LOT AREA:		9,062 ± S.F.		
ALLOWABLE BUIL		9,062 ± 5.F. 45-X		
PROPOSED BUILD		45'-0"		
NUMBER OF STOP		43-0		
OCCUPANCY GRO		+ R-2, M, S-2		
CONSTRUCTION 1		TYPE "V-A"		
A.P.N. :	· · · · <b>L</b> .	6944-061		
ZONING:		NCT		
APPLICABLE COD	EG.		A CODES EDITIONS	
	LO.		CO AMENDMENTS	
70B BRIGHTON A	<u>VE.:</u> NCT ZONING W/ 4	5-X HEIGHT LIMIT		
ARKING GARAGE				
FLOOR LEVEL	FLOOR AREA	# OF STALL	# OF HC STALL	# BICYCLE
1ST FLOOR	3,448 ± S.F.	9	1	28
		TOTAL # OF STALL	10	28
COMMERCIAL SPA	CES			
FLOOR LEVEL	UN	IT	HABITABLE F	LOOR AREA
1ST FLOOR UN				
	UNIT TOTAL FLO		1,432 = 3,604 ±	
RESIDENTIAL UNIT				
FLOOR LEVEL	HABITABLE RESIDENTIAL	UNIT TYPE	# OF EACH TYPE	# OF UNIT
1ST FLOOR	432 ± S.F.	1-BEDROOM UNIT	1	1 UNIT
		2-BEDROOM UNIT	0	
2ND FLOOR	6,891 ± S.F.	1-BEDROOM UNIT	4	9 UNITS
		2-BEDROOM UNIT	5	
3RD FLOOR	6,903 ± S.F.	1-BEDROOM UNIT 2-BEDROOM UNIT	3 6	9 UNITS
4TH FLOOR	6,743 ± S.F.	1-BEDROOM UNIT	3	9 UNITS
		2-BEDROOM UNIT	6	
TOTAL FLOOR AREA	20,969 ± S.F.		# OF 1 BEDROOM	11 UNITS
TOTAL OPEN SPACE	3,724 S.F. REQUIRED (28 UNIT) 3,810 ± S.F. PROVIDED		# OF 2 BEDROOM TOTAL # OF UNITS	17 UNITS 28 UNITS
IRST FLOOR	(COMMON ROOF DECK @ TOP	(ROOF)		20 01113
GROSS AREA	COMMERCIAL SPACE	GARAGE	RESIDENTIAL	OTHER COMMON
	FLOOR AREA	FLOOR AREA	FLOOR AREA 432 ± S.F.	FLOOR AREA
8,326 ± S.F.	3,604 ± S.F.	3,448 ± S.F.	432 ± S.F.	842 ± S.F.
+	TIM			
П				
LL I				
Т				
T				

FIRST FLOOR		JNIT MATRIX				
GROSS AREA	RESIDENTIAL FLOOR AREA	UNIT TYPE	UNIT #	UNIT FLOOR AREA	PRIVATE OPEN SPACE	# OF UNI
8,326 ± S.F.	432 ± S.F.	1-BEDROOM UNIT	101	432 ± S.F.	-	1 UNIT
SECOND FLO	OR RESIDENTIA	L UNIT MATRIX				
GROSS AREA	RESIDENTIAL FLOOR AREA	UNIT TYPE	UNIT #	UNIT FLOOR AREA	PRIVATE OPEN SPACE	# OF UNI
6,934 ± S.F.	6,891 ± S.F.	1-BEDROOM UNIT	205	536 ± S.F.	-	4 UNITS
			206	680 ± S.F.	-	
			208	446 ± S.F.	-	
		2-BEDROOM UNIT	209	476 ± S.F.	-	5 UNITS
			201	696± S.F.	-	5 01113
			202	703± S.F.	-	
			204	772 ± S.F.	-	
			207	754 ± S.F.	-	
	RESIDENTIAL	UNIT MATRIX				
GROSS AREA	RESIDENTIAL FLOOR AREA	UNIT TYPE	UNIT #	UNIT FLOOR AREA	PRIVATE OPEN SPACE	# OF UNI
6,958 ± S.F.	6,903 ± S.F.	1-BEDROOM UNIT	305	536 ± S.F.	-	3 UNITS
			306	517 ± S.F.	-	
			308	446 ± S.F.	-	
		2-BEDROOM UNIT	301	719 ± S.F.	-	6 UNITS
		_	302	738 ± S.F. 703 ± S.F.	-	
		-	303	703 ± 3.1 . 791 ± S.F.	-	
			307	754 ± S.F.	_	
			309	719 ± S.F.	-	
	OR RESIDENTIA	L UNIT MATRIX				
GROSS AREA	RESIDENTIAL FLOOR AREA	UNIT TYPE	UNIT #	UNIT FLOOR AREA	PRIVATE OPEN SPACE	# OF UNI
6,798 ± S.F.	6,743 ± S.F.	1-BEDROOM UNIT	405	482 ± S.F.	-	3 UNITS
			406	516 ± S.F.	-	
		2-BEDROOM UNIT	408	446 ± S.F. 662 ± S.F.	-	6 UNITS
						0 UNITS
			402	738 ± S.F.		
			402	738 ± S.F. 648 ± S.F.	_	
					-	
			403	648 ± S.F.	-	
			403 404	648 ± S.F. 791 ± S.F.	- - - -	
	ABITABLE L FLR AREA	20,969 ± S.F.	403 404 407	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F.	- - - - SS FLOOR AREA	29,016 ± S.F
			403 404 407	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. TOTAL GRO	- - - SS FLOOR AREA	29,016 ± S.F
1. ALL WORK S	HALL BE PERFORMED IN	<b>GEN</b> I COMPLETE COMPLIANCE	403 404 407 409 ERAL NO	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. TOTAL GROS	DINANCES AND REGULATION	DNS OF ALL
RESIDENTIA 1. ALL WORK S AUTHORITIES H	HALL BE PERFORMED IN	<b>GEN</b> I COMPLETE COMPLIANCE	403 404 407 409 ERAL NO	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. TOTAL GROS		DNS OF ALL
1. ALL WORK S AUTHORITIES F FROM ALL DAM 2. ALL ATTACHI WITH THE BES	HALL BE PERFORMED IN AVING JURISDICTION C AGES AND/OR PENALTY MENTS, CONNECTIONS	GEN I COMPLETE COMPLIANCE VER THE WORK. ALL CON Y ARISING OUT OF VIOLATI	403 404 407 409 ERAL NO EWITH ALL APPLICA TRACTORS SHALL ON THEREOF.	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. <b>TOTAL GRO</b> <b>TES</b> BLE CODES, LAWS, OR HOLD HARMLESS THE A	DINANCES AND REGULATION	ONS OF ALL THE OWNER
1. ALL WORK S AUTHORITIES H FROM ALL DAM 2. ALL ATTACHI WITH THE BEST NOT ILLUSTRAT 3. THE CONTRA	HALL BE PERFORMED IN HALL BE PERFORMED IN HAVING JURISDICTION C IAGES AND/OR PENALTY MENTS, CONNECTIONS T PRACTICE OF THE BUI TE EVERY DETAIL.	GEN I COMPLETE COMPLIANCE VER THE WORK. ALL CON ARISING OUT OF VIOLATI OR FASTENING OF ANY NA LDING INDUSTRY. DRAWIN	403 404 407 409 ERAL NO EWITH ALL APPLICA TRACTORS SHALL ON THEREOF. ATURE ARE TO BE F IGS SHOWS ONLY S IMENTS AND COND	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. TOTAL GROS TES BLE CODES, LAWS, OR HOLD HARMLESS THE A PROPERLY AND PERMA SPECIAL REQUIREMENT	DINANCES AND REGULATION ARCHITECT/ENGINEER AND NENTLY SECURED IN CONF TS TO ASSIST THE CONTRA	ONS OF ALL THE OWNER
1. ALL WORK S AUTHORITIES H FROM ALL DAW 2. ALL ATTACHI WITH THE BEST NOT ILLUSTRAT 3. THE CONTRA DISCREPANCIE 4. UNLESS OTH	HALL BE PERFORMED IN AVING JURISDICTION C AGES AND/OR PENALTY MENTS, CONNECTIONS T PRACTICE OF THE BUI TE EVERY DETAIL. ACTOR SHALL VERIFY AL ES, ERROR OR OMISSION	GEN COMPLETE COMPLIANCE VER THE WORK. ALL CON ARISING OUT OF VIOLATI OR FASTENING OF ANY NA LDING INDUSTRY. DRAWIN	403 404 407 409 ERAL NO EWITH ALL APPLICA TRACTORS SHALL ON THEREOF. ATURE ARE TO BE F IGS SHOWS ONLY S EMENTS AND COND O THE ARCHITECT/E IGLES, ALL LINES V	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. TOTAL GROSE TOTAL GROSE	DINANCES AND REGULATION ARCHITECT/ENGINEER AND NENTLY SECURED IN CONF TS TO ASSIST THE CONTRA	ONS OF ALL THE OWNER FORMANCE CTOR AND DO
1. ALL WORK S     1. ALL WORK S     AUTHORITIES F     FROM ALL DAW     2. ALL ATTACHI     WITH THE BES'     NOT ILLUSTRA     3. THE CONTRA     DISCREPANCIE     4. UNLESS OTH     WHICH APPEAF     SQUARE.     5. CONTRACTO     REMAIN SHALL	AL FLR AREA HALL BE PERFORMED IN HAVING JURISDICTION C IAGES AND/OR PENALTY MENTS, CONNECTIONS T PRACTICE OF THE BUI TE EVERY DETAIL. ACTOR SHALL VERIFY AL ES, ERROR OR OMISSION IERWISE NOTED, ALL AN R CENTERED SHALL BE O OR SHALL BE RESPONSIE BE PROTECTED. ALL M	GEN COMPLETE COMPLIANCE VER THE WORK. ALL CON ARISING OUT OF VIOLATI OR FASTENING OF ANY NA LDING INDUSTRY. DRAWIN L DIMENSIONS, MEASURE IS SHALL BE BROUGHT TO IGLES SHALL BE RIGHT AN CENTERED. CONTRACTOR	403 404 407 409 ERAL NO EWITH ALL APPLICA TRACTORS SHALL ON THEREOF. ATURE ARE TO BE F IGS SHOWS ONLY S EMENTS AND COND O THE ARCHITECT/E IGLES, ALL LINES V SHALL BE RESPON	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. <b>TOTAL GRO</b> <b>TES</b> BLE CODES, LAWS, OR ODERLY AND PERMA PROPERLY AND PERMA SPECIAL REQUIREMENT ITIONS IN THE FIELD BE INGINEER'S ATTENTION (HICH APPEAR PARALLI INSIBLE FOR MAINTAININ RING CONSTRUCTION. /	DINANCES AND REGULATION ARCHITECT/ENGINEER AND NENTLY SECURED IN CONF TS TO ASSIST THE CONTRA FORE BEGINNING WORK. / I IMMEDIATELY. EL SHALL BE PARALLEL, AN	DNS OF ALL THE OWNER CORMANCE CTOR AND DO ANY ID ALL ITEMS PLUMB AND
1. ALL WORK S     1. ALL WORK S     AUTHORITIES F     FROM ALL DAW     2. ALL ATTACHI     WITH THE BES'     NOT ILLUSTRA     3. THE CONTRA     DISCREPANCIE     4. UNLESS OTH     WHICH APPEAF     SQUARE.     5. CONTRACTO     REMAIN SHALL     LUMBER SHALL     6. DETAILED AN	HALL BE PERFORMED IN HAUNG JURISDICTION C IAGES AND/OR PENALTY MENTS, CONNECTIONS T PRACTICE OF THE BUI TE EVERY DETAIL. ACTOR SHALL VERIFY AL S, ERROR OR OMISSION IERWISE NOTED, ALL AN R CENTERED SHALL BE O OR SHALL BE RESPONSIE BE PROTECTED. ALL M JE PROTECTED. ALL M JE PROTECTED FROM	GEN COMPLETE COMPLIANCE VER THE WORK. ALL CON ARISING OUT OF VIOLATI OR FASTENING OF ANY NA LDING INDUSTRY. DRAWIN L DIMENSIONS, MEASURE IS SHALL BE BROUGHT TO IGLES SHALL BE RIGHT AN CENTERED. CONTRACTOR BLE FOR ALL SHORING ANI ATERIALS DELIVERED TO MOISTURE AND STORED A	403 404 407 409 <b>ERAL NO</b> WITH ALL APPLICA TRACTORS SHALL ON THEREOF. ATURE ARE TO BE F IGS SHOWS ONLY S MENTS AND COND ON THE ARCHITECT/E IGLES, ALL LINES W SHALL BE RESPON O PROTECTION DUI THE SITE SHALL BE ABOVE GROUND. EECEDENCE OVER (	648 ± S.F. 791 ± S.F. 754± S.F. 719 ± S.F. TOTAL GROSENTIAL GROSENTIES BLE CODES, LAWS, OR HOLD HARMLESS THE A PROPERLY AND PERMAN SPECIAL REQUIREMENT ITIONS IN THE FIELD BE NGINEER'S ATTENTION (HICH APPEAR PARALLING NGINEER'S ATTENTION (HICH APPEAR PARALLING SIBLE FOR MAINTAININ RING CONSTRUCTION. A PROPERLY STORED AN SENERAL AND SMALLEI	DINANCES AND REGULATION ARCHITECT/ENGINEER AND NENTLY SECURED IN CONF TS TO ASSIST THE CONTRA FORE BEGINNING WORK. / I IMMEDIATELY. EL SHALL BE PARALLEL, AN IG ALL LINES TRUE LEVEL, ALL EXISTING IMPROVEMEN ND PROTECTED UNTIL INST R SCALE DRAWINGS. FIGUR	DNS OF ALL THE OWNER ORMANCE CTOR AND DO ANY ID ALL ITEMS PLUMB AND NTS TO ALLATION. ALL

8		9		
SCOPE	OF WORK		PROJECT NAME	
CONSTRUCTION OF	FOUR-STORY		<b>Jhton Avenue</b> An francisco, ca	
S2 S2 S2 S2 S2 S2   S2 S2 S2 S2 S2 S2		3 22 21 20 HOLLC	consultin SIL Corporatio	
y 0558 0568 58 58 58 58 ■A∀	8 B KICH L ON	500	<b>PO13</b> (	
	ESSOR'S MAP	\ }	1	ILTING CORPORATION 256 HOWARD STREET FRANCISCO CA 94103
DRAW	NG INDEX:		WEBSITE:WM	TEL: (415) 922.0200 FAX: (415) 922.0203 W. SIACONSULT.COM
			SHEET TITLE	
COVER SHEET AB 009 SITE PLAN FIRST FLOOR PL SECOND FLOOR THIRD FLOOR PI	PLAN		Cove	r Sheet
FOURTH FLOOR ROOF PLAN FRONT (Brighton	PLAN	ast) ELEVATIONS h) ELEVATIONS		
FOURTH FLOOR ROOF PLAN FRONT (Brighton LEFT (Ocean Ave SECTION A-A GREENPOINT CH OPIPE REQUIRED PER NFPA1 IKLER MONITORING SYSTEM RE ALARM SYSTEMS WILL N N EACH FLOOR. ELEVATOR F CONNECTED TO FIRE ALARM MAIN ENTRY COORDINATE W DENTIFICATION SIGNS, AS PE TORS REQUIRED IN COMMON	PLAN Ave) & REAR (E e) & RIGHT (Sout ECKLIST 3, 14, & 24, 2001 EDIT REQUIRED PER NFPA EED TO PROVIDED SPI RECALL, DOORS AT EL SYSTEM TH DISTRICT FIRE INS ER CBC 1020.1.6 N CORRIDOR ON FIRST	th) ELEVATIONS IONS. 72 THROUGHOUT RINKLER WATER FLOW AND LEVATOR AND FIRE SMOKE DAMPERS	These documents are and are not to be produ- without the expressed CONSULTING ENGIN	uced changed or copied written consent of SIA EERS.
FOURTH FLOOR ROOF PLAN FRONT (Brighton LEFT (Ocean Ave SECTION A-A GREENPOINT CH OPIPE REQUIRED PER NFPA1 IKLER MONITORING SYSTEM RE ALARM SYSTEMS WILL N N EACH FLOOR. ELEVATOR F CONNECTED TO FIRE ALARM MAIN ENTRY COORDINATE W DENTIFICATION SIGNS, AS PE TORS REQUIRED IN COMMON	PLAN Ave) & REAR (E e) & RIGHT (Sout ECKLIST 3, 14, & 24, 2001 EDIT REQUIRED PER NFPA EED TO PROVIDED SPI RECALL, DOORS AT EL SYSTEM TH DISTRICT FIRE INS ER CBC 1020.1.6 N CORRIDOR ON FIRST REVIATION	th) ELEVATIONS IONS. 72 THROUGHOUT RINKLER WATER FLOW AND EVATOR AND FIRE SMOKE DAMPERS SPECTOR	and are not to be produ without the expressed CONSULTING ENGIN	written consent of SIA EERS.
FOURTH FLOOR ROOF PLAN FRONT (Brighton LEFT (Ocean Ave SECTION A-A GREENPOINT CH OPIPE REQUIRED PER NFPA1 KLER MONITORING SYSTEM RE ALARM SYSTEMS WILL N I EACH FLOOR. ELEVATOR F ONNECTED TO FIRE ALARM I AIN ENTRY COORDINATE W ENTIFICATION SIGNS, AS PE FORS REQUIRED IN COMMON	PLAN Ave) & REAR (E e) & RIGHT (Sout ECKLIST 3, 14, & 24, 2001 EDIT REQUIRED PER NFPA EED TO PROVIDED SPI RECALL, DOORS AT EL SYSTEM TH DISTRICT FIRE INS ER CBC 1020.1.6 N CORRIDOR ON FIRST EVIATION F.D. F FDN F FL F FLUOR F F.O.F. F FURR F G.B. G GND G GRP G G GND G GRP G G G GND G G G G G G G G G G G G G G G G G G G	th) ELEVATIONS IONS. 72 THROUGHOUT RINKLER WATER FLOW AND LEVATOR AND FIRE SMOKE DAMPERS	and are not to be produ without the expressed CONSULTING ENGIN	uced changed or copied written consent of SIA EERS.

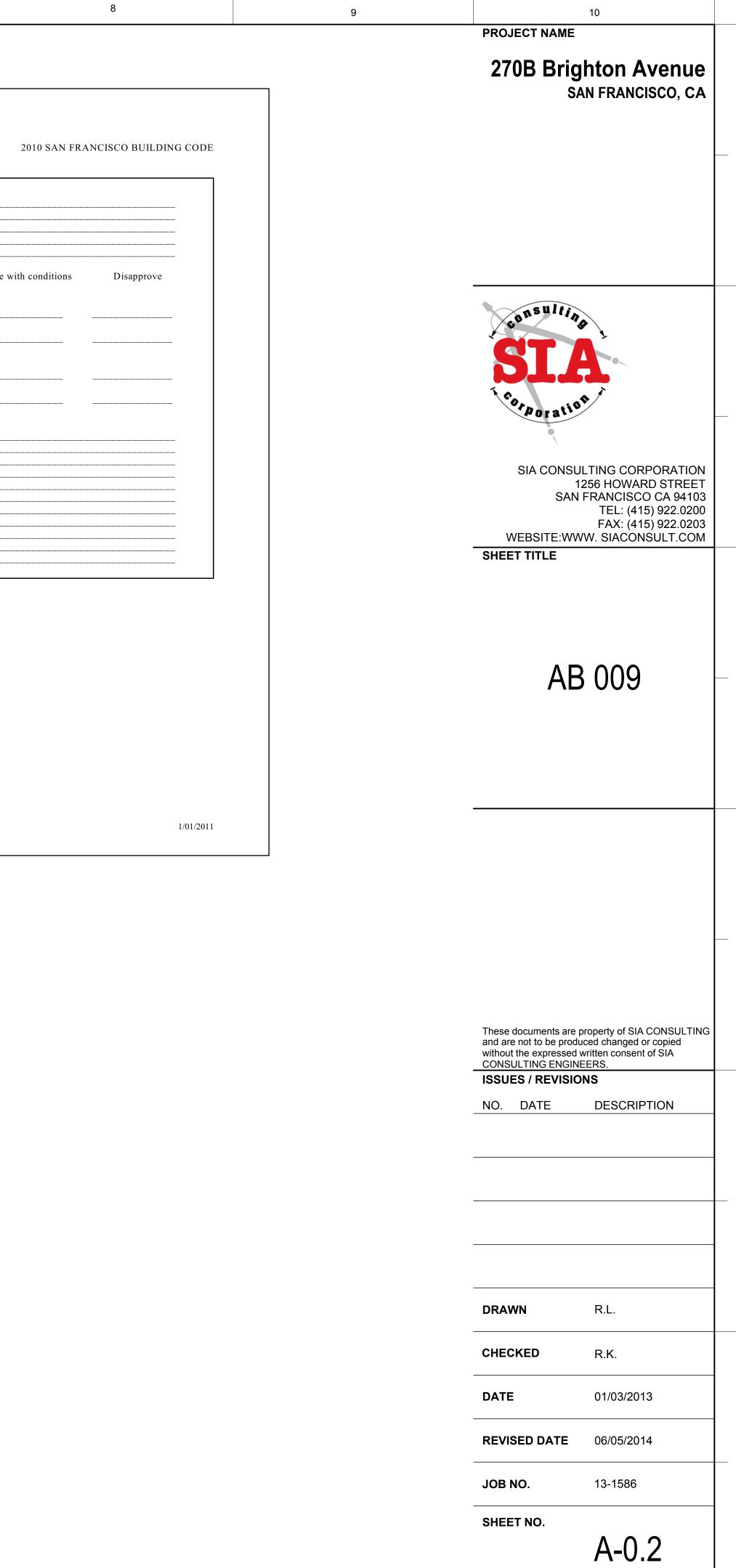
AB-009	2010 SAN FRANCISCO BUILDING COD
	ATTACHMENT A
A RU COUNTRO	
	<u>DEPARTMENT OF BUILDING INSPECTION</u> City & County of San Francisco
10 10 10 10 10 10 10 10 10 10 10 10 10 1	1660 Mission Street, San Francisco, California 94103-2414
_	R APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION ATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION
DATE SUBMITTED	[Note: This form shall be recorded as part of the permanent construction records of the property]
	as been filed, a Preapplication Review Fee is required for review of a request for loc n, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Departme cies.
If a permit application has	been filed, no additional fees are required for this review.
Permit Application #2	2013.0830.5729
Property Address: 2	270B BRIGHTON AVE
Block and Lot: <u>6944</u> / 061	Occupancy Group:R-2,S-2, MType of Construction:V-ANo. of Stories:4
Describe Use of Building	NEW CONSTRUCTION OF FOUR-STORY MIXED USE BUILDING WITH 28 RESIDENTIAL AND 2 COMMERCIAL.
Francisco Mechanical Code San Francisco Plumbing C codes and/or approval of	2010 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2010 Sate, Section 105.0; the 2010 San Francisco Electrical Code, Section 89.117; and the 2010 Code, Section 301.2; the undersigned requests modifications of the provisions of the alternate materials, designs or methods of construction. Two copies of supporting showing the proposed modifications or alternate materials, design or methods of
Regular Code Requirement 2010 SAN FRANCISCO B -SECTION 705.8 OPENIN	

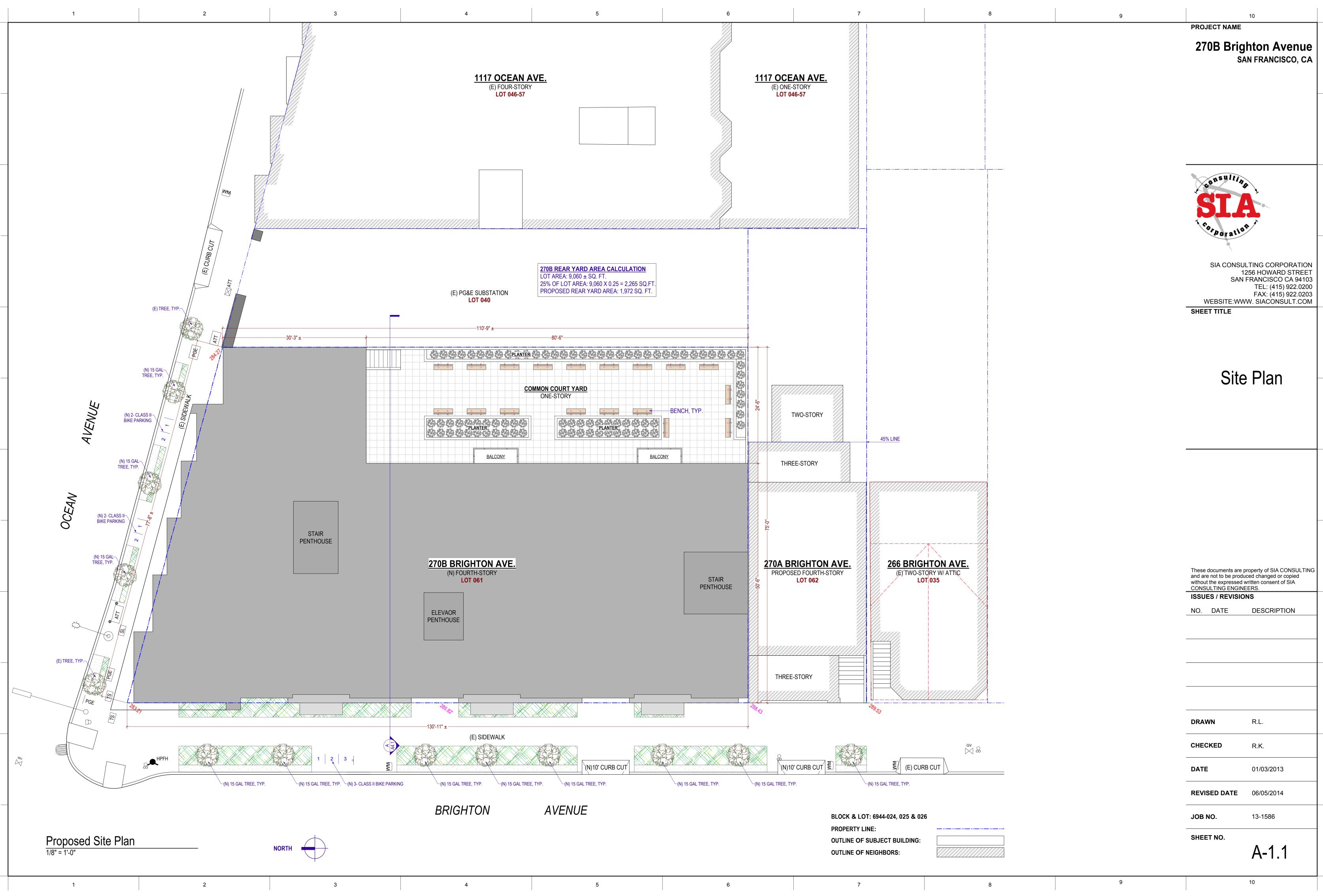
\_\_\_\_\_

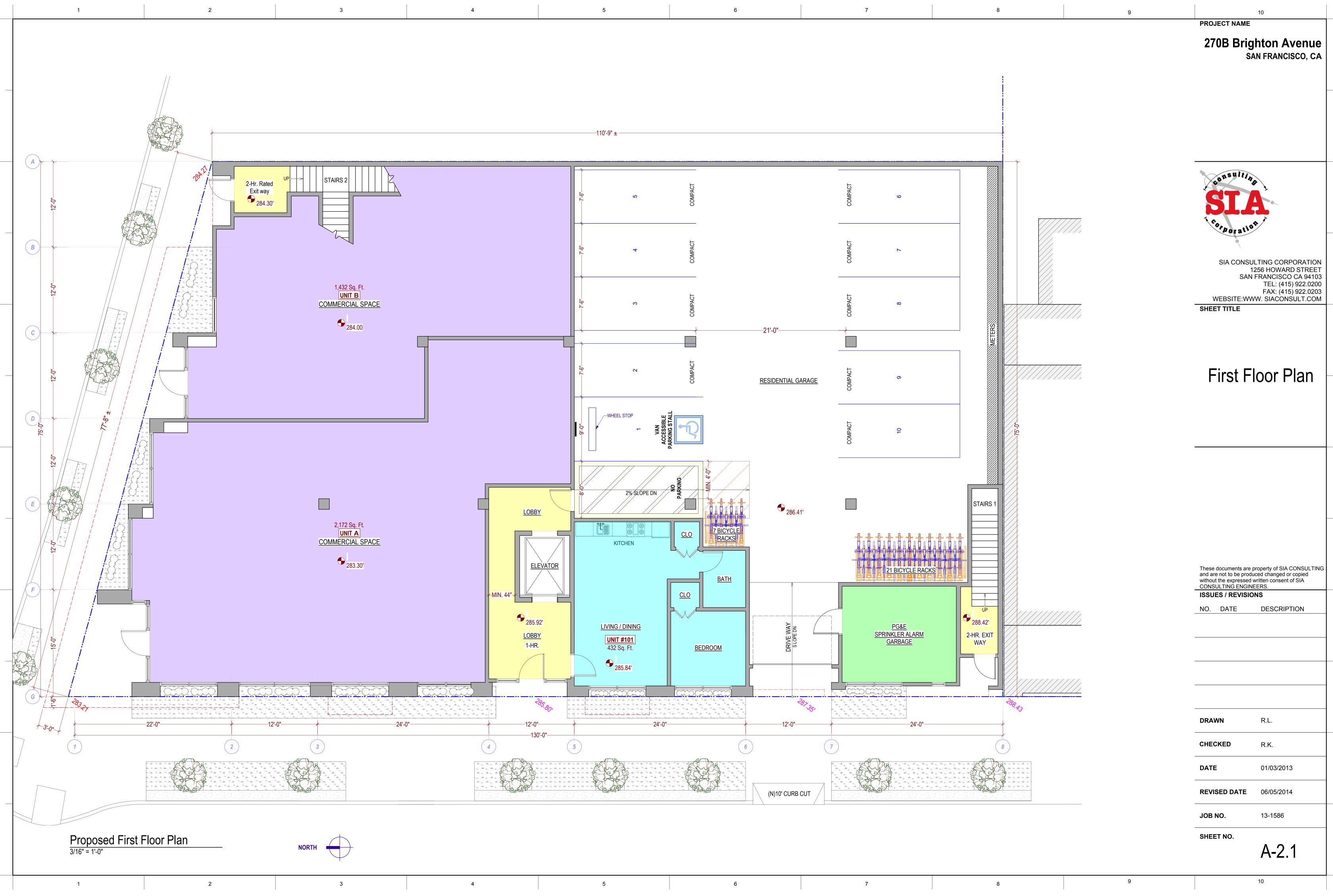
\_\_\_\_\_

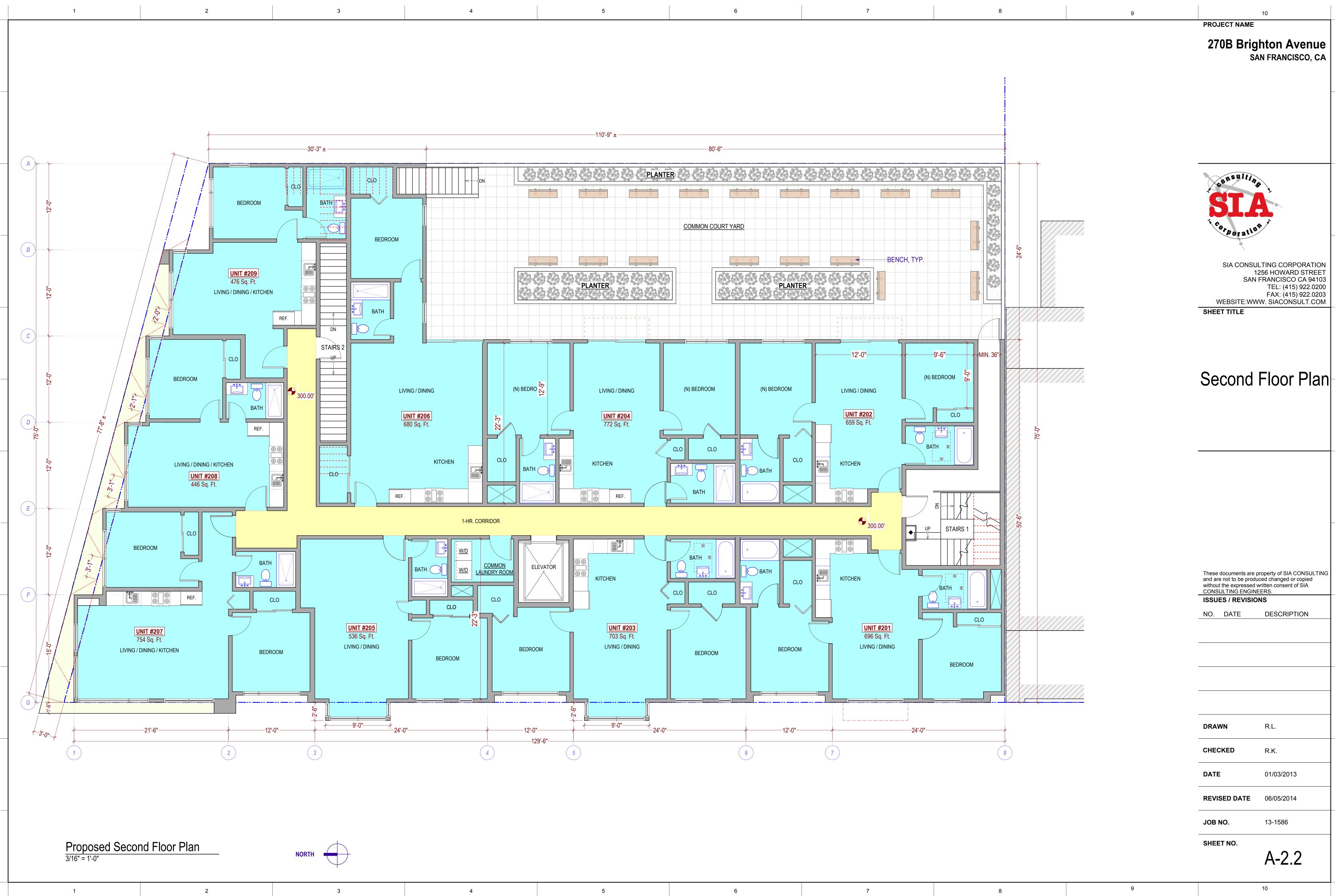
\_\_\_\_

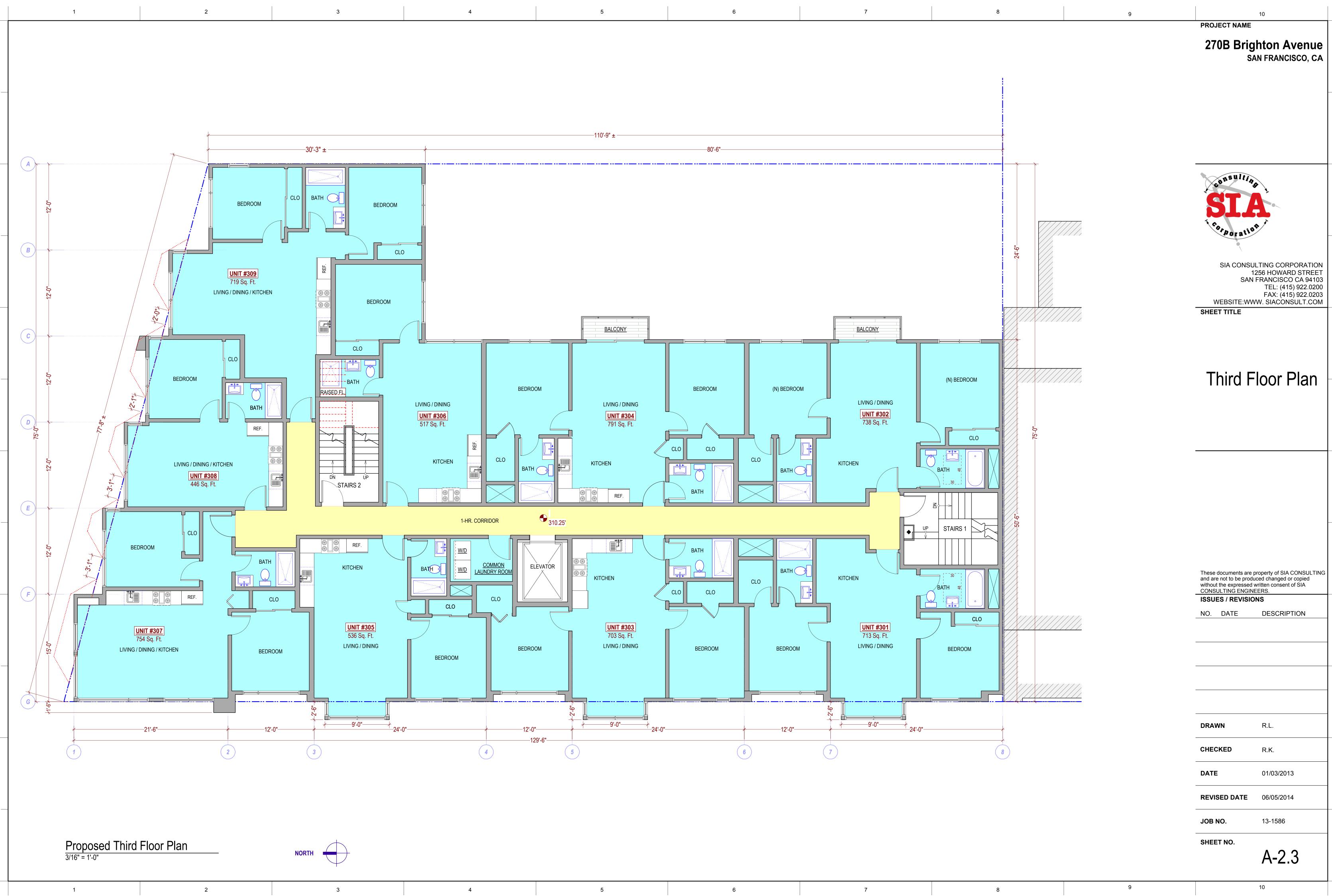
	4		5	6			7	
BUILDING CODE	2010 SAN FRANCISCO BUII	LDING CODE		AB-009	AE	3-009		
ACHMENT A	Proposed Modification or Alter - THE OPENING IS NOT BE U OR FOR REQUIRED EMERG - THE OPENIG SHALL BE FIX	JSED TO PROVIDE REQUI ENCY RESCUE.		N, REQUIRED EGRESS,	P  	LAN REVIEWER COMME	NTS:	
414					[5	ECOMMENDATIONS: signed off/dated by:]	Approve	Approve
CATION CTION rded as part of the ls of the property]	Case-by-Case Basis of Request the code and how the proposed filled for each requested modi reference, test reports, expert approved consultant be hired b Department for consideration.	l modification or alternate n fication or alternate. Attacl opinions, etc., which suppo	neets the intent of the code. A h copies of any Administrative ort this request. The Departm	separate form should be Bulletin, Code Ruling, ent may require that an	D	lan Reviewer: Division Manager: Or Director of Oldg. Inspection		
f a request for local by Fire Department	<u>PROVIDE FIXED (NON-OPER</u> <u>A FIRE SPRINKLER SYSTEM</u> <u>INSTALLED 18" OF THE OPE</u> <u>RECOMMENDED MIN. SPAC</u>	HAVING ORDINARY TEMI	PERATURE, QUICK-RESPON ' ON CENTER OR AT THE MA	<u>SE TYPE HEADS</u>		or Fire Marshal:	AL or OTHER COM	IMENTS
of Stories: 4	Requested by: P	ROJECT SPONSOR	ARCHITECT/ENGINEE	R	-			
G WITH 28	Print Name: F	Reza Khoshnevisan	Sia Tahbazof	- _ [PROFESSIONAL STAMP HERE]	-		· · · · · · · · · · · · · · · · · · ·	
A.2.8; the 2010 San 9.117; and the 2010 provisions of these opies of supporting sign or methods of	Telephone: _	415.922.0200	415.922.0200	-				
1/01/2011	1/01/2011			Page 5	Paş	ge 6		



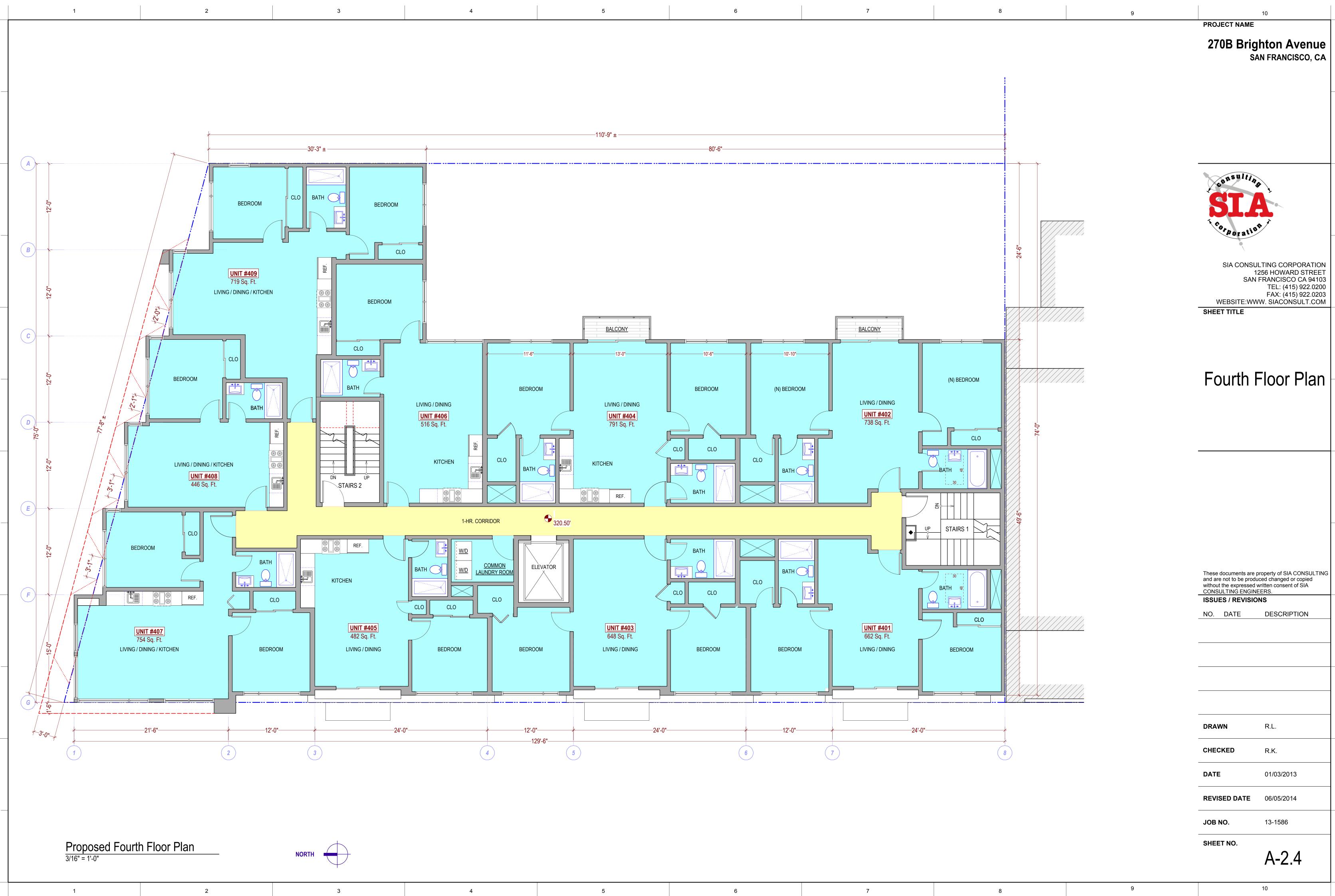


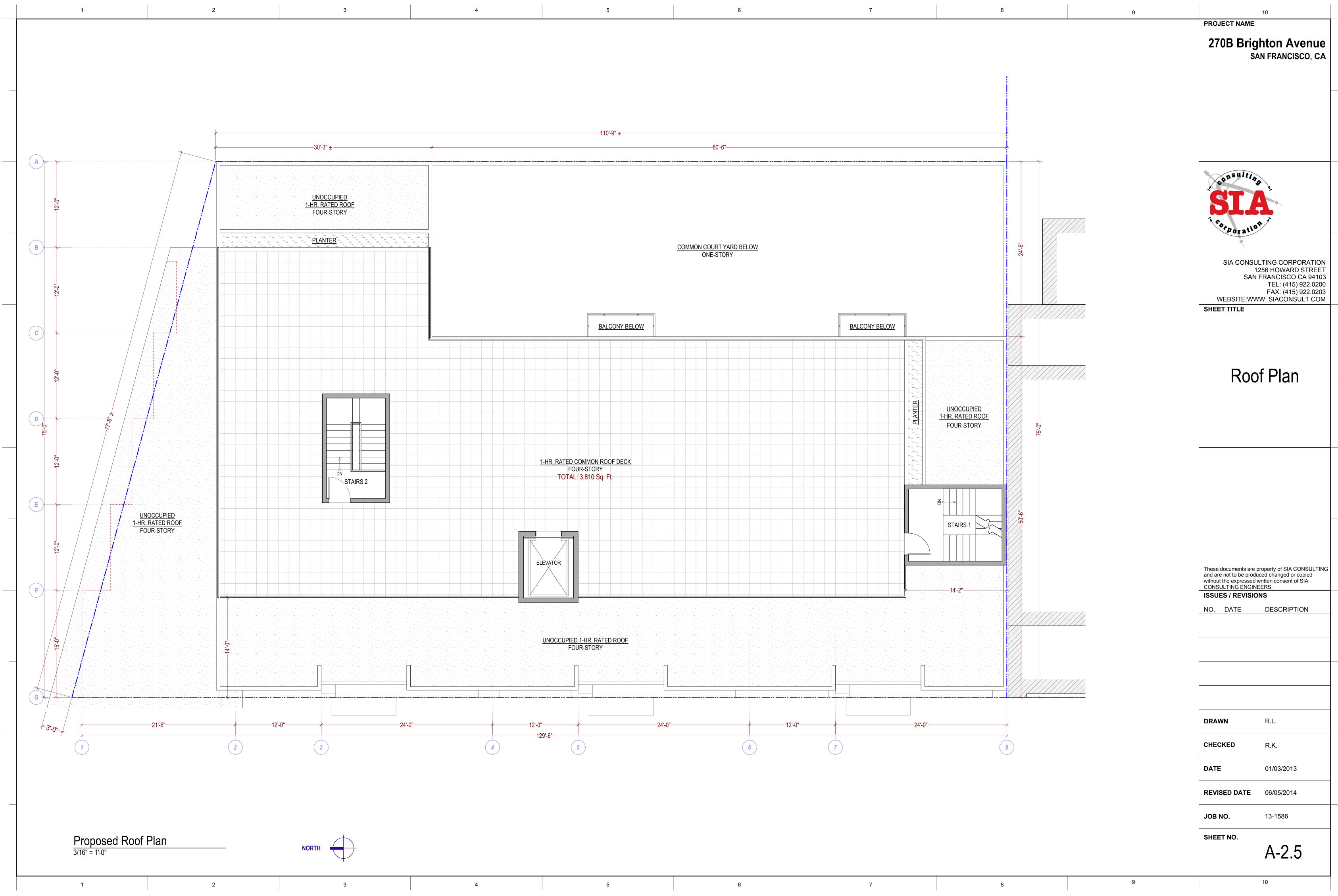






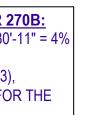
\_\_\_\_











	1	2	3	4
	1	2	3	4





