



SHEET TITLE

Site Plan

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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DRAWN R.L.

CHECKED R.K.

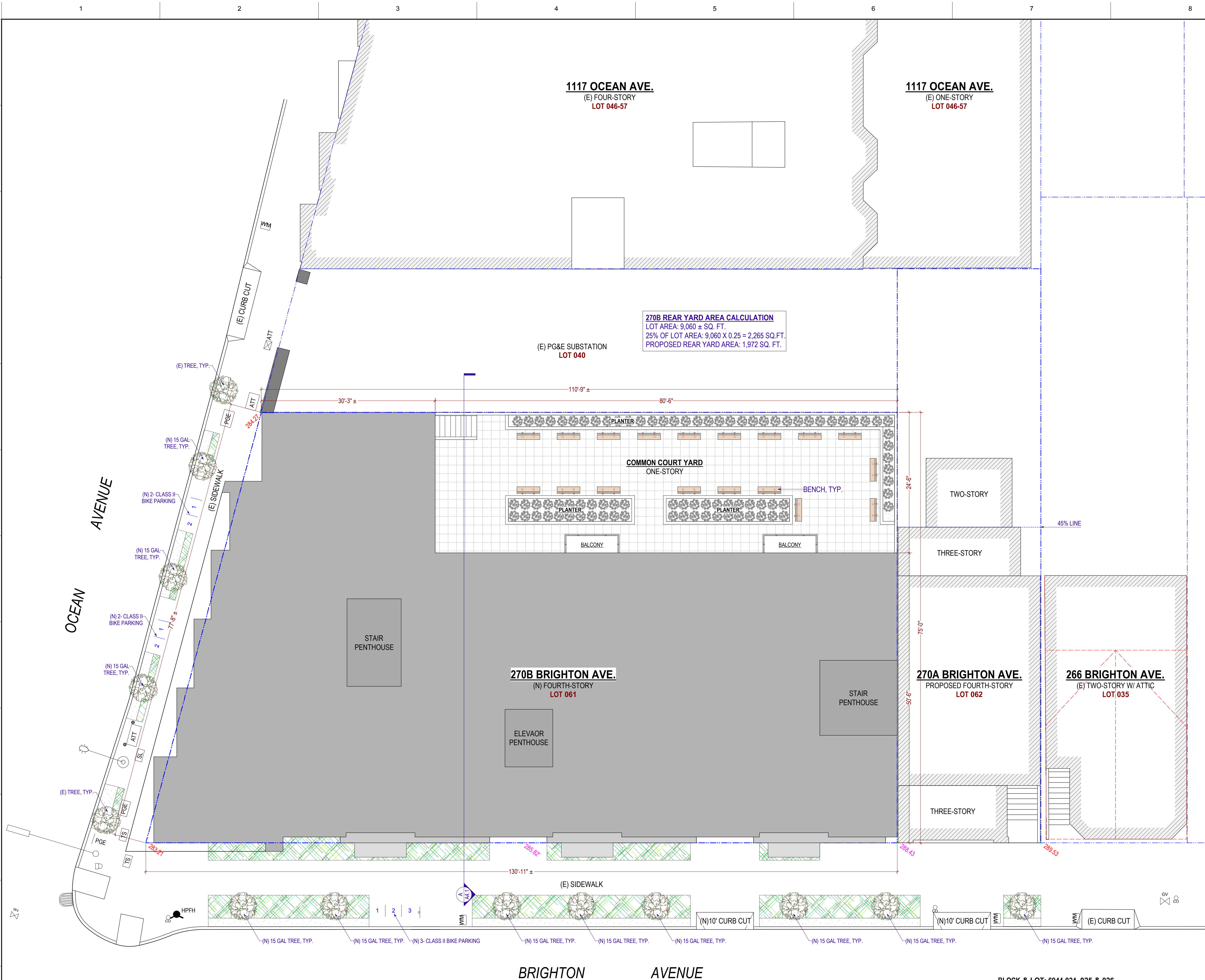
DATE 01/03/2013

REVISÉ DATE 06/05/2014

JOB NO. 13-1586

SHEET NO.

A-1.1



Proposed Site Plan

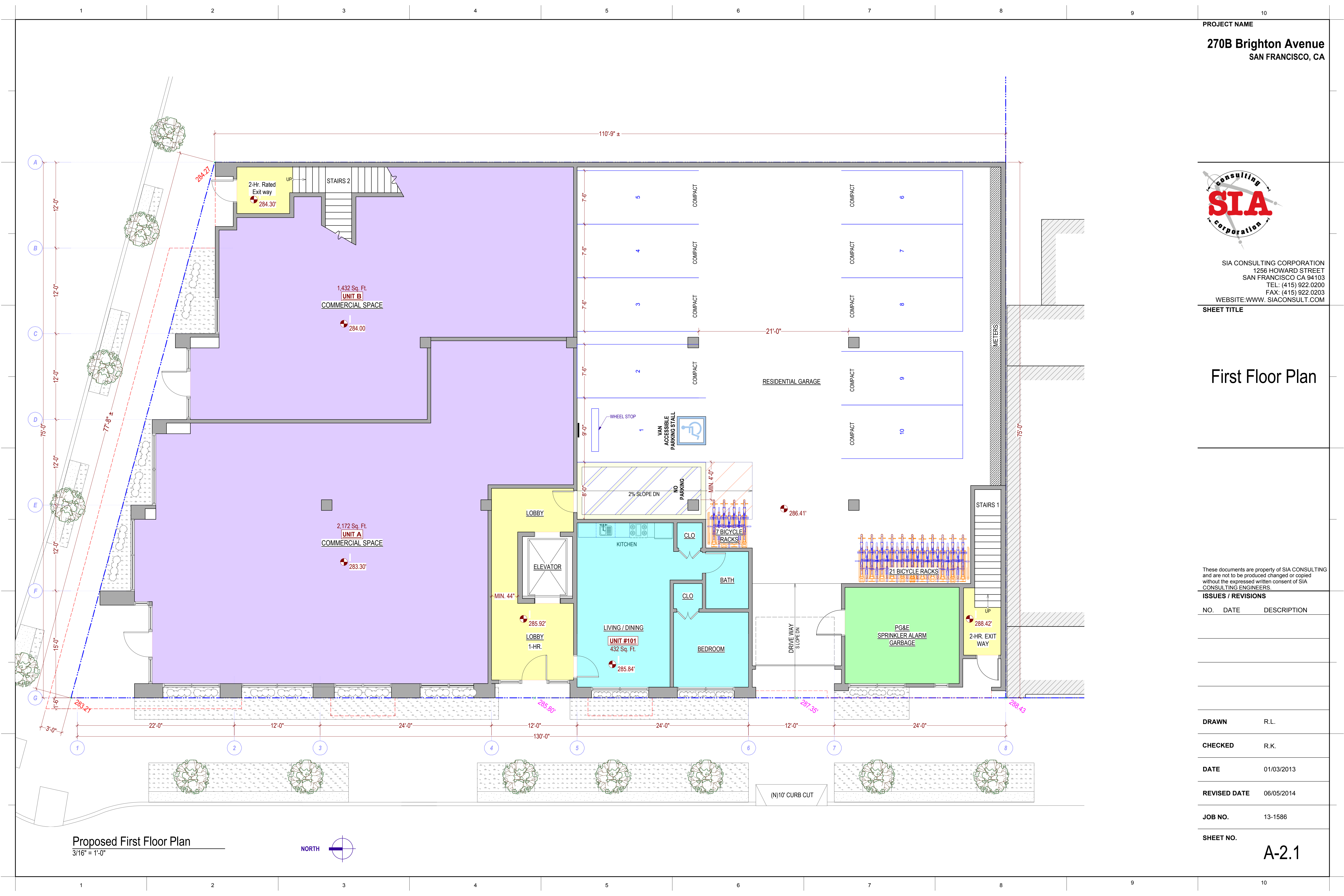
$$\frac{1}{8"} = 1'-0"$$


BLOCK & LOT: 6944-024, 025 & 026

PROPERTY LINE:

OUTLINE OF SUBJECT BUILDING:

OUTLINE OF NEIGHBORS:



PROJECT NAME
270B Brighton Avenue
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
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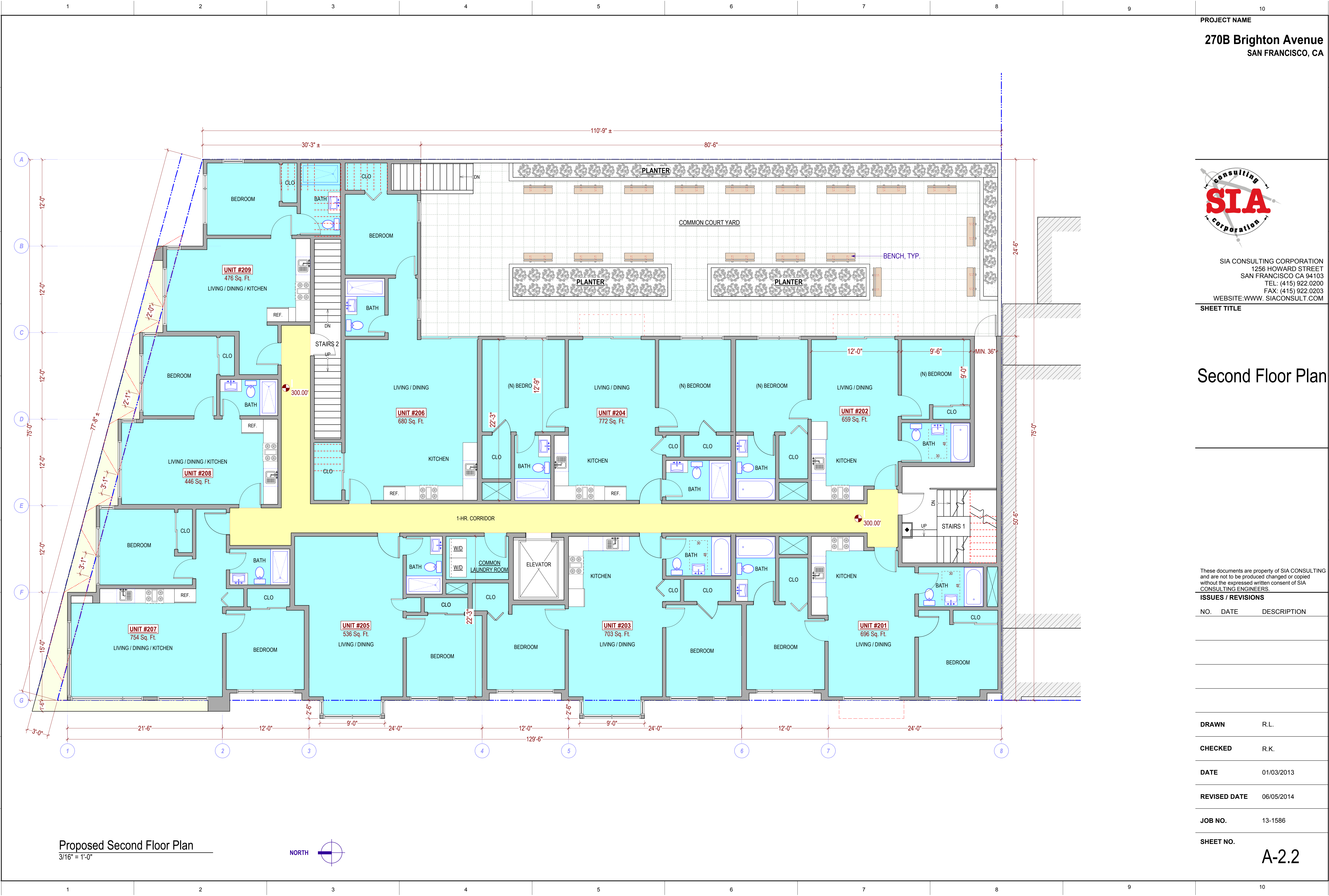
First Floor Plan

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PROJECT NAME
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Second Floor Plan

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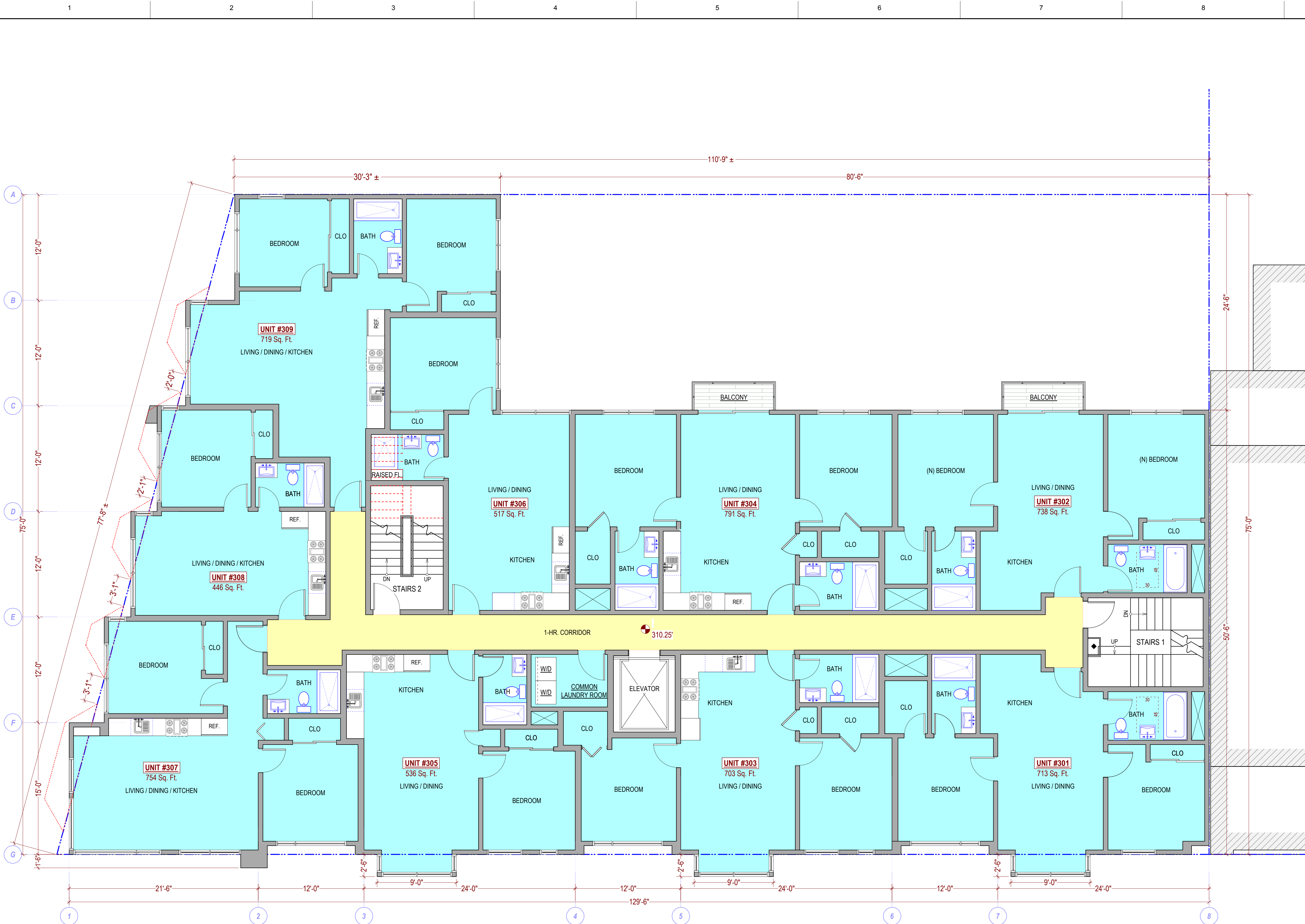
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JOB NO. 13-1586

SHEET NO.

A-2.2



Proposed Third Floor Plan
3/16" = 1'-0"



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Third Floor Plan

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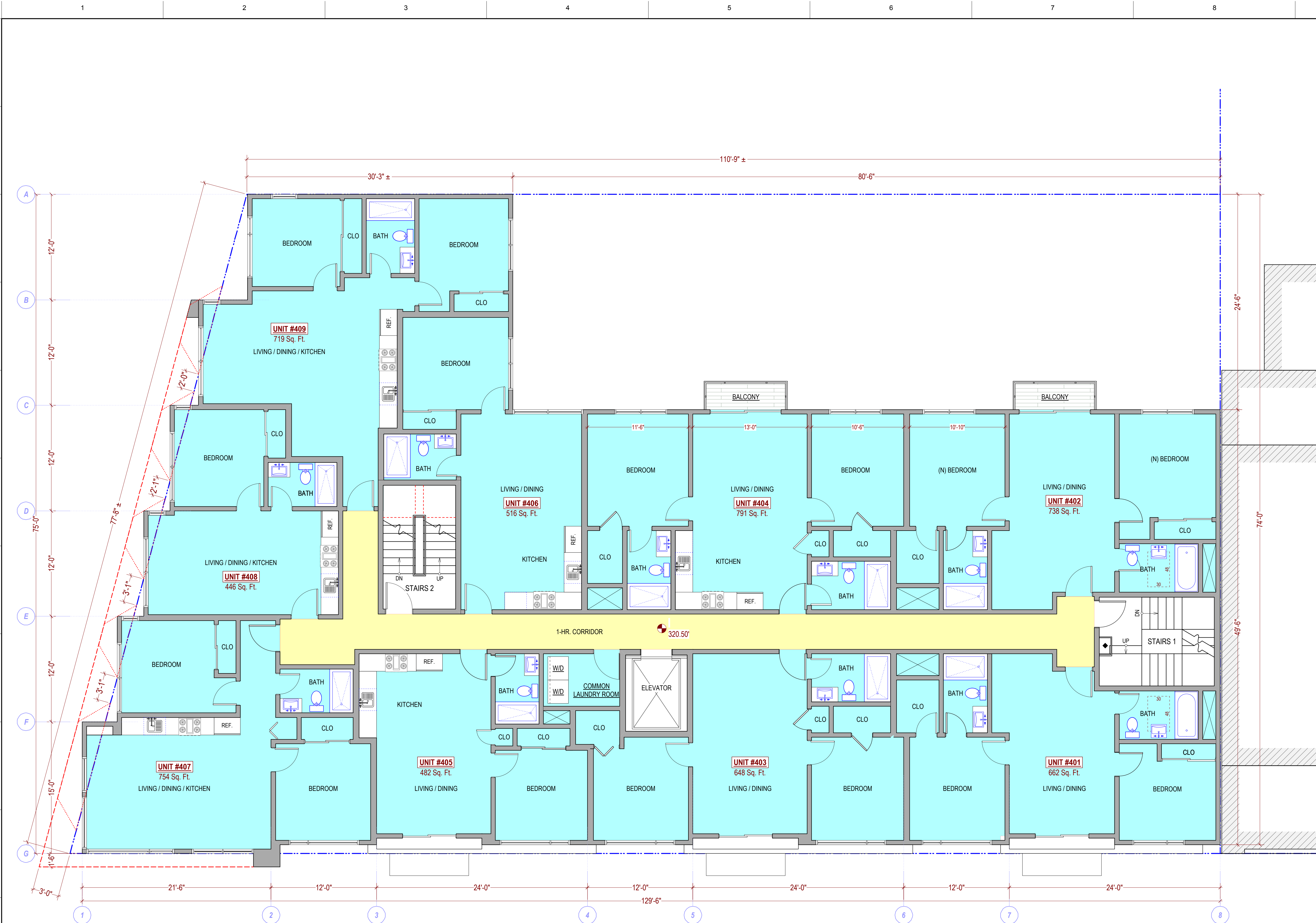
DATE 01/03/2013

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JOB NO. 13-1586

SHEET NO.

A-2.3



Proposed Fourth Floor Plan
3/16" = 1'-0"



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Fourth Floor Plan

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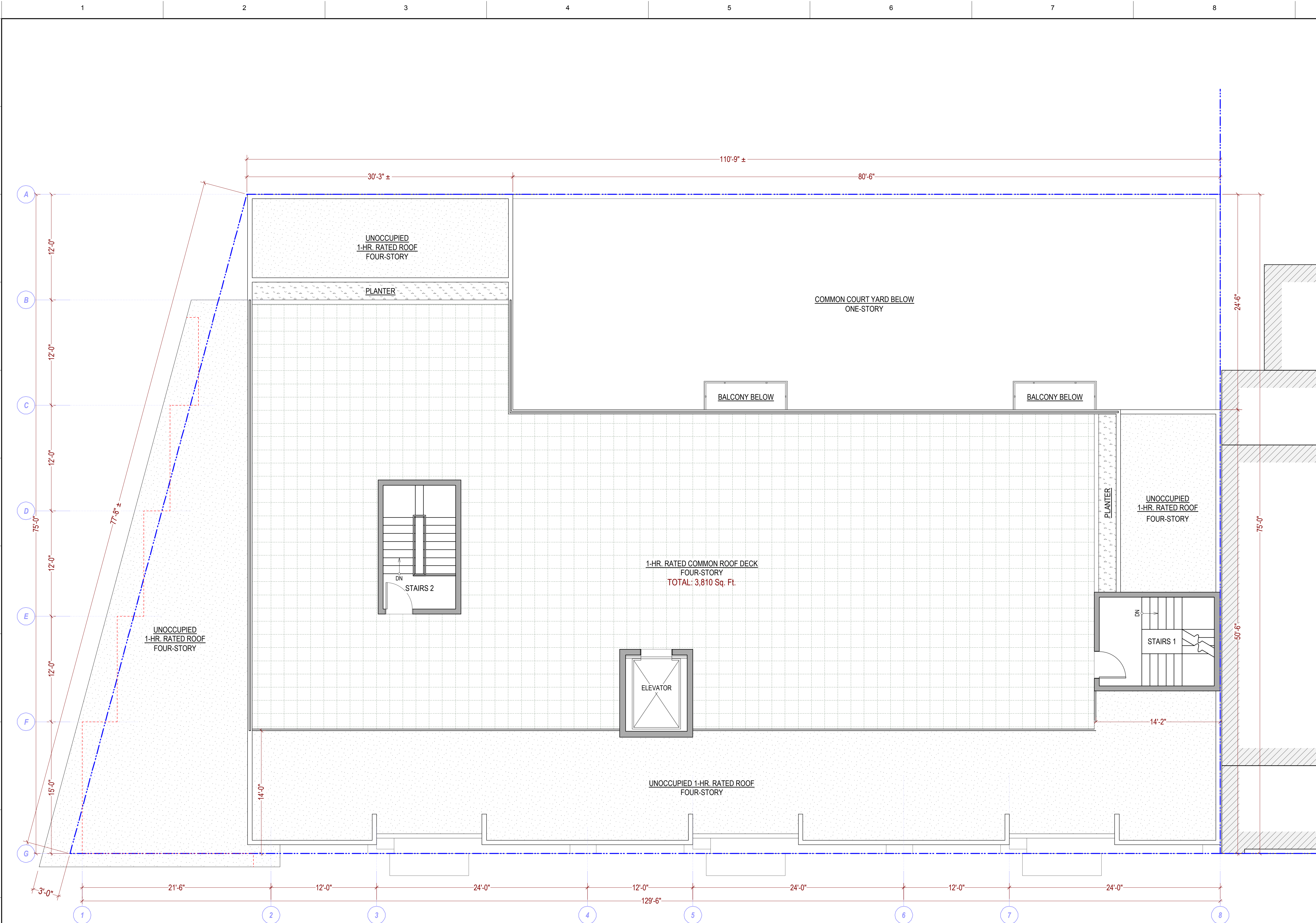
DATE	01/03/2013
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JOB NO.	13-1586
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SHEET NO.

A-2.4



Proposed Roof Plan
3/16" = 1'-0"



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Roof Plan

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SHEET NO.	A-2.5



Proposed Front Elevation (Brighton Ave.)

1/8" = 1'-0"

**BRIGHTON STREET GROUND FLOOR
TRANSPARENCY CALC.:**
STREET FRONTAGE: (14.5+12.5)X48/2=648 SQ. FT.
60% OF THE AREA: 388.8 SQ. FT.
TOTAL AREA OF TRANSPARENCY: 400 SQ. FT.
400 SQ. FT. < 388.8 SQ. FT.

BUILDING HEIGH CALCULATION FOR 270B:
AVERAGE SLOPE: (288.43' - 283.21') / 130'-11" = 4%
SINCE 4% > 5%
PER PLANNING CODE SECTION 260(a)(3),
NO REQUIREMENT FOR MAX. WIDTH FOR THE
PORTION TO BE MEASURED

BAY WINDOW CALCULATION FOR 270B:
TOTAL AREA OF BAY (EACH LEVEL):
(2.5' +2.5' +9') X 10.25' =142.8 SQ. FT.
50% OF THE AREA: 71.4 SQ. FT.
TOTAL WINDOW AREA OF BAY: 96 SQ. FT.
96 SQ. FT. > 71.4 SQ. FT.



Proposed Rear Elevation (East)

1/8" = 1'-0"

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Building Elevations

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JOB NO.	13-1586
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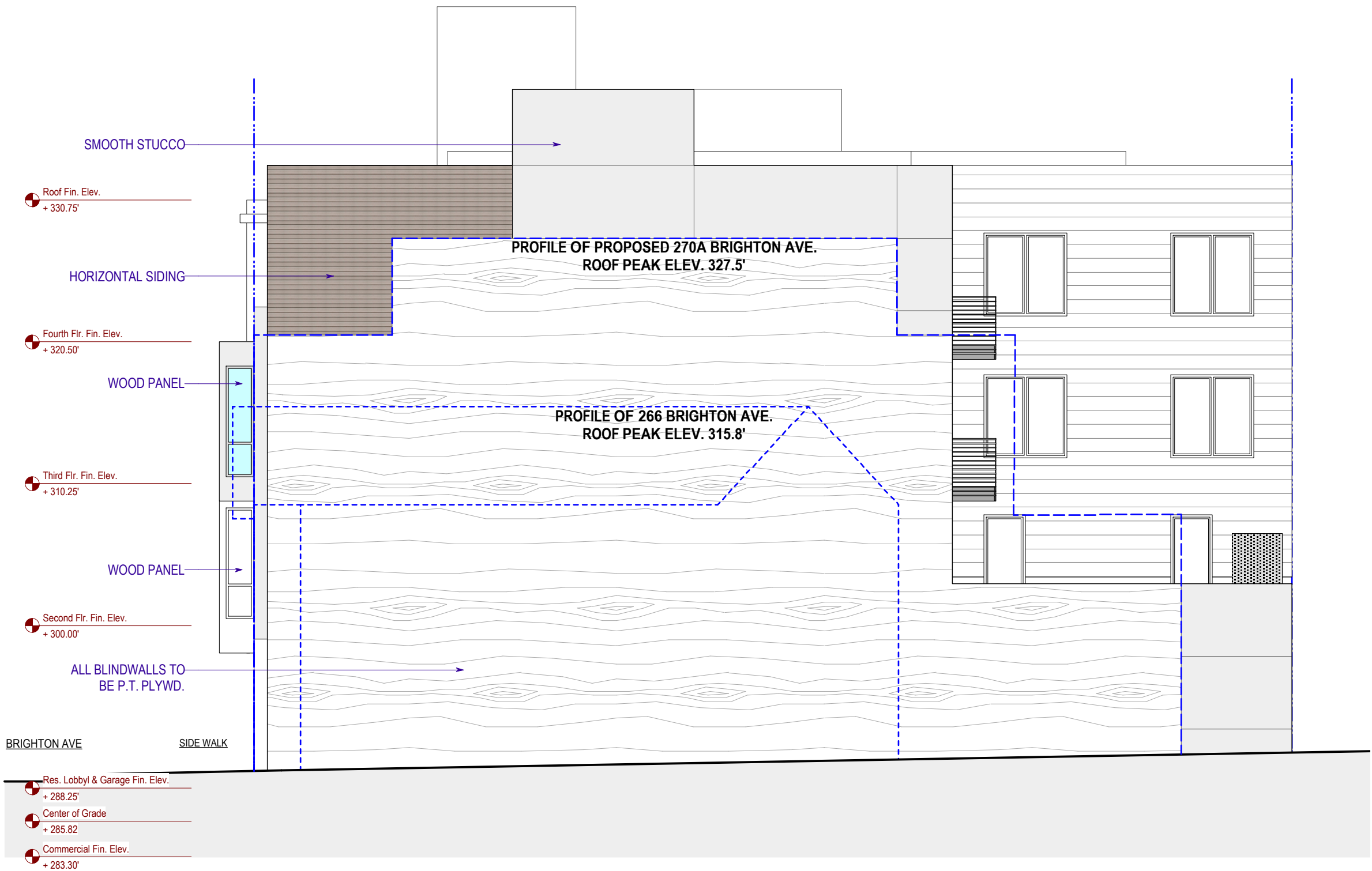
A-3.1



Proposed Left Elevation (Ocean Ave.)

1/8" = 1'-0"

OCEAN STREET GROUND FLOOR
TRANSPARENCY CALC.:
STREET FRONTAGE: (14+14.75)X64/2=920 SQ. FT.
60% OF THE AREA: 552 SQ. FT.
TOTAL AREA OF TRANSPARENCY: 599.5 SQ. FT.
599.5 SQ. FT. > 552 SQ. FT.



Proposed Right Elevation (South)

1/8" = 1'-0"

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Building Elevations

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SHEET NO.

A-3.2



Proposed Section A-A
1/4" = 1'-0"

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Building Section

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SHEET NO.

A-4.1