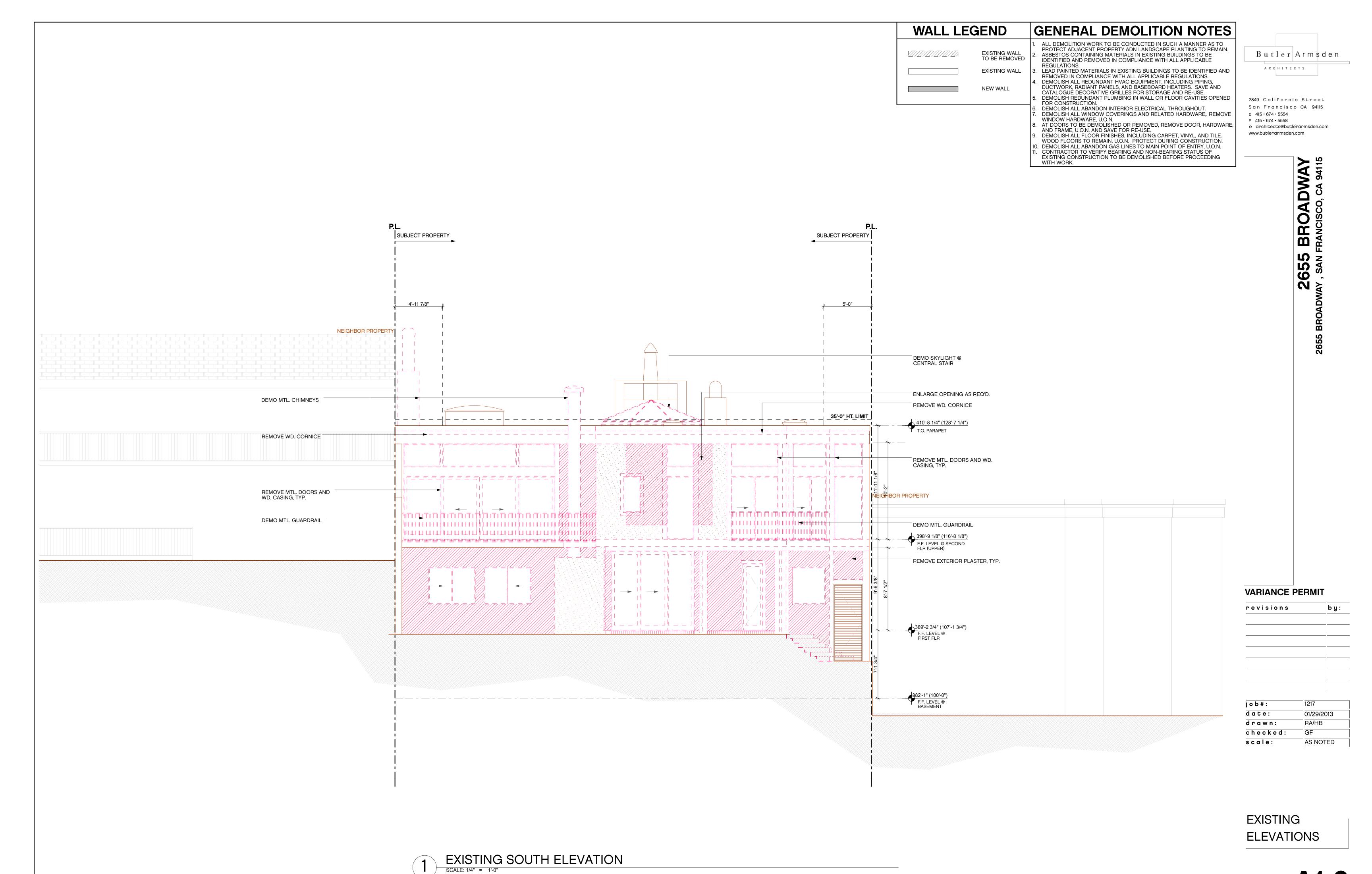
	_
j o b # :	1217
date:	01/29/2013
drawn:	RA/HB
checked:	GF

SITE PHOTOS

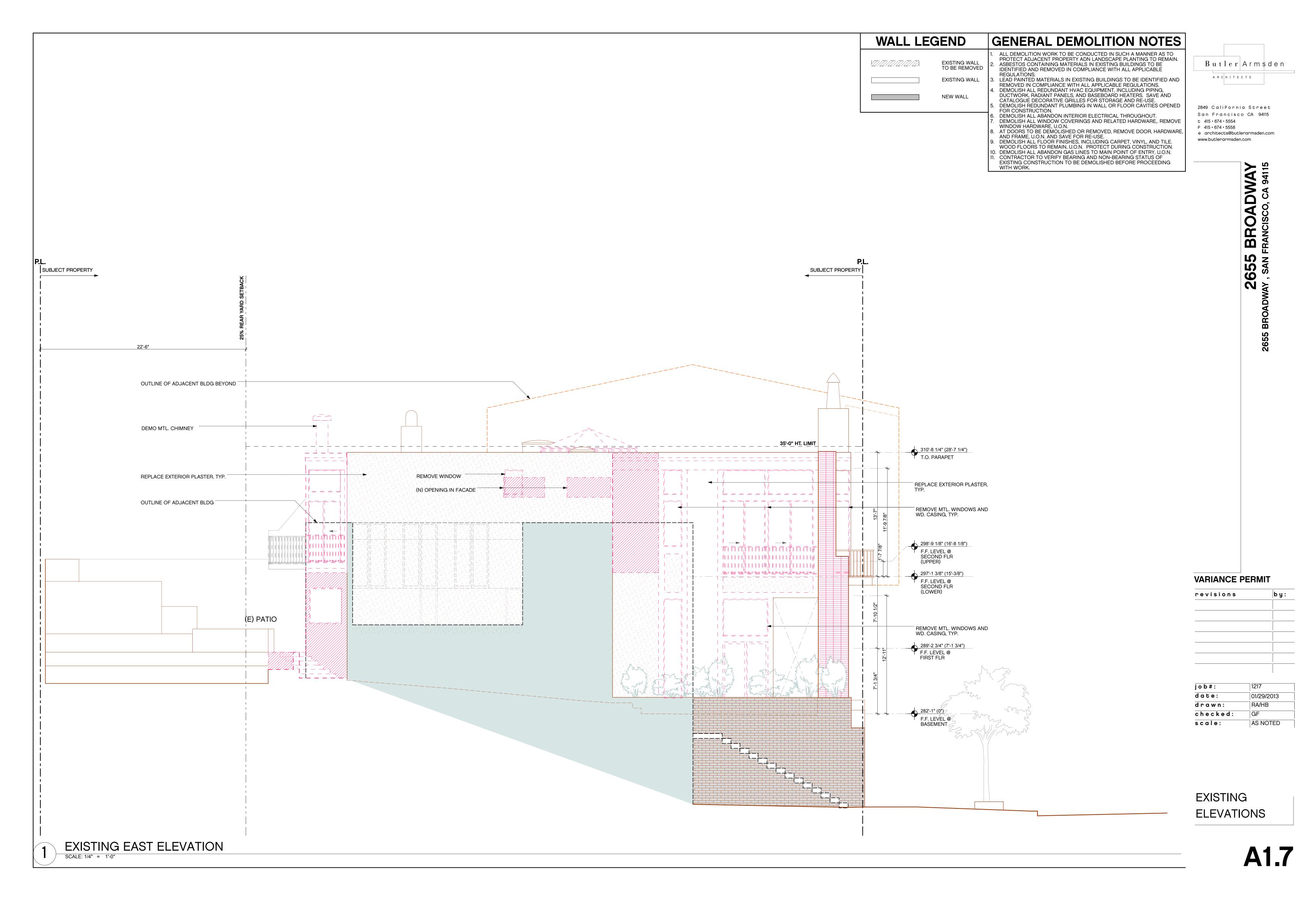
AS NOTED

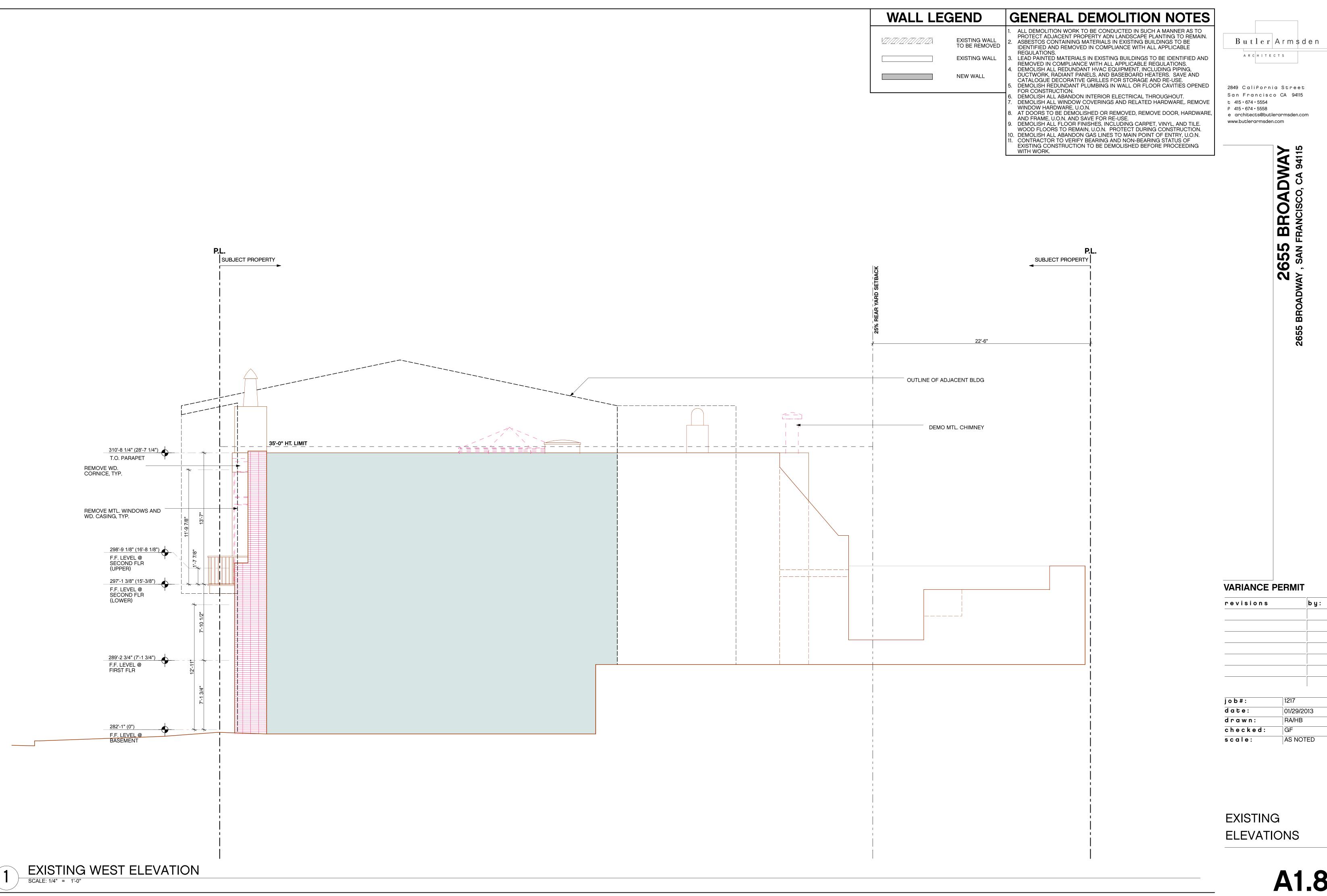


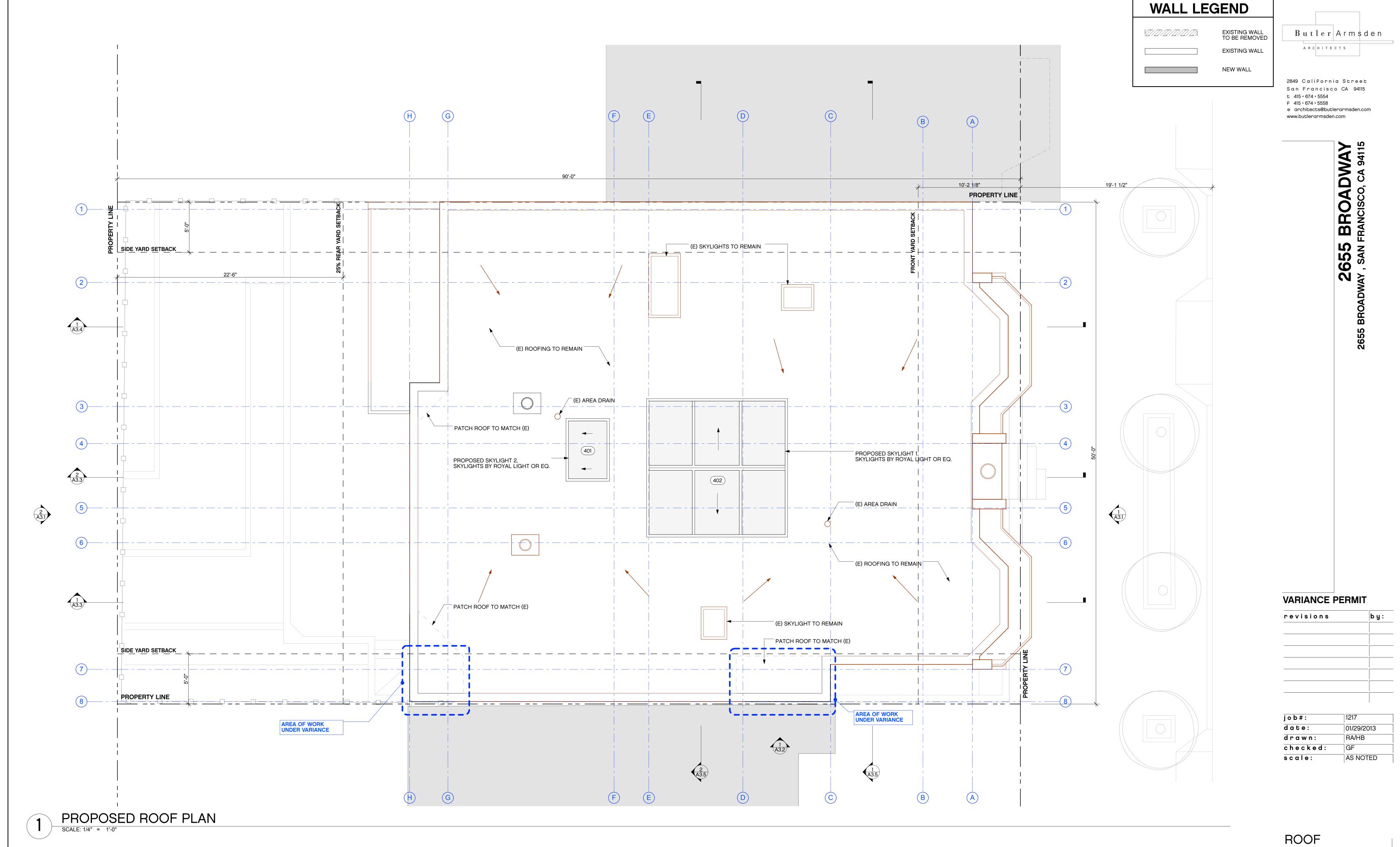




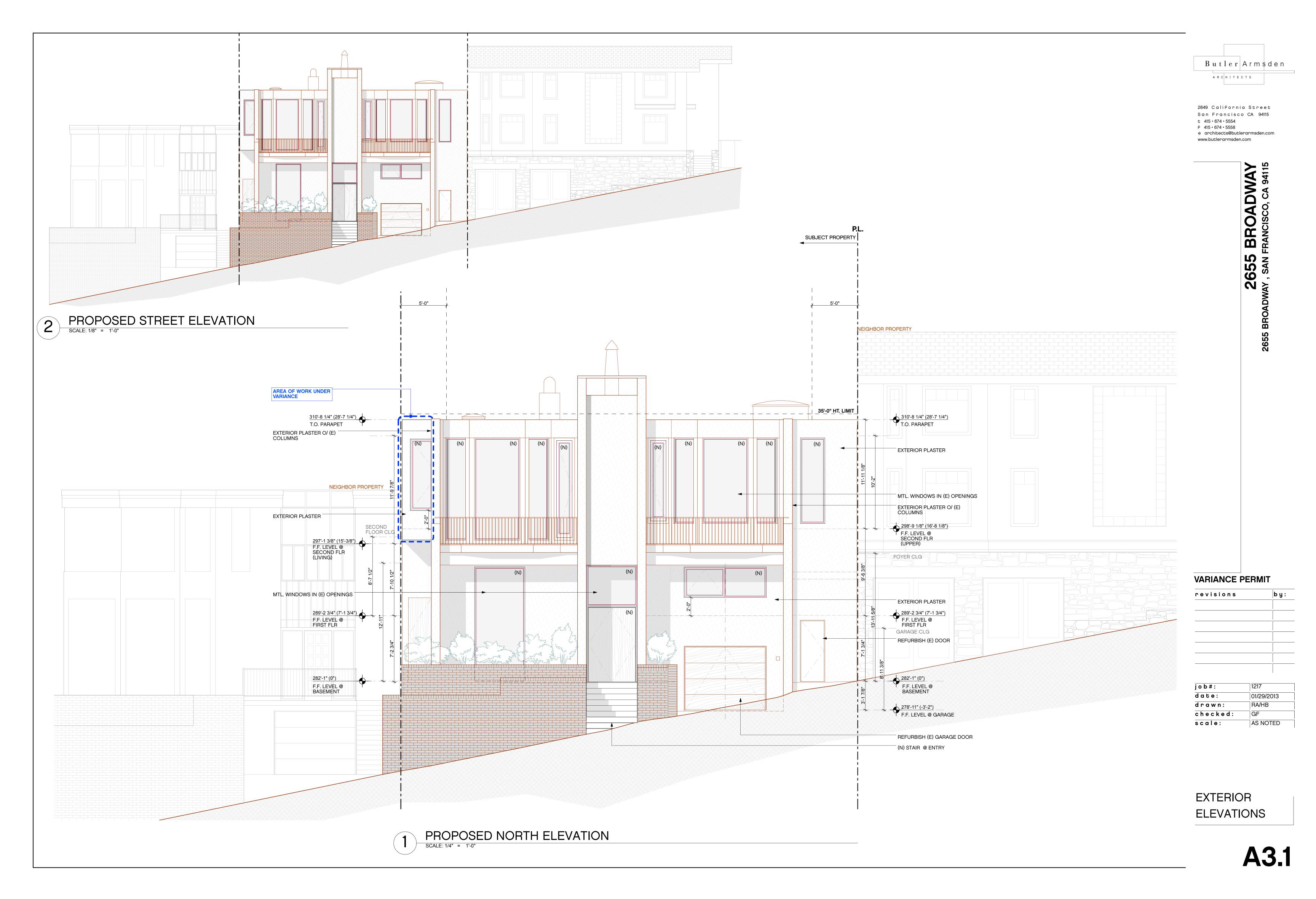
A1.6

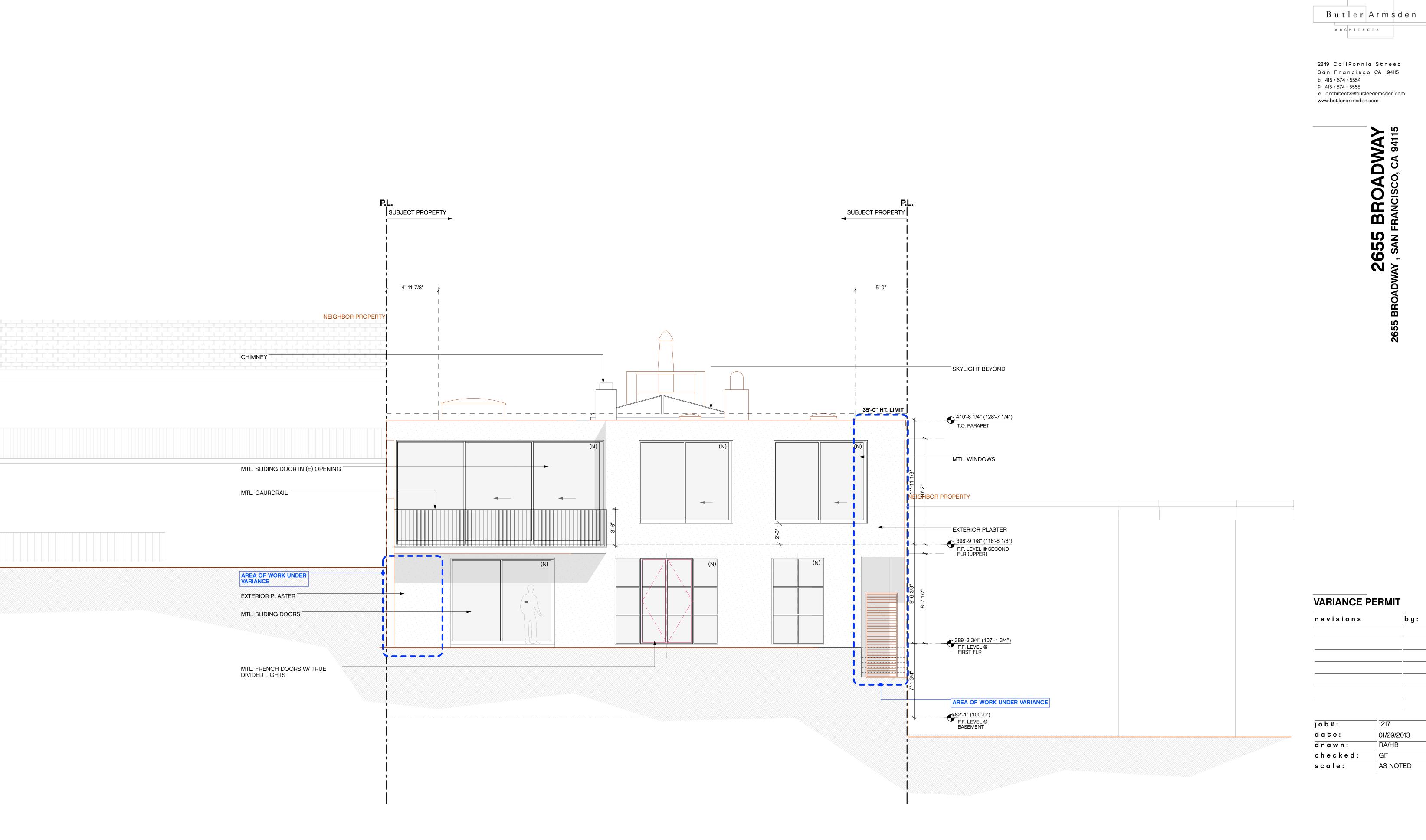






PROPOSED PLAN

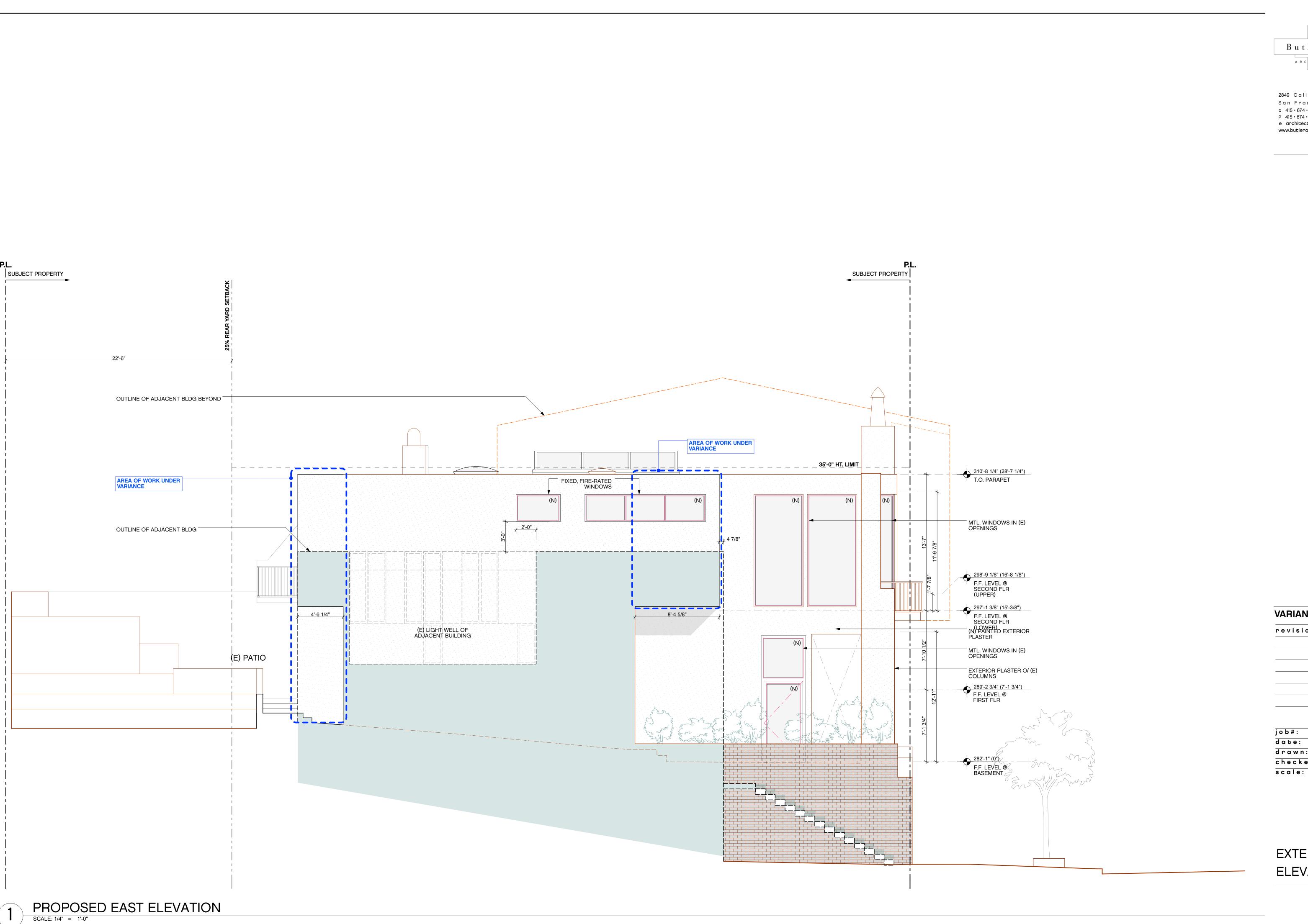




PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS



Butler Armsden

2849 California Street

San Francisco CA 94115

t 415 · 674 · 5554

F 415 · 674 · 5558

e architects@butlerarmsden.com

www.butlerarmsden.com

S BROADWAY SAN FRANCISCO CA 94115

VARIANCE PERMIT

revisions	b y :
	<u>`</u>
	·
	<u>'</u>

j o b # :	1217		
date:	01/29/2013		
drawn:	RA/HB		
checked:	GF		
scale:	AS NOTED		

EXTERIOR ELEVATIONS

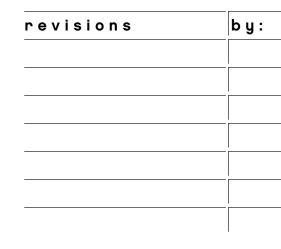


2849 California Street

San Francisco CA 94115

t 415 · 674 · 5554 F 415 · 674 · 5558 e architects@butlerarmsden.com www.butlerarmsden.com

VARIANCE PERMIT



j o b # : 1217 date: 01/29/2013 drawn: RA/HB checked: scale: AS NOTED

EXTERIOR ELEVATIONS

