MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

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Planning Information: **415.558.6377**



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, March 27, 2013

Time: **Beginning at 9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Rear Yard)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION APPLICATION INFORMATION Project Address: 1599 Shrader Street Case No.: 2013.0057V

Cross Street(s): 17th Street & Belgrave Avenue

Block /Lot No.: 1289 / 067 Zoning District(s): RH-1(D) / 40-X

Area Plan: N/A

Case No.: 2013.0057V
Building Permit: 2012.12.11.5965
Applicant (agent): Steve Swearengen
Telephone: (510) 531-7371

E-Mail: steve@thearchitectsoffice.com

PROJECT DESCRIPTION

The proposal is to construct a one-story horizontal addition (approximately 10'-0" wide by 16'-6" deep by 9'-6" above grade) at the rear of the three-story, single-family dwelling. The proposed horizontal addition, located on the northwest corner of the building on a laterally-sloping lot, will be set back approximately 11' from the north side property line and 4' from the west rear property line. The proposal will include construction of a new rear deck above the proposed horizontal addition on the second (main) level and replacement of the existing rear deck on the third (upper) level. The new rear decks will include translucent privacy screen panels on the west side elevation. An infill addition (approximately 5' wide by 2' deep) proposed at the northeast corner of the first (lower) level is not a subject of this variance.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 15' for the subject property. A portion of the proposed one-story horizontal addition with deck above on the second (main) level will extend approximately 11' into the required rear yard and a portion of the replacement deck on the third (upper) level will extend approximately 2'-6" into the required rear yard.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Sharon M. Young Telephone: (415) 558-6346 E-Mail: sharon.m.young@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2013.0057V.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

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PROPOSED CONDITIONS EXTERIOR I VIEW FROM NORTHWEST (NEIGHBOR'S DINING ROOM

WILLEY RESIDENCE 1599 SHRADER STREET SAN FRANCISCO, CA

BLOCK:1289 LOT:67

ADDITION & ROOF DECK



PROJECT DATA:

2010 CALIFORNIA REFIDENTIAL CODE (CRC)
2010 CALIFORNIA BUILDING CODE (CBS);
2010 CALIFORNIA BUILDING CODE (CBS);
2010 CALIFORNIA RESER BUILDING STANDARD CODE (CG BSC)
2010 CALIFORNIA MECHANICAL CODE (CMC)
2010 CALIFORNIA PUMBRIS CODE (CMC)
2010 CALIFORNIA ELECTRICAL CODE (CMC)
2010 CALIFORNIA ELECTRICAL CODE (CMC) 8-65D ON THE 2002 NEC

2010 GALIFORNIA FIRE CODE (CFC)

PROJECT DIRECTORY:

13.0057



Architects

WILLBY RESIDENCE 1599 SHRADER ST SAN PRANCISCO ADDITION for the

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PLANNING PERMIT APPLICATION

2 FLOT PLAN & PARCEL INFORMATION

ABBREVIATIONS DRAMING TITLE AL TOURS OF Names
Prouse Bell III
Prouse Bell III
Prouse Bell III
Prouse Bell III
Above "Rinned Cines
Bell III
Bell III KEYNOTE Number DOOR ID Number MIRDOM ID Number ELECTRICAL IO MISC CALLOUT Number DETAIL/ELEVATION IS EXTERIOR SLEVATION Directors of view Elevation number Sheel number INTERIOR ELEVATION Elevation number Direction of view Street number BUILDING/MALL SECTION Direction of view Section 1D Sheet number DETAIL CALLOUT Detail ID Sheet Number WALL TYPE SEE DATUMICONTROL POIN PROPERTY LINE FAGE OF FRAMING DIMENSION Similar
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NOTE NOT ALL LEGENDS AND SYMBOLS SHOWN HERE ARE USED

GENERAL NOTES

1 CONSTRUCTION MORKMANSHIP AND MATERIALS BHALL CONFORM TO NOTES IN THIS SET OF CONSTRUCTION DOCUMENTS, ALL APPLICABLE LOCAL CODES AND ORDINANCES AS NOTED ELSEWHERE IN

2. IN THE SVENT OF GONELICT BETWEEN PERTINENT GODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGERT PROVISIONS SHALL GOVERN

9. THE CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL FREPARE A SCHEDULE FOR CONSTRUCTION AND SHALL SUBHIT TO OWNER FOR

4. DIMENSIONS: UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE SHOWN AS FOLLOWS: FACE OF WALL AT MASONRY, INDICATED FACE OF STUD, CENTER LINE, GRID LINE, TOP OF CONCRETE SLAB OR FOUNDATION, TOP OF PLYMOOD, ETC. DRAWINGS SHALL NOT BE SCALED TO DETERMINE ANY DIMENSIONS, REFER ONLY TO PRITTEN INFORMATION AND DETAIL DRAWINGS, OR USE FIGURED DIMENSIONS, DIMENSIONAL

DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION 5. APPROVALS BY BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THESE PLANS AND SPECIFICATIONS (CONSTRUCTION DOCUMENTS).

6 OMISSIONS, IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN IF FEATURES ARE STILL UNCLEAR, CONTACT THE ARCHITECT FOR CLARIFICATION

7. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE AT THE SITE TO SUFERVISE AND COORDINATE CONSTRUCTION AT ALL TIMES WHILE WORK IS IN PROSRESS

5 THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT INCLUDING THE SAPETY OF ALL PERSONS AND PROPERTY INDEMNIFY, AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY. REAL OR ALLEGED IN CONNECTION WITH THE PROJECT. EXCEPT FOR LIABILITY ARISING FROM THE BOLE. NEGLIGENCE OF THE OWNER OR ARCHITECT. THE OWNER AND THE ARCHITECT SHALL BE NAMED AS ADDITIONAL INSUREDS ON THE CONTRACTOR STUABILITY INSURANCE COVERAGE.

9, UNLESS SPECIFICALLY NOTED IN CONTRACT, THE ARCHITECTS OFFICE WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PINAL DIMENSIONS QUANTITIES COORDINATION OF THE WORK OF ALL TRADES QUALITY CONTROL AND CONSTRUCTION

6 SUBCONTRACTORS SHALL DISPOSE OF RUBBISH CAUSED BY THEIR MORK, AND KEEP PREMISES JOB SITE GLEAN OF SUCH RUBBISH CONTRACTOR SHALL KEEP PREMISES "BROOM GLEAN" AT ALL TIMES

PLANS STAMPED BY ARCHITECT OR ENGINEER CANNOT DE MODIFIED IN ANY MAY EXCEPT BY THE ARCHITECT OR ENGINEER PLANS MODIFIED BY OTHERS WILL NOT BE ACCEPTED.

12 HEATING AND AIR CONDITIONING, PLUMBING AND ELECTRICAL DRAWINGS OR NOTES INCLUDED HEREIN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL PROVIDE DESIGNIBUILD DOCUMENTATION FOR THESE ITEMS IN ACCORDANCE WITH THESE DRAWINGS AND CRITERIA IN CONFORMANCE WITH ALL CODES AND ORDINANCES, AND SHALL OBTAIN PERMITS FOR THIS WORK

13. Siffs in Formation For thisse draylings was taken from a survey by others, provided by the OPINER REFERENCE IS HEREBY MADE TO THAT SOURCE AND TO THAT CRANING FOR ADDITIONAL

SHEET INDEX

A1.0

SUMMARY OF WORK

ADDITION SHALL HOUSE LIVING SPACE AND FULL BATHROOM

ROOF DECK SHALL BE ACCESSIBLE FROM EXISTING MAIN LEVEL LIVING SPACES ANCILARY IMPROVEMENTS TO REFURBIEH EXISTING UPPER LEVEL ROOF DECK SUR! AGE AND GLARDRAIL SYSTEMS SHALL BE UNDERTAKEN IN THIS SCOPE OF WORK

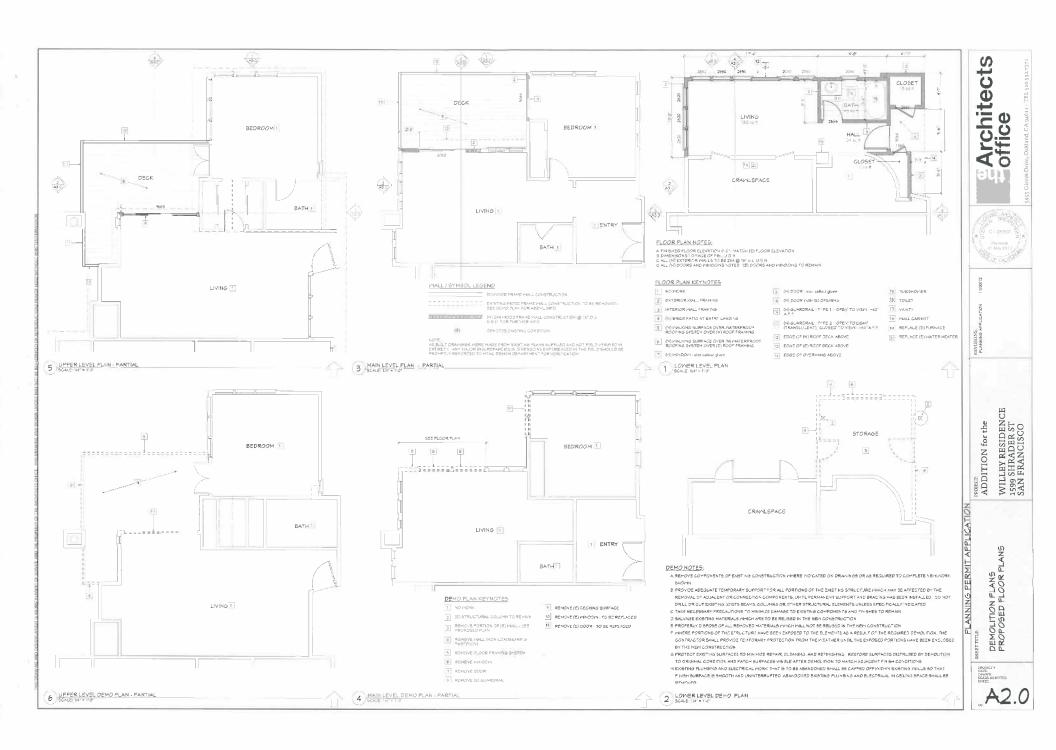
BLOCK, 1294 LOT 67 ZONING RH-1(D) LOT AREA: 5900 SF FOOTPRINT LIVING SPACE EXISTING, 1164 LIVING SPACE PROPOSED:

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES (CITY OF BAN FRANCISCO AMENDMENTS) AND ORDINANCES AND THE ROLLOWING.

NOTE. SPECIAL INSPECTIONS AS REQUIRED AND DEFINED IN FUTURE AMENDMENT(S) TO THIS SCOPE

ARCHITECT Be ARCHITECTS OFFICE

GENERAL CONTRACTOR LERKING & Company ADDRESS ADDRESS (415) 221-5012







EArchitects office

3 C - 28307 Repressing at May 2013

STONS: VNING APPLICATION 11/20/12

RBVISIONS PLANNING APPLICAT

PROJECT ADDITION for the WILLHY RESIDENCE 1599 SHRADER ST SAN FRANCISCO

RENDER VIEWS -EXISTING CONDITIONS



