



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 27, 2013**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1599 Shrader Street	Case No.: 2013.0057V
Cross Street(s): 17th Street & Belgrave Avenue	Building Permit: 2012.12.11.5965
Block /Lot No.: 1289 / 067	Applicant (agent): Steve Swearengen
Zoning District(s): RH-1(D) / 40-X	Telephone: (510) 531-7371
Area Plan: N/A	E-Mail: STEVE@THEARCHITECTSOFFICE.COM

PROJECT DESCRIPTION

The proposal is to construct a one-story horizontal addition (approximately 10'-0" wide by 16'-6" deep by 9'-6" above grade) at the rear of the three-story, single-family dwelling. The proposed horizontal addition, located on the northwest corner of the building on a laterally-sloping lot, will be set back approximately 11' from the north side property line and 4' from the west rear property line. The proposal will include construction of a new rear deck above the proposed horizontal addition on the second (main) level and replacement of the existing rear deck on the third (upper) level. The new rear decks will include translucent privacy screen panels on the west side elevation. An infill addition (approximately 5' wide by 2' deep) proposed at the northeast corner of the first (lower) level is not a subject of this variance.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 15' for the subject property. A portion of the proposed one-story horizontal addition with deck above on the second (main) level will extend approximately 11' into the required rear yard and a portion of the replacement deck on the third (upper) level will extend approximately 2'-6" into the required rear yard.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.0057V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

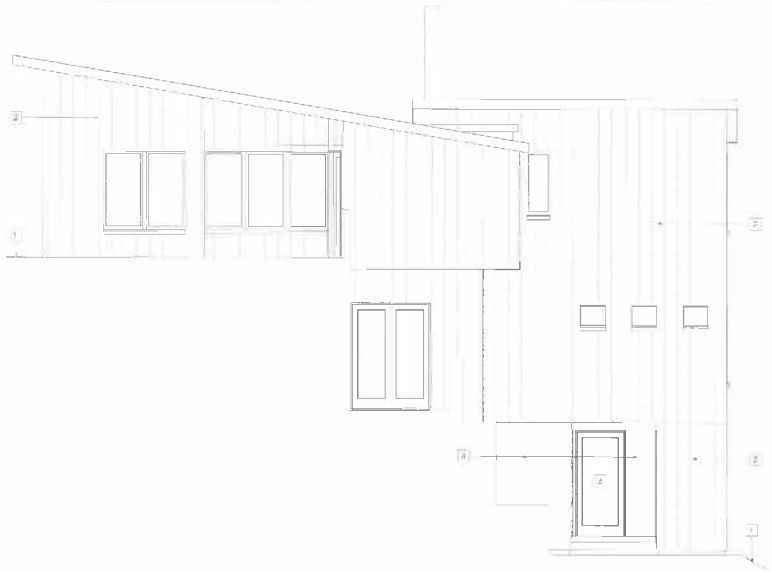
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

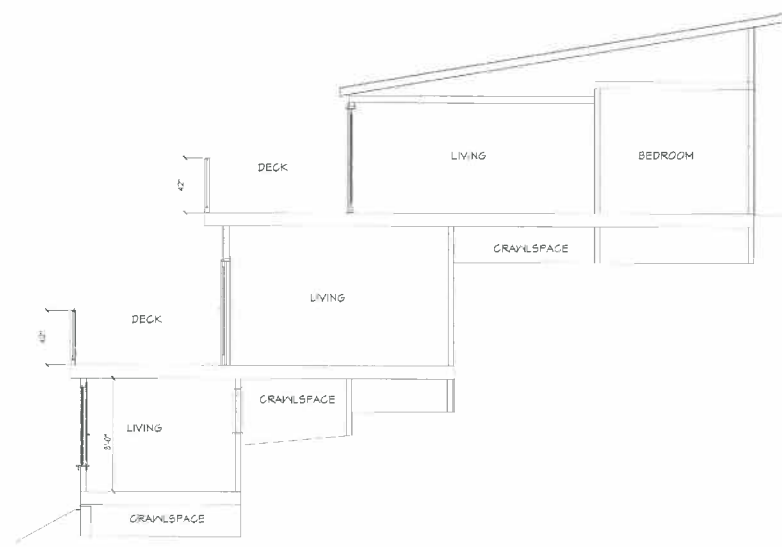
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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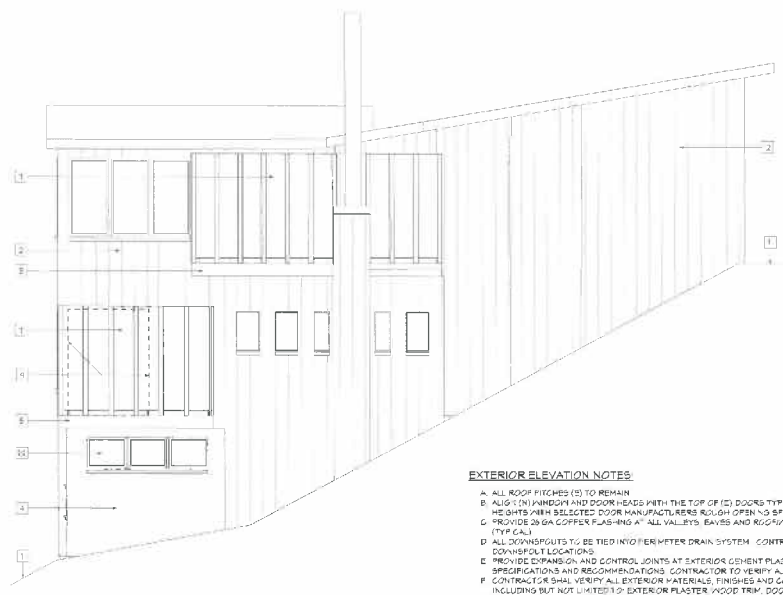
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 SECTION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- 1 (E) FINISHED GRADE
- 2 (E) PAINTED PLYWOOD SIDING IN VERTICAL 1/2 ROUND BATTENS - TO REMAIN
- 3 (N) PAINTED PLYWOOD SIDING IN VERTICAL 1/2 ROUND BATTENS - TO MATCH (E)
- 4 CEMENT PLASTER SIDING - COLOR TO BE SELECTED BY OWNER
- 5 2X VERTICAL TRIMMING TO MATCH (E)
- 6 OPEN GUARDRAIL SYSTEM - SEE PLAN FOR ADDITIONAL INFO
- 7 CLOSED GUARDRAIL SYSTEM WITH TRANSLUCENT INFILL PANELS - SEE PLAN FOR ADDITIONAL INFO
- 8 (N) ENTRY DOOR - DUAL GLAZED WOOD - PAINTED
- 9 (N) DUAL GLAZED DOOR (BEYOND) - PAINTED - LOCATION AT POSITION OF FORMER WINDOW - SEE PLAN
- 10 (N) DUAL GLAZED GLASS WOOD WINDOWS TO MATCH EXISTING
- 11 (N) DUAL GLAZED PATIO SLIDER DOOR
- 12 (N) DUAL GLAZED PATIO SLIDER REPLACEMENT DOOR IN (E) OPENING

EXTERIOR ELEVATION NOTES

- A. ALL ROOF PITCHES (S) TO REMAIN
- B. ALSO (N) WINDOWS AND DOOR HEADS WITH THE TOP OF (E) DOORS TYPICAL - VERIFY ACTUAL FRAME HEIGHTS WITH SELECTED DOOR MANUFACTURERS' ROUGH OPENING SPECIFICATIONS
- C. PROVIDE 26 GA COPPER FLASHING AT ALL VALLEYS, EAVES AND ROOF/WALL INTERSECTIONS TYPICAL
- D. ALL DOWNSPOUTS TO BE TIED INTO PERMITTER DRAIN SYSTEM - CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS
- E. PROVIDE EXPANSION AND CONTROL JOINTS AT EXTERIOR CEMENT PLASTER PER MANUFACTURERS' SPECIFICATIONS AND RECOMMENDATIONS - CONTRACTOR TO VERIFY ALL LOCATIONS
- F. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER INCLUDING BUT NOT LIMITED TO: EXTERIOR PLASTER, WOOD TRIM, DOORS, WINDOWS, DOWNSPOUTS, GUTTERS AND ROOFING

**Architects
office**
303
5955 Cavin Drive, Oakland, CA 94611 - TEL 510.531.7271

PROJECT: ADDITION for the
WILLEY RESIDENCE
1599 SHRADER ST
SAN FRANCISCO

PLANNING PERMIT APPLICATION
SUBMIT TITLE
EXTERIOR ELEVATIONS
BUILDING SECTION

PROJECT #:
DATE:
SCALE: AS NOTED
SHEET

OF **A3.0**

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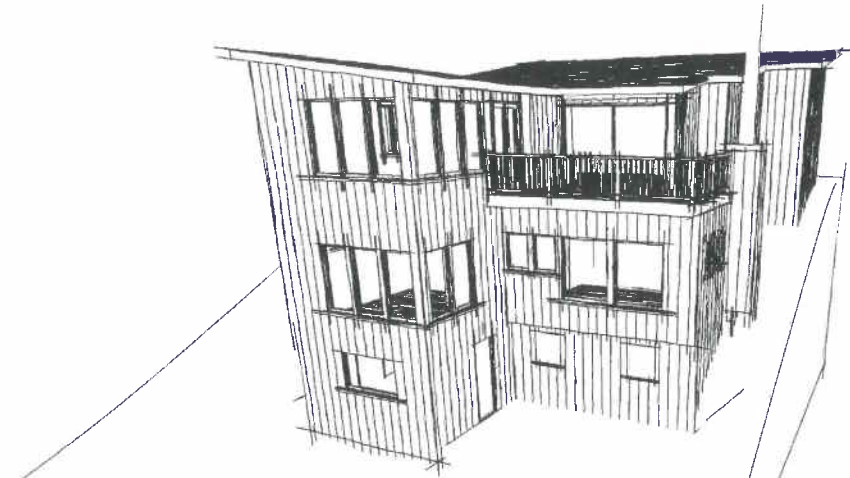
EXISTING CONDITIONS EXTERIOR - VIEW FROM NORTH



EXISTING CONDITIONS EXTERIOR - VIEW FROM NORTHWEST



EXISTING CONDITIONS EXTERIOR - VIEW FROM NORTHEAST (TOWARD ENTRY)



EXISTING CONDITIONS EXTERIOR - VIEW FROM NORTHWEST (OVERALL)

the Architects office

5955 Girvin Drive, Oakland, CA 94611 • TEL 510.531.7271



EXTERIORS
PLANNING APPLICATION
11/20/12

PROJECT
ADDITION for the
WILLEY RESIDENCE
1599 SHRADER ST
SAN FRANCISCO

PLANNING PERMIT APPLICATION
SHEET TITLE

RENDER VIEWS -
EXISTING CONDITIONS

PROJECT #
DATE
DRAWN
SCALE AS NOTED
SHEET

A4.0

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PROPOSED CONDITIONS EXTERIOR - VIEW FROM NORTH



PROPOSED CONDITIONS EXTERIOR - VIEW FROM NORTH-NORTHWEST



PROPOSED CONDITIONS EXTERIOR - VIEW FROM NORTHEAST (TOWARD ENTRY)



PROPOSED CONDITIONS EXTERIOR - VIEW FROM NORTH-NORTHWEST (RECREATED FROM H. J. GORDON'S DINING ROOM)

the Architects Office

5955 Garin Drive, Oakland, CA 94611 TEL 510.531.7271



REVISIONS
PLANNING APPLICATION

PROJECT
ADDITION for the
WILLEY RESIDENCE
1599 SHRADER ST
SAN FRANCISCO

PLANNING PERMIT APPLICATION

SHEET TITLE
RENDER VIEWS -
PROPOSED CONDITIONS

PROJECT #
DATE
SCALE AS NOTED
SHEET

A4.1