



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

Reception:
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Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 27, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	908 Capp Street	Case No.:	2013.0070V
Cross Street(s):	24TH AND 25TH STREETS	Building Permit:	2012.02.164311
Block / Lot No.:	6517/003	Applicant/Agent:	Roman Rettner
Zoning District(s):	RTO-Mission / 40-X	Telephone:	415.867.2181
Area Plan:	N/A	E-Mail:	rn4m@yahoo.com

PROJECT DESCRIPTION

The proposal is to construct a single-story rear horizontal addition on the ground floor with a roof deck and stairs on the second floor of a single-family dwelling. The new addition extends to both side property lines and is located beneath an existing second story extension that abuts one side property line and encroaches into the rear yard by 8 feet 10 inches to match the depth of the existing second story extension.

PER SECTION 134 OF THE PLANNING CODE the subject property has a required rear yard of 31 feet, 9 inches. The proposed single-story addition extends into the required rear yard as allowed under Planning Code Section 136; however, the proposal does not have the 5 foot setbacks required by this Section. The project results in a rear yard of 19 feet 9 inches and requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika Jackson** Telephone: **415-558-6363** Mail: erika.jackson@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0070V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On March 1, 2013, the Department issued the required Section 311 notification for this project (expires March 31, 2013).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

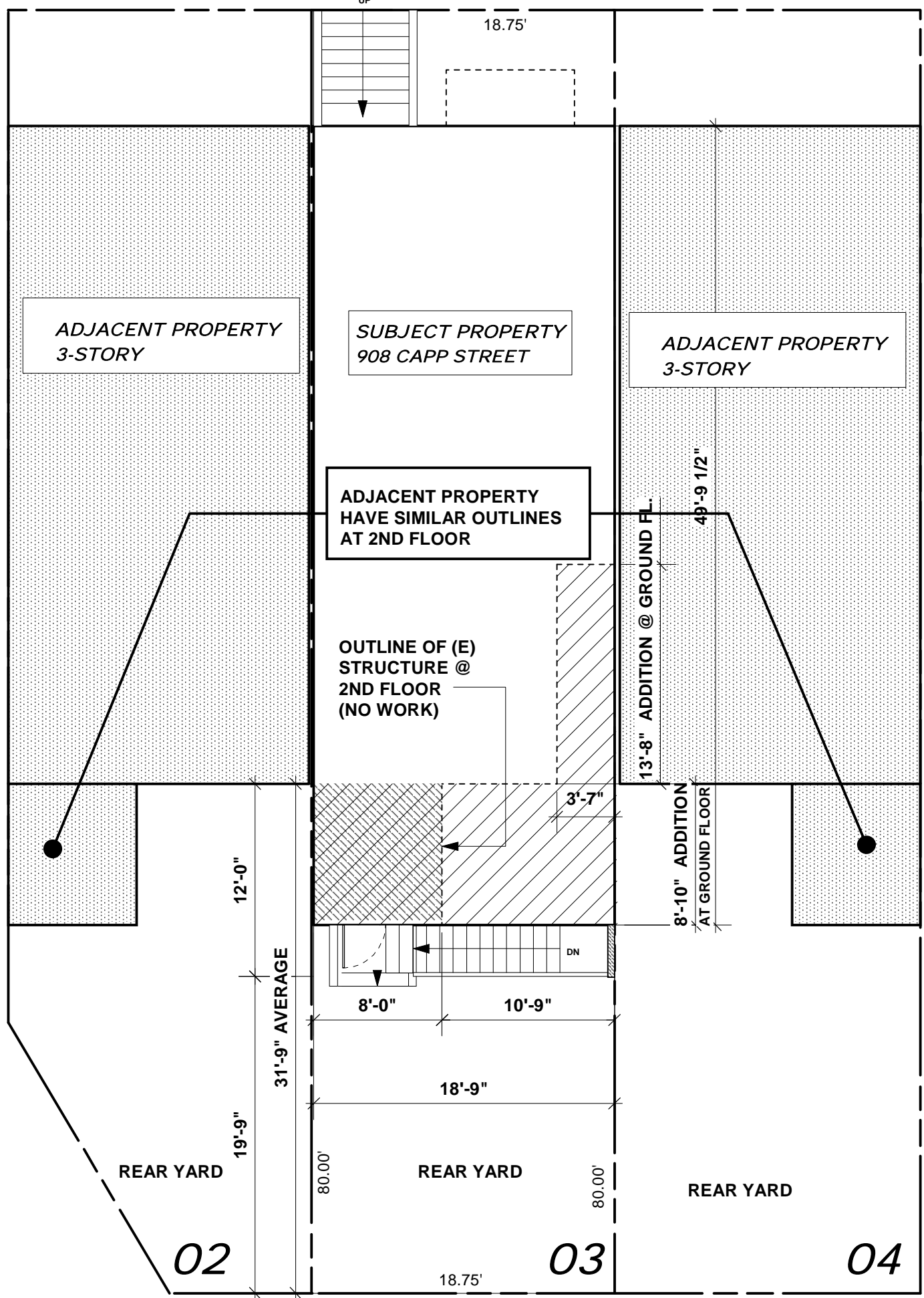
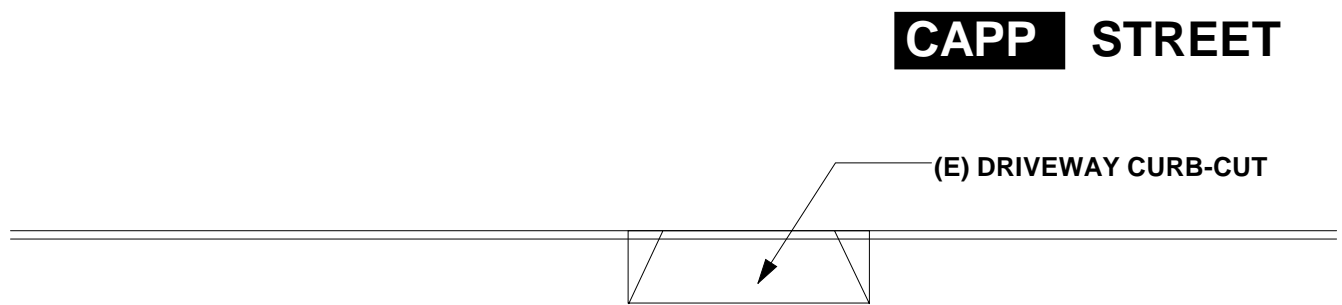
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS			
&	AND	LAV.	LAVATORY
<	ANGLE	LBS.	POUNDS
@	AT	LKR.	LOCKER
A.B.	ANCHOR BOLT	LOC.	LOCATION
ABV.	ABOVE	LTG.	LIGHTING
ACOUS.	ACOUSTICAL	MACH.	MACHINE
A.D.	AREA DRAIN	MAG.	MAGNETIC
ADJ.	ADJUSTABLE	MATL.	MATERIAL
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
AGGR.	AGGREGATE	M.B.	MACHINE BOLT
ALUM.	ALUMINUM	M.C.	MEDICINE CABINET
ALT.	ALTERNATE	M.D.F.	MEDIUM DENSITY FIBERBD.
APPROX.	APPROXIMATE	M.D.O.	MEDIUM DENSITY OVERLAY (BD)
ARCH.	ARCHITECT	M.ECH.	MECHANICAL
ARCH'L	ARCHITECTURAL	MEMB.	MEMBRANE
ASPH.	ASPHALT	MFR.	MANUFACTURER
		MH.	MANHOLE
B.	BATHROOM	MIN.	MINIMUM / MINUTE
BD.	BOARD	MISC.	MISCELLANEOUS
B.H.C.S.	BUTTON HEAD CAP SCREW	M.P.	MEASURING POINT
BITUM.	BITUMINOUS	MTD.	MOUNTED
BLOG.	BUILDING	MTL.	METAL
BLK.	BLOCKING	MUL.	MULLION
BM.	BEAM		
B.O.	BOTTOM OF	(N)	NEW
BR.	BEDROOM	N.	NORTH
BTM.	BOTTOM	NAT.	NATURAL
B.U.	BUILT UP	N.I.C.	NOT IN CONTRACT
		NO.	NUMBER
CAB.	CABINET	NOM.	NOMINAL
CARP.	CARPET	N.T.S.	NOT TO SCALE
C.B.	CATCH BASIN		
CHAN.	CHANNEL	OBS.	OBSCURE
C.H.	CEILING HEIGHT	O.C.	ON CENTER
C.I.	CAST IRON	O.D.	OUTSIDE DIAMETER (DIM.)
C.J.	CONTROL JOINT	OFF.	OFFICE
€	CENTER LINE	OPER.	OPERABLE
C.G.	CORNER GUARD	OPNG.	OPENING
CLG.	CEILING	OPP.	OPPOSITE
CLKG.	CAULKING	OPP.HD.	OPPOSITE HAND
CLO.	CLOSET		
C.O.	CLEAN OUT	PAV.	PAVING
CLR.	CLEAR	PERF.	PERFORATED
COL.	COLUMN	PERP.	PERPENDICULAR
COMP.	COMPOSITION	PL.	PLATE
CONC.	CONCRETE	P.L.	PROPERTY LINE
CONN.	CONNECTION	P.LAM.	PLASTIC LAMINATE
CONSTR.	CONSTRUCTION	PLAS.	PLASTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	PR.	PAIR
C.T.	CERAMIC TILE	PROP.	PROPERTY
CTR.	CENTER	PT.	PAINT
CTSK.	COUNTERSINK	P.T.	PRESSURE TREATED
C.W.	COLD WATER	PTD.	PAINTED
		P.V.C.	POLY VINYL CHLORIDE
DBL.	DOUBLE	Q.T.	QUARRY TILE
DEPT.	DEPARTMENT	QTY.	QUANTITY
DET.	DETAIL		
D.F.	DRINKING FOUNTAIN	R.	RISER
D.	DIAMETER	RAD.	RADIUS
DIA.	DIAMETER	R.C.	RESILIENT CHANNEL /
DIM.	DIMENSION		REINFORCED CONCRETE
DISP.	DISPENSER	R.C.P.	REFLECTED CEILING PLAN
DN.	DOWN	R.D.	ROOF DRAIN
D.O.	DOOR OPENING	REF.	REFERENCE
DR.	DOOR	REFR.	REFRIGERATOR
DS.	DOWNSPOUT	RGTR.	REGISTER
DWG(S).	DRAWING(S)	REINF.	REINFORCED
DWR.	DRAWER	REID.	REQUIRED
		REQMT (S)	REQUIREMENT(S)
(E)	EXISTING	RESIL.	RESILIENT
E.	EAST	REV.	REVISION
EA.	EACH	R.H.W.S.	ROUND HEAD WOOD SCREW
E.F.	EXHAUST FAN	R.H.M.S.	ROUND HEAD MACHINE SCREW
E.J.	EXPANSION JOINT	RM.	ROOM
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	RWD.	REDWOOD
ELEV.	ELEVATOR	R.W.L.	RAIN WATER LEADER
EMER.	EMERGENCY		
ENG.	ENGINEER	S.	SOUTH
EQ.	EQUAL	S.A.D.	SEE ARCHITECTURAL DWGS.
EQPT.	EQUIPMENT	S.C.	SOLID CORE
E.S.	EACH SIDE	SCHED.	SCHEDULE
EXT.	EXTERIOR	S.E.D.	SEE ELECTRICAL DWGS
		SECT.	SECTION
F.A.	FIRE ALARM	S.H.C.S.	SOCKET HEAD CAP SCREW
F.A.U.	FORCED AIR UNIT	SHT.	SHEET
F.B.	FLAT BAR	SHTG.	SHEATHING
F.D.	FLOOR DRAIN	SIM.	SIMILAR
F.E.	FIRE EXTINGUISHER	S.J.	SEISMIC JOINT
F.E.C.	FIRE EXTINGUISHER CABINET	S.L.D.	SEE LANDSCAPE DWGS.
F.C.O.	FLOOR CLEAN OUT	S.M.	SEE MECHANICAL DWGS.
F.F.	FINISH FLOOR	SPEC.	SPECIFICATION
F.H.C.S.	FLAT HEAD CAP SCREW	SO.	SQUARE
F.H.M.S.	FLAT HEAD MACHINE SCREW	S.S.D.	SEE STRUCTURAL DWGS.
F.H.W.S.	FLAT HEAD WOOD SCREW	S.S.	STAINLESS STEEL
FIN.	FINISH	STA.	STATION
FIXT.	FIXTURE	STL.	STEEL
FLR.	FLOOR	STD.	STANDARD
FLASH.	FLASHING	STOR.	STORAGE
FLUOR.	FLUORESCENT	STRUC.	STRUCTURAL
FND.	FOUNDATION	SUSP.	SUSPENDED
F.O.	FACE OF		
F.O.C.	FACE OF CONCRETE	T.	TREAD
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.M.	FACE OF MASONRY	TEMP.	TEMPERED
F.O.S.	FACE OF STUDS	T & G	TONGUE AND GROOVE
FPRF.	FIREPROOF	THK.	THICK
F.S.	FIRE SPRINKLER	THRU.	THROUGH
F.T.	FIRE TREATED	TN.	TOENAIL
FT.	FOOT OR FEET	T.O.	TOP OF
FTG.	FOOTING	T.O.P.	TOP OF PLATE
FR.	FRAME	T.O.S.	TOP OF SLAB / SHEATHING
		T.V.	TELEVISION
GA.	GAUGE	T.O.W.	TOP OF WALL
GALV.	GALVANIZED	TYP.	TYPICAL
G.B.	GRAB BAR		
G.F.R.C.	GLASS FIBER REINFORCED CONCRETE	UNF.	UNFINISHED
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
GND.	GROUND	UR.	URINAL
GR.	GRADE		
G.S.M.	GALVANIZED SHEET METAL	VAR.	VARIABLE
GYP BD.	GYPSUM BOARD	V.C.T.	VINYL COMPOSITION TILE
		VER.	VERIFY
H.B.	HOSE BIB	VERT.	VERTICAL
H.C.	HOLLOW CORE	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
H.D.G.	HOT DIPPED GALVANIZED	V.I.F.	VERIFY IN FIELD
HDR.	HEADER		
HWDD.	HARDWOOD	W.	WEST
HGT.	HEIGHT	WI	WITH
H.H.B.	HEX HEAD BOLT	W.C.	WATER CLOSET
H.H.C.S.	HEX HEAD CAP SCREW	WD.	WOOD
H.M.	HOLLOW METAL	WID	WASHER / DRYER
HORIZ.	HORIZONTAL	WDW.	WINDOW
H.R.	HAND RAIL	W.G.	WIRE GLASS
HR.	HOUR	W.H.	WATER HEATER
H.W.	HOT WATER	W.M.	WALL MOUNT
		W.O.	WHERE OCCURS
I.D.	INSIDE DIAMETER	W/O	WITHOUT
INSUL.	INSULATION	WP.	WATERPROOF(ING)
INT.	INTERIOR	W.R.	WATER RESISTANT
INV.	INVERT	WSCT.	WAINSCOT
		WT.	WEIGHT
JAN.	JANITOR	W.W.F.	WIRE WELDED FABRIC
JT.	JOINT	W.W.M.	WOVEN WIRE MESH
KIT.	KITCHEN		
LAM.	LAMINATE		

908 CAPP STREET



SITE PLAN- EXISTING/PROPOSED

SCALE: 1/8" = 1'-0"

(E) AREA @ 2ND FLOOR
(VARIANCE)

ADDITION @ GROUND FLOOR
(SCOPE OF PERMIT)



REAR ELEVATION

N.T.S.



REAR ELEVATION

N.T.S.

120 MANOR DRIVE SAN FRANCISCO, CA 94127 TL. 415.867.2181 FX. 415.587.8025 RN4M@YAHOO.COM

PROJECT DATA

PROJECT DESCRIPTION:

HORIZONTAL ADDITION AT GROUND FLOOR: EXTEND (E) GARAGE
2ND FLOOR: (N) ROOF DECK AND STAIR TO REAR YARD

PROJECT DATA:

OCCUPANCY TYPE: R3 (RESIDENCE)
CONSTRUCTION TYPE: TYPE V, NON-RATED, NON-SPRINKLERED
ZONING: RTO
BLOCK: 1517
LOT: 003
CENSUS TRACT:
CENSUS BLOCK:
LOT AREA: 1,498.00 S.F.

SHEET INDEX

A1.0 SITE PLAN
A1.1 GENERAL NOTES
A2.0 FLOOR PLANS
A3.0 ELEVATIONS
A3.1 ELEVATIONS

OWNER: MARK SCOTT
908 CAPP STREET
SAN FRANCISCO, CA 94110

DESIGNER: EDIT LLC
120 MANOR DRIVE
SAN FRANCISCO, CA 94127
TL. 415.867.2181
FX. 415.587.8025

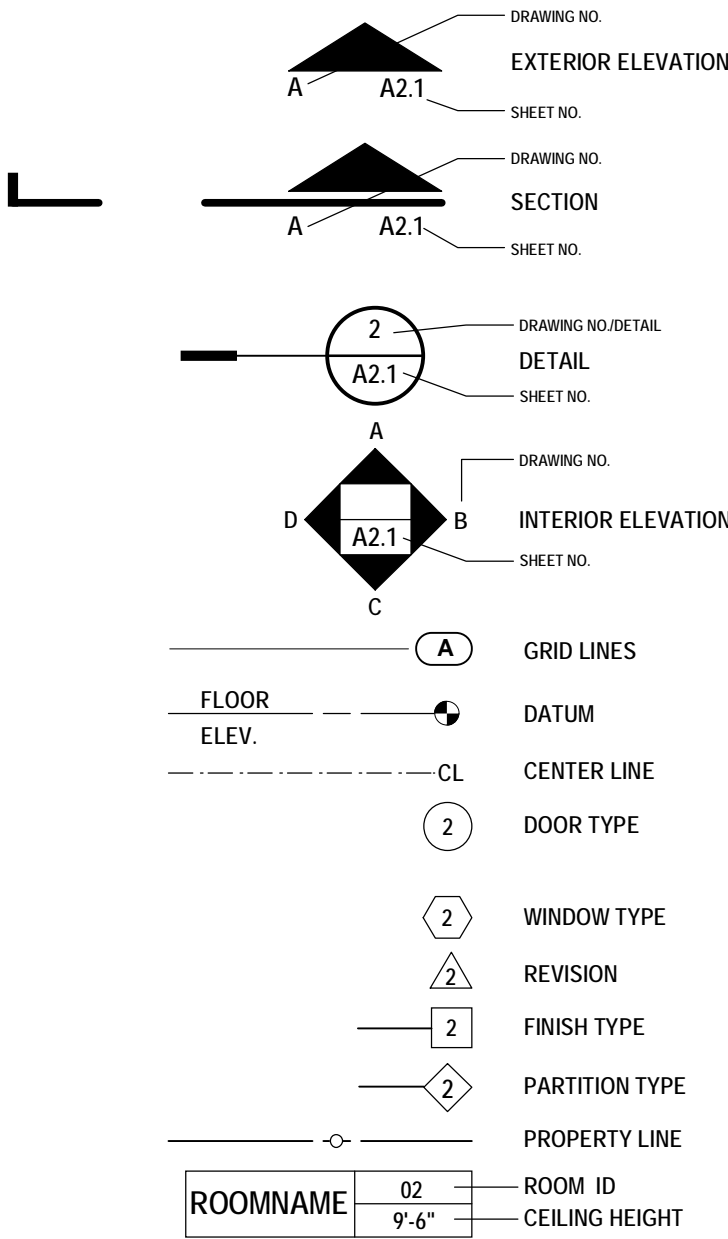
ROMAN RETTNER
E-MAIL: RN4M@HOTMAIL.COM

STRUCTURAL
CONSULTANT: NOT SELECTED

BUILDING
DEPARTMENT: CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
1660 MISSION STREET
SAN FRANCISCO, CA 94103
TL. 415.558.6649
FX. 415.558.6041

PLANNING
DEPARTMENT: CITY AND COUNTY OF SAN FRANCISCO
PLANNING DEPARTMENT
1650 MISSION STREET
SAN FRANCISCO, CA 94103

SYMBOLS



SCOTT RESIDENCE
908 CAPP STREET
SAN FRANCISCO, CALIF.
INTERIOR REMODEL AND HORIZONTAL EXTENSION

SITE PLAN

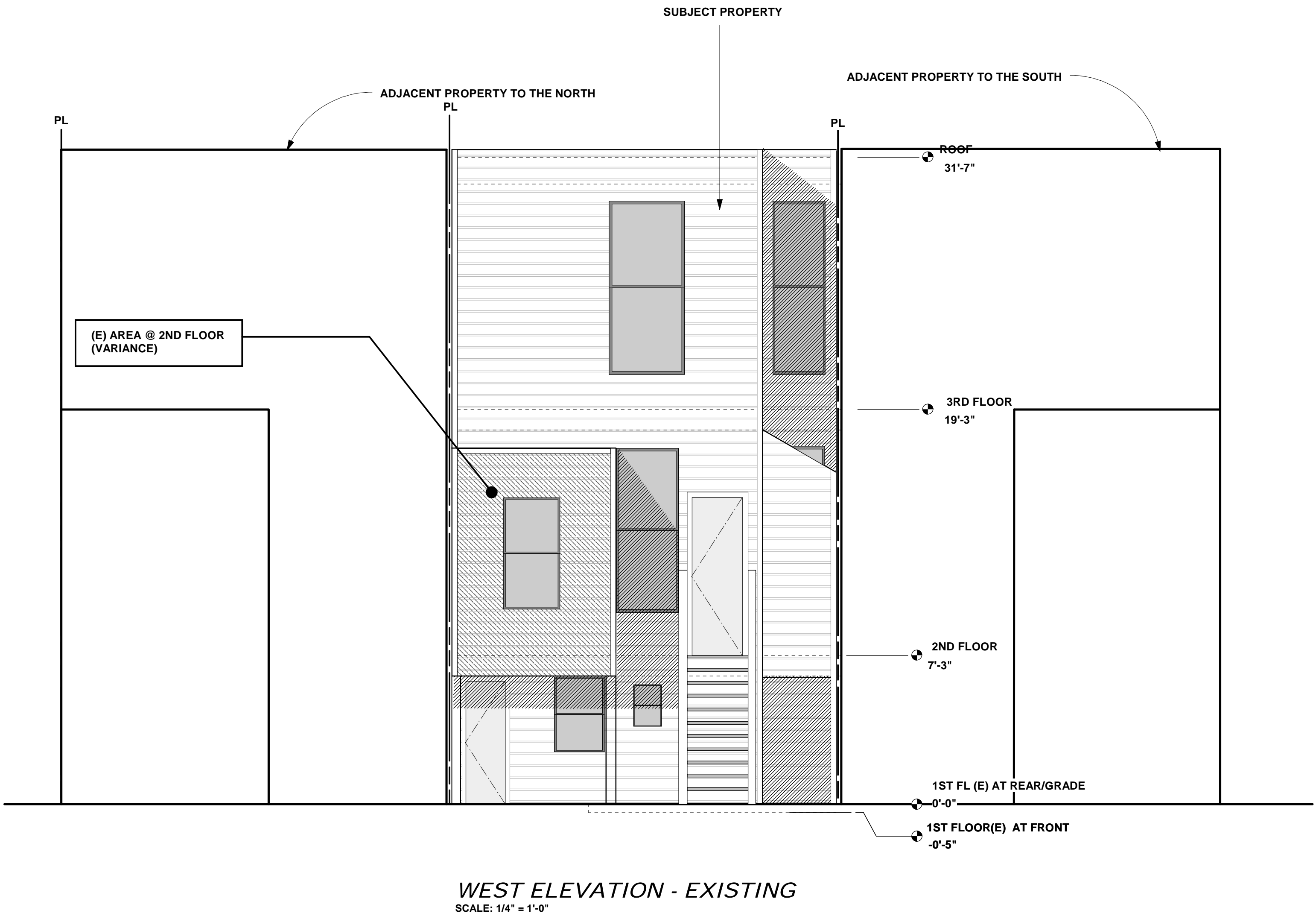
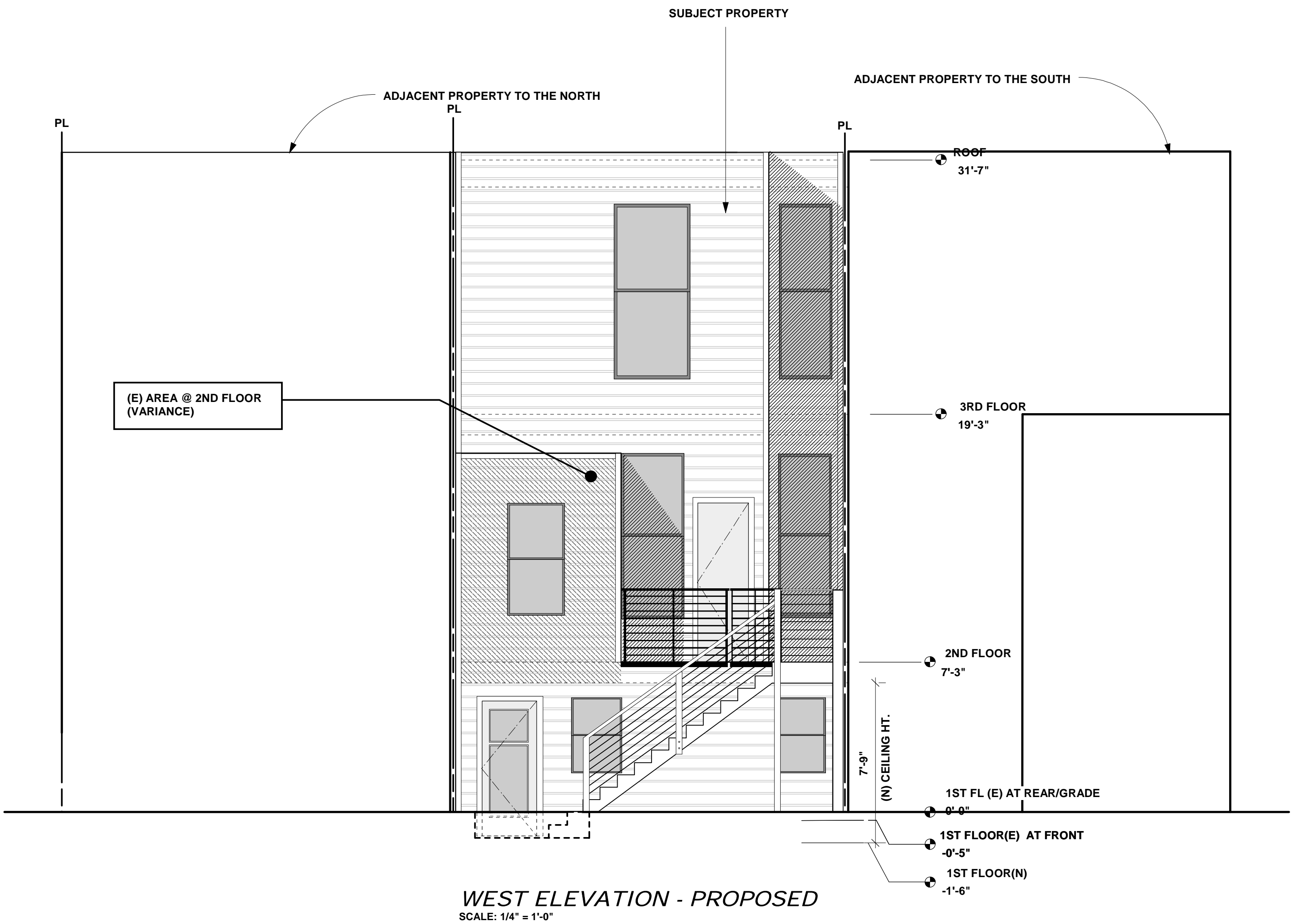
REVISIONS

SUBMITTAL-01-18-12	DATE
VARIANCE SUBMITTAL-01-07-13	DATE

JANUARY 10, 2012
DATE
RR
PROJECT NO. 0026
SCALE
AS NOTED

SHEET

A1.0



(E) AREA @ 2ND FLOOR (VARIANCE)

EDT

BLOCK/LOT 6517/003

PROJECT

SCOTT RESIDENCE
908 CAPP STREET
SAN FRANCISCO, CALIF.
INTERIOR REMODEL AND HORIZONTAL EXTENSION

ELEVATIONS

REVISIONS	TITLE
SUBMITTAL-01-18-12	
VARIANCE	
SUBMITTAL-01-07-13	

JANUARY 10, 2012

RR 0226

AS NOTED

DATE

DRAWN BY

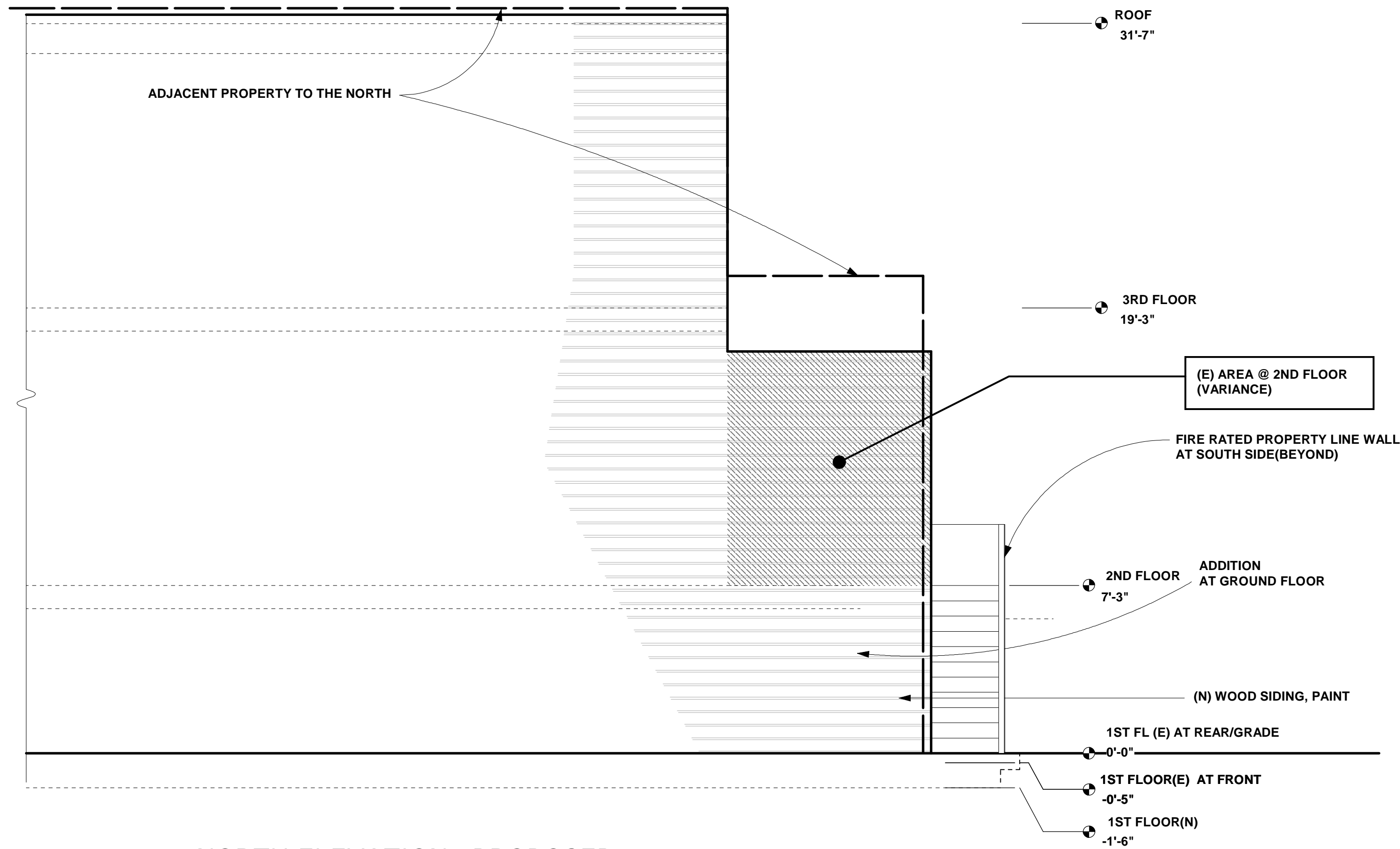
PROJECT NO

SCALE

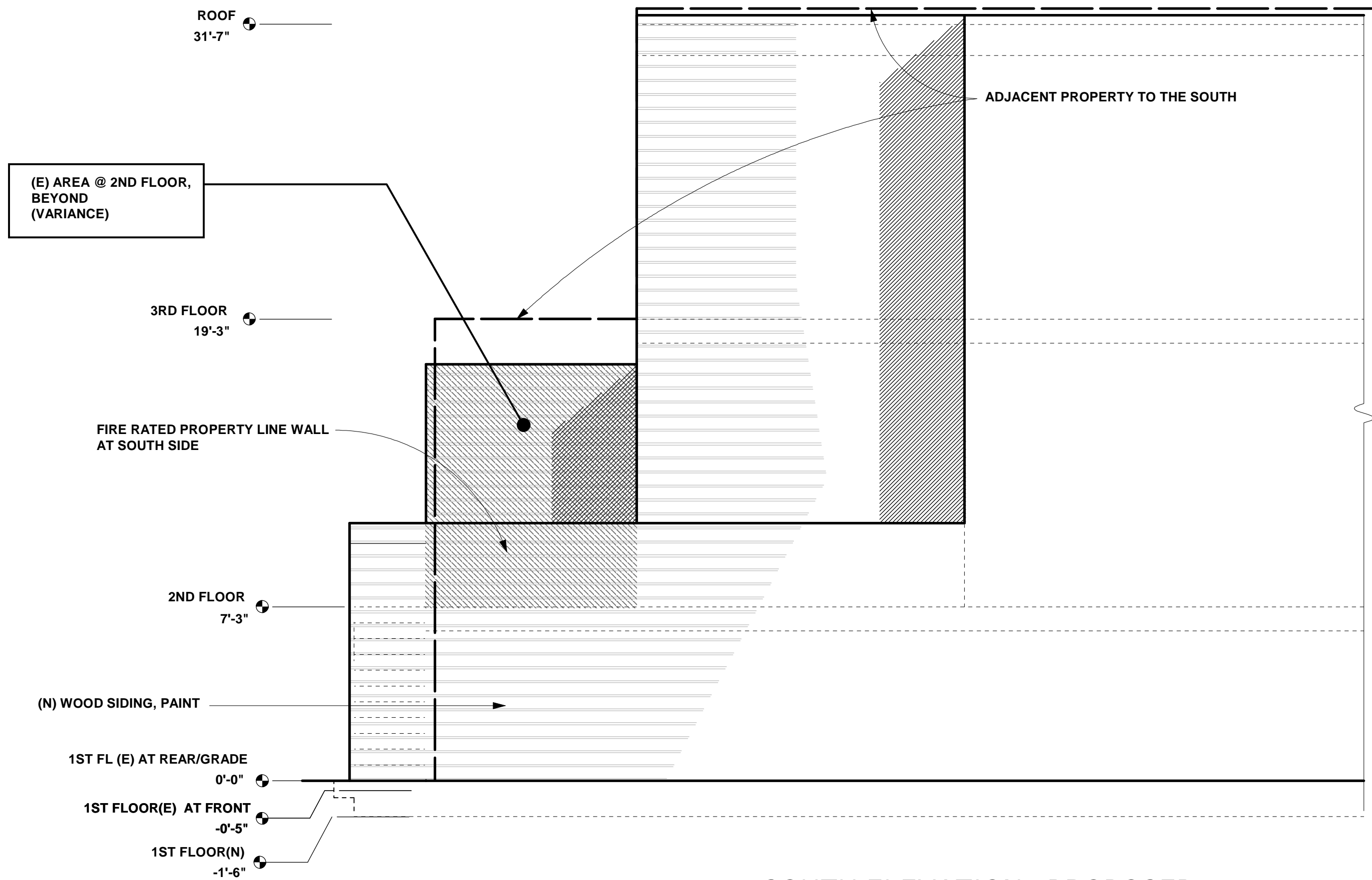
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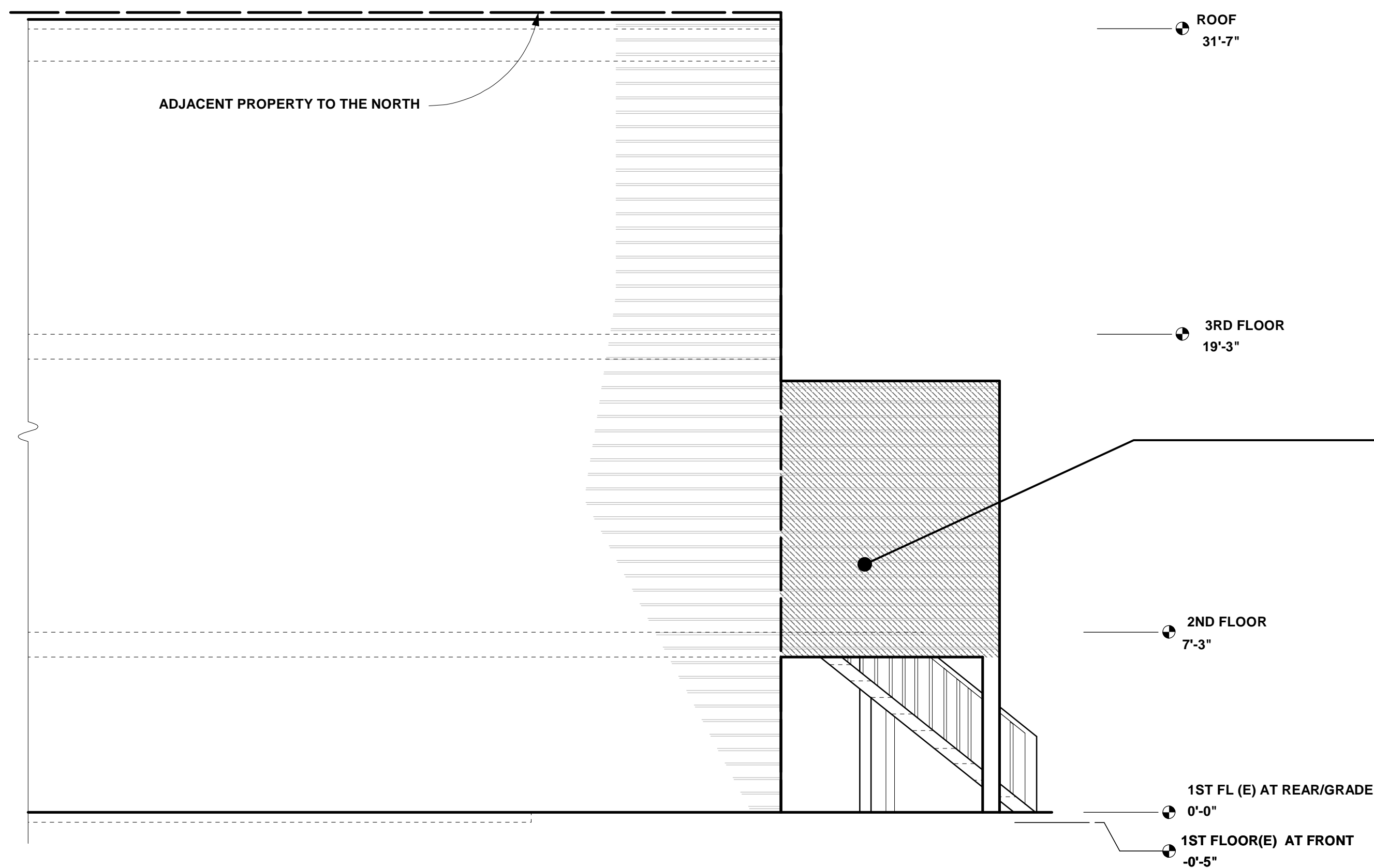
A3.0



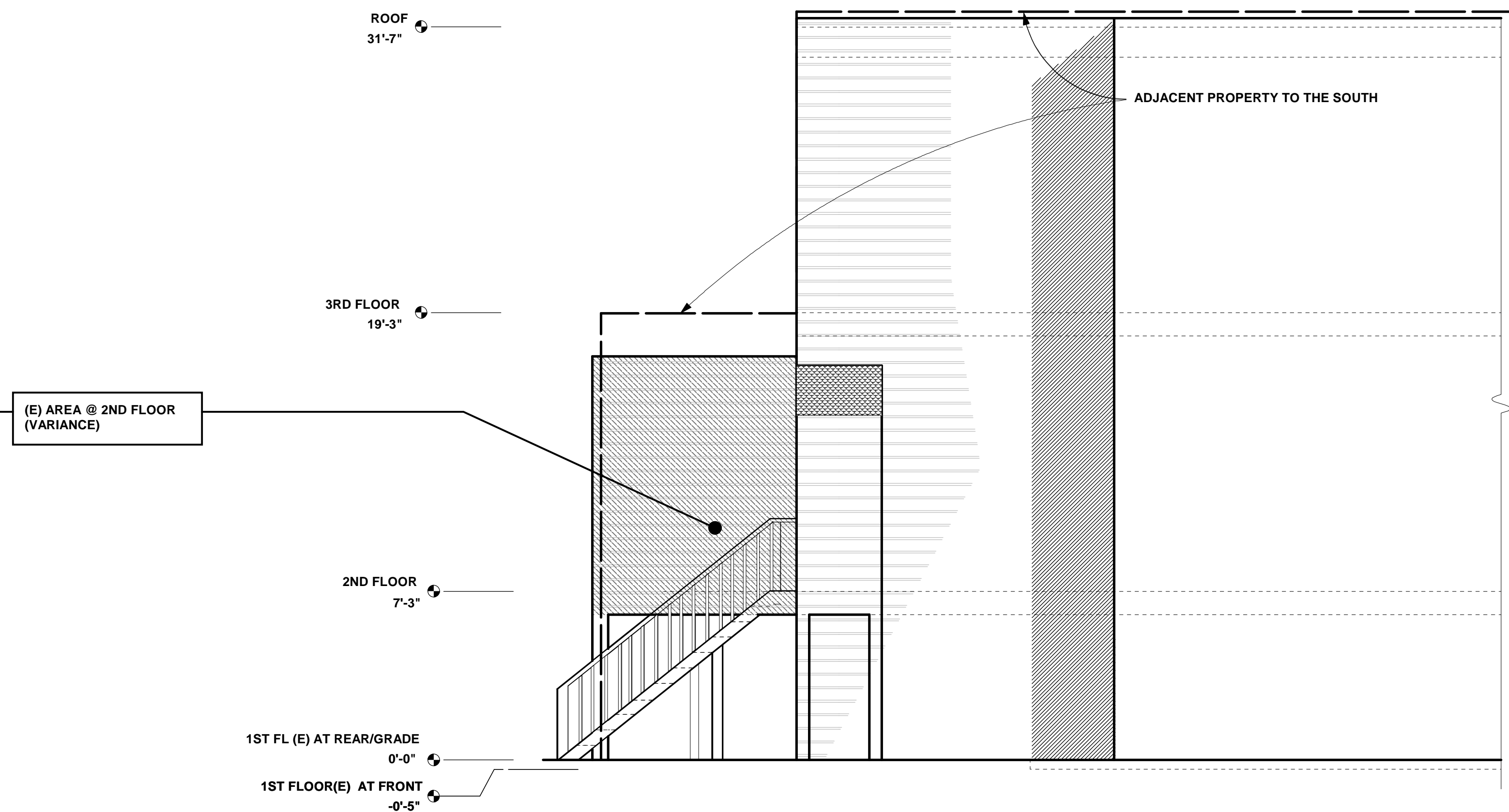
NORTH ELEVATION - PROPOSED



SOUTH ELEVATION - PROPOSED

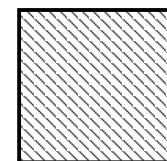


NORTH ELEVATION - EXISTING



SOUTH ELEVATION - EXISTING

(E) AREA @ 2ND FLOOR
(VARIANCE)



EDT
BLOCK/LOT 6517/003

PROJECT
SCOTT RESIDENCE
908 CAPP STREET
SAN FRANCISCO, CALIF.
INTERIOR REMODEL AND HORIZONTAL EXTENSION
ELEVATIONS

REVISIONS	TITLE
SUBMITTAL-01-18-12	
VARIANCE	
SUBMITTAL-01-07-13	

DATE JANUARY 10, 2012
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PROJECT NO 0026
SCALE AS NOTED

SHEET
A3.1