



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 23, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Exposure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	837 Geary Street	Case No.:	2013.0056V
Cross Street(s):	LARKIN & HYDE STREETS	Building Permit:	201211274948
Block / Lot No.:	0320/020	Applicant/Agent:	Dennis Flynn
Zoning District(s):	RC-4 / 80-T	Telephone:	415-789-1717
Area Plan:	Click here to enter text.	E-Mail:	dennis@flynn1.com

PROJECT DESCRIPTION

The proposal is to legalize relocation of an existing dwelling unit at the basement level within the existing 40-unit residential structure.

SECTION 140 OF THE PLANNING CODE requires each dwelling unit to face directly onto a qualifying street or a Code-complying rear yard. The subject dwelling unit does not feature a code-complying rear yard and the new unit does not face directly onto a qualifying street; therefore, the proposal requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Lily Yegazu**

Telephone: **415-575-9076** Mail: **Lily.Yegazu@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2013.0056V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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BLOCK : 0320
LOT: 20

ZONING : RC-4

TYPE OF CONSTRUCTION: VNR

SCOPE OF WORK : ELIMINATION OF APARTMENT FROM FIRST FLOOR AND REMODEL OF SPACE ON GROUND FLOOR FOR NEW APARTMENT.

	EXISTING	PROPOSED
BUILDING OCCUPANCY:	R-1	R-1
STORIES:	6	6
UNITS:	41	41

WALLS

	EXISTING WALL
	NEW WALL
	DEMOLITION WALL

SYMBOLS

	SECTION NO.		DOOR IDENTIFICATION
	SHEET NO.		WINDOW IDENTIFICATION
	DETAIL NO.		REVISION SYMBOL
	SHEET NO.		NORTH ARROW
	ELEV. NO.		ROOM IDENTIFICATION
	QR ELEVATION MARKER		
	ROOM NAME		

ARCHITECTURAL

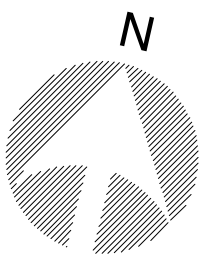
A0.10	TITLE SHEET, SITE PLAN, PROJECT INFO
A1.10	PLANS - EXISTING / DEMOLITION
A2.10	PLANS - PROPOSED

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3 DRAWING INDEX
N.T.S.

837 GEARY STREET



PERMIT SET
02.04.14

TITLE SHEET
SITE PLAN
PROJECT INFO

6 LOCATION MAPS
N.T.S.

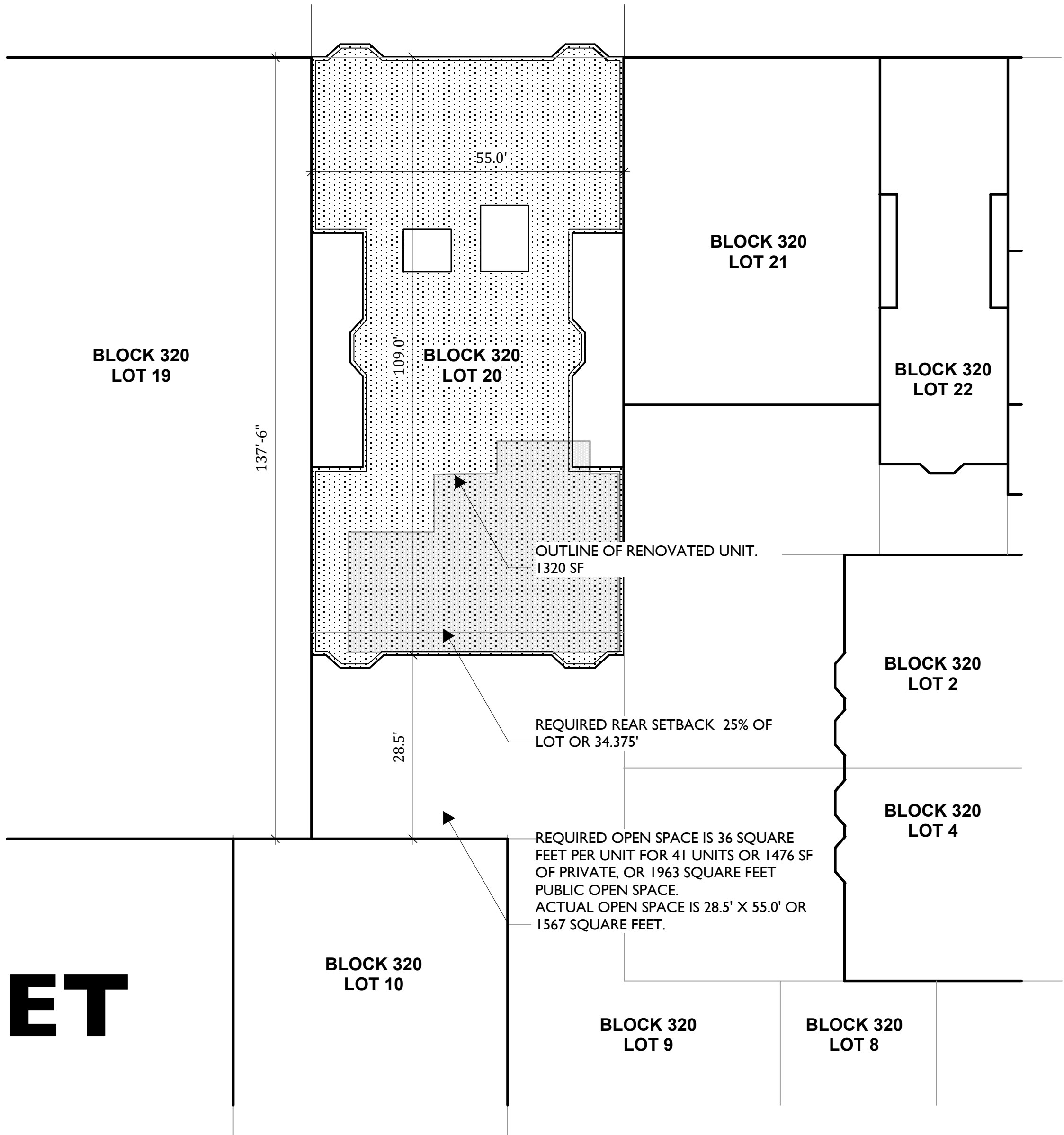
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1 PROJECT INFORMATION
N.T.S.



4 STREET VIEW
N.T.S.

837-839 GEARY STREET



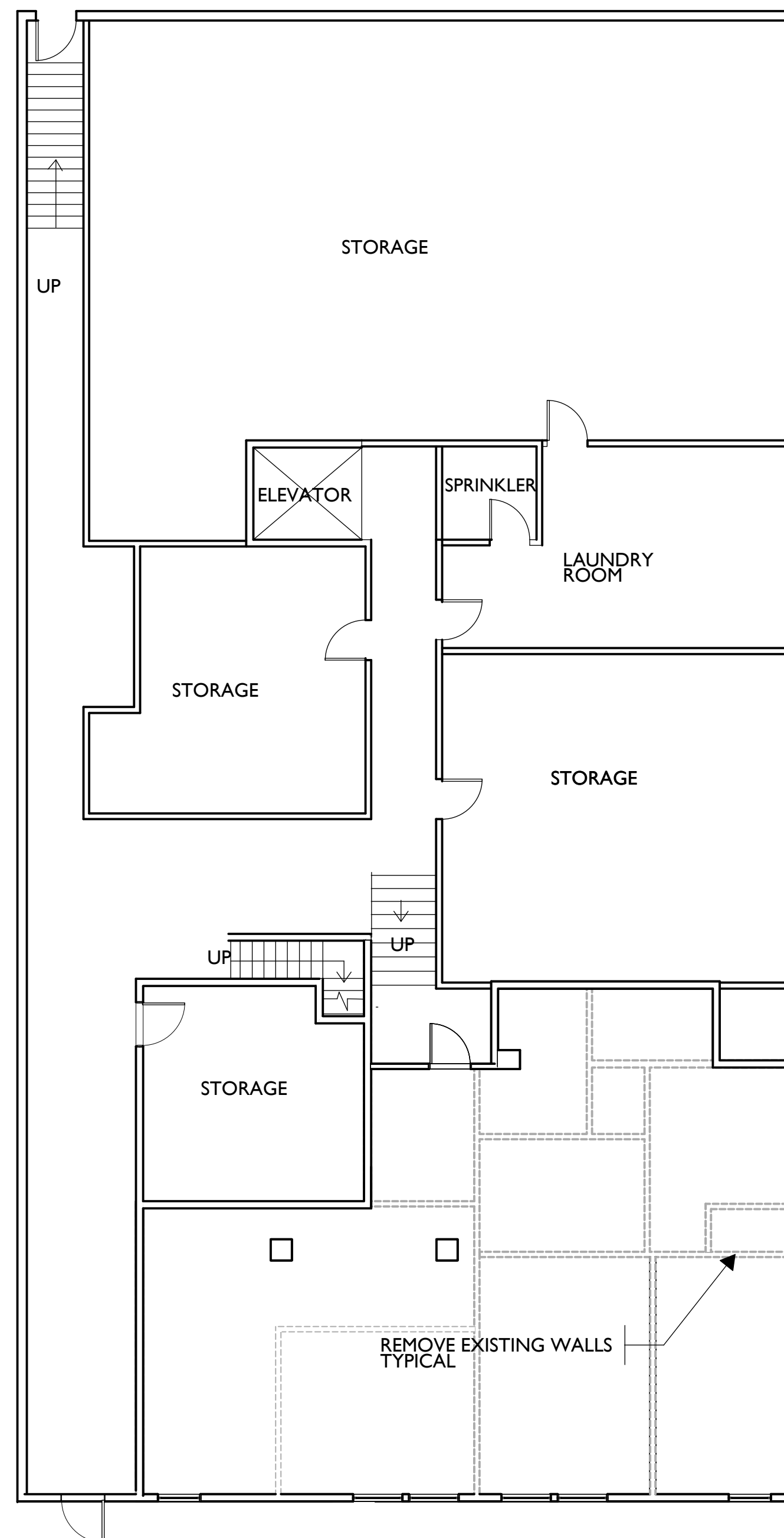
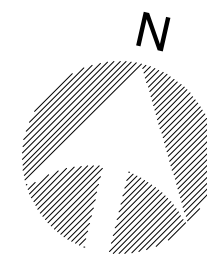
5 SITE PLAN
Scale: 1/16" = 1'-0"

837 GEARY STREET

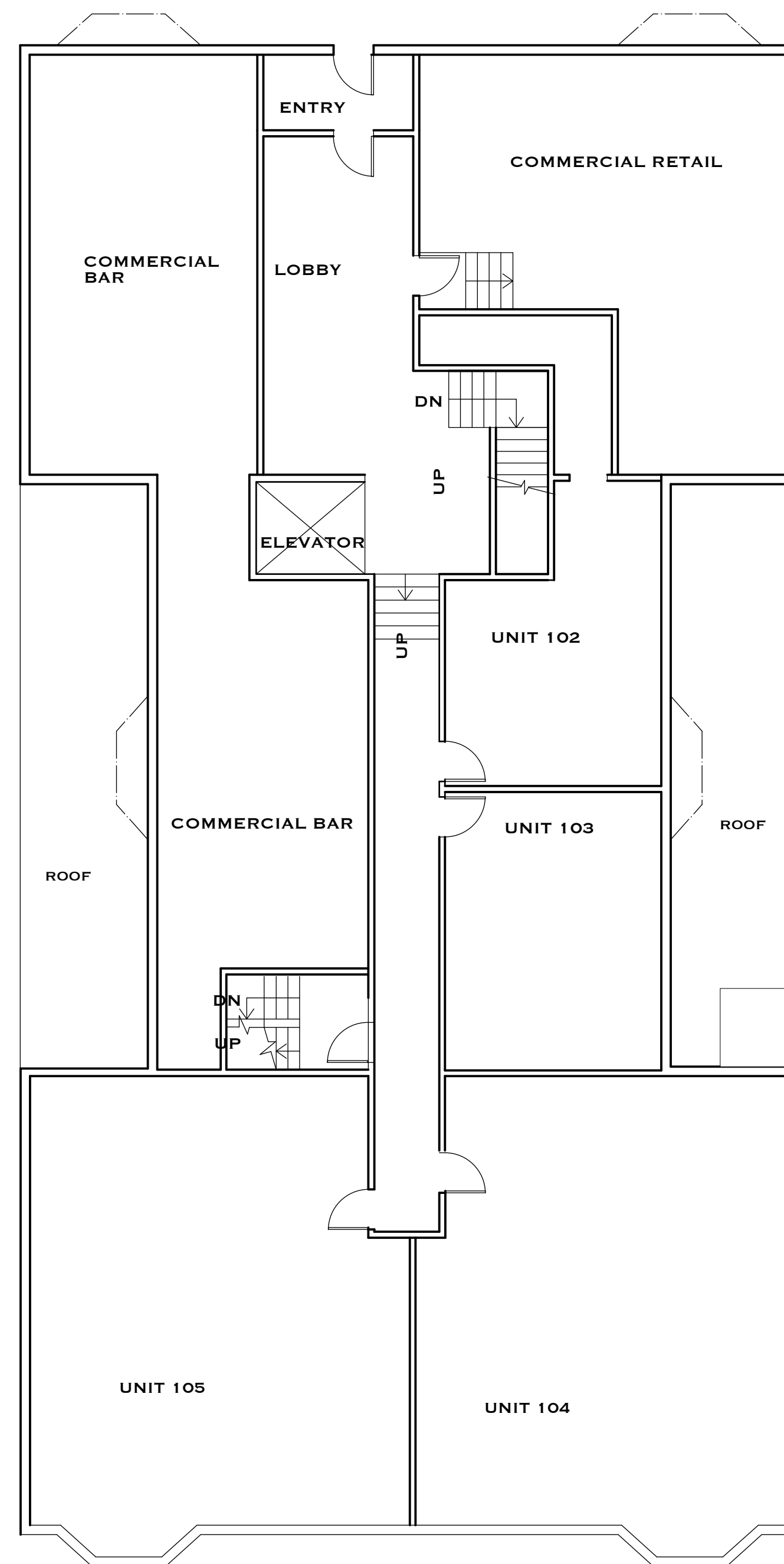
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EXISTING CONDITIONS
AND DEMOLITION PLANS

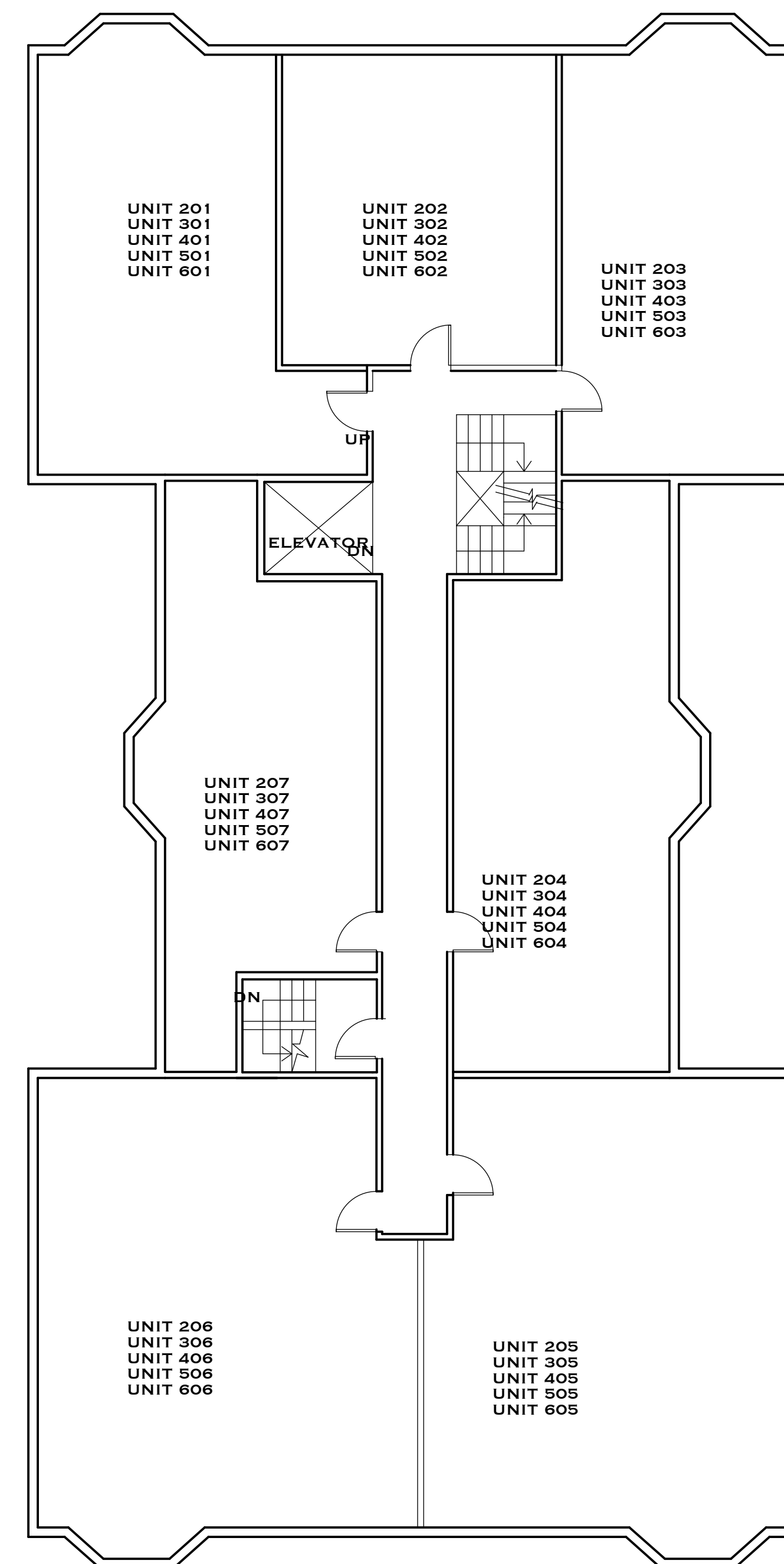
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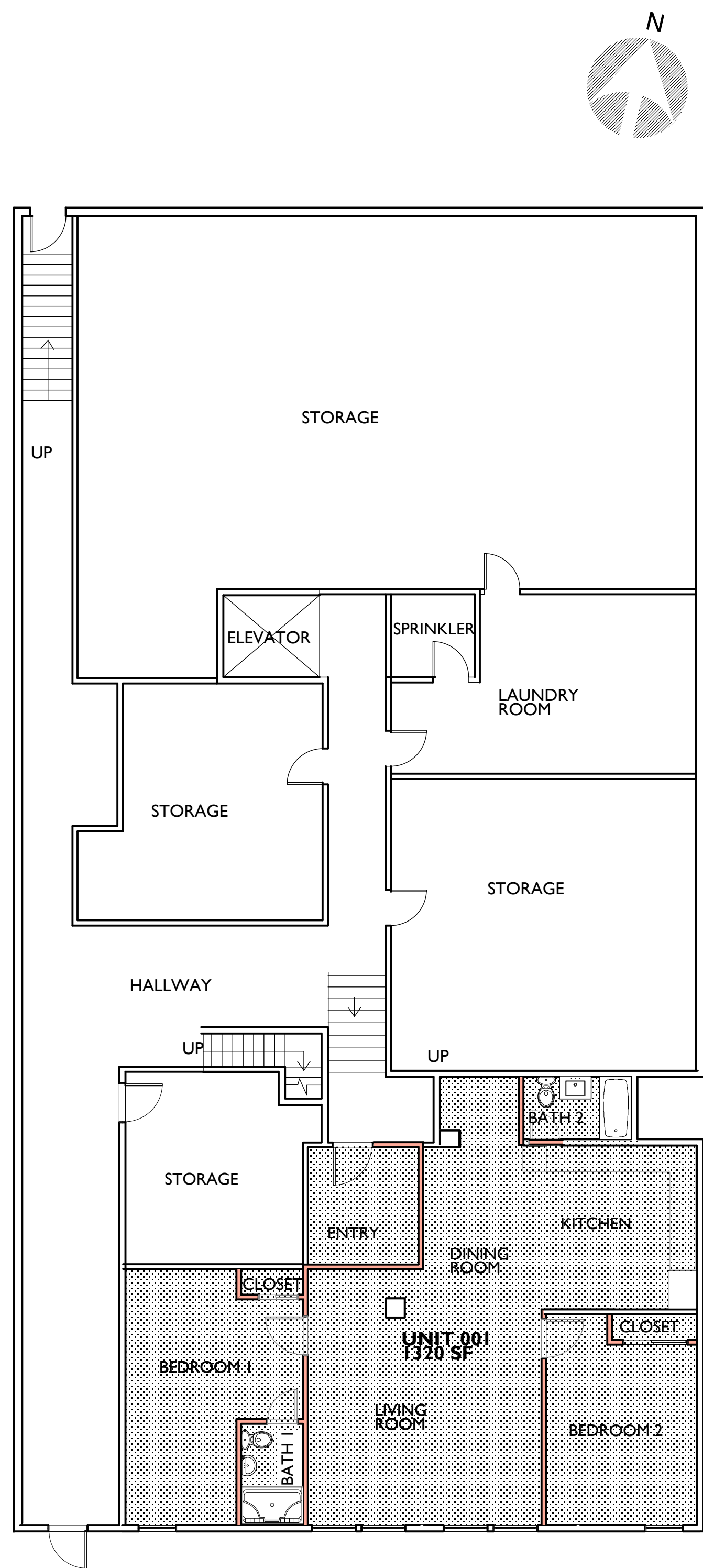
1 EXISTING CONDITIONS/DEMOLITION PLAN~BASEMENT
Scale: 1/8" = 1'-0"



2 EXISTING CONDITIONS~ FIRST
Scale: 1/8" = 1'-0"



3 EXISTING CONDITIONS TYPICAL
Scale: 1/8" = 1'-0"



1 PROPOSED PLAN ~BASEMENT
Scale: 1/8" = 1'-0"

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE 2013 CBC, 2013 CMC, 2013 CPC, 2013 NEC AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
2. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS
4. DIMENSIONS ARE TO FACE OF STUD OR CONCRETE IN PLAN UNLESS OTHERWISE NOTED.
5. DIMENSIONS ARE TO TOP OF PLATE OR TOP OF SUBFLOOR IN SECTION OR ELEVATION UNLESS OTHERWISE NOTES.
6. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
7. VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE.
8. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
9. VERIFY BOTH EXISTING AND FINISH GRADES WITH CIVIL AND LANDSCAPE DRAWINGS.
10. VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL AND MECHANICAL/ELECTRICAL DRAWINGS FERRET THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
11. COORDINATE ALL DETAIL S WITH SHEAR WALLS AND ENCASED STRUCTURAL POSTS AS REQUIRED BY THE STRUCTURAL DRAWINGS.
12. INSTALL BATT INSULATION BETWEEN STUDS AND JOISTS AT ALL EXTERIOR WALLS, CEILINGS, AND FLOOR EXCEPT WHERE SHOWN ON THE DRAWINGS.
13. WINDOW SIZES AND DOOR HEAD HEIGHTS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.

14. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED ON THE WALL OR PLACES TWO STUD WIDTHS FROM THE ADJACENT WALL AS INDICATED ON THE DRAWINGS.
15. ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
16. SEALANT, CAULKING, AND FLASHING, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURERS INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
17. ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES ETC., SHALL BE FULLY VENTILATED.
18. VERIFY THE BUILDING LOCATION AND PAD ELEVATIONS WITH CIVIL DRAWINGS BEFORE PROCEEDING WITH THE WORK.
19. DOORS, WINDOWS, KEYING, LIGHTING AND NUMBERING SHALL COMPLY WITH THE STATE AND LOCAL BUILDING SECURITY ORDINANCES.
20. PROVIDE WOOD BACKING FOR ALL TOWEL BARS, SHELF BRACKETS, ETC.
21. MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 - A. MINIMUM ROOF/CEILING INSULATION R-30. CONCRETE SLAB INSULATION NOT REQUIRED.
 - B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13. USE R-19 WHERE POSSIBLE. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-19. CONCRETE SLAB INSULATION NOT REQUIRED.
 - D. INFILTRATION CONTROL:
 1. DOORS AND WINDOWS WEATHERSTRIPPED
 2. EXHAUST SYSTEMS DAMPERED
 3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 4. ALL JOINTS AND PENETRATIONS CAULKED & SEALED.
 - E. DUCTS CONSTRUCTED AND INSTALLED PER UMC
 - F. SPACE CONDITIONING EQUIPMENT SIZING: REVIEW CALCS IN ENERGY REPORT
 - G. SET-BACK THERMOSTAT REQUIRED ON ALL HEATING AND COOLING SYSTEMS.
 - H. WATER HEATER BLANKET INSULATION (R-12 MIN). FIRST 20 FEET OF PIPES CLOSEST TO THE TANK INSULATION (R-3 MIN).
 - I. HVAC EQUIPMENT, WATER HEATERS, SHOWER HEADS, AND FAUCETS MUST BE CEC CERTIFIED.
 - J. ALL WINDOWS TO BE DOUBLE GLAZED EXCEPT AS NOTED. CONFIRM WITH DRAWINGS AND OWNER.
 - K. LIGHTING -40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS PER 2007T24 STANDARD. IF MORE THAN ONE IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT.
 - L. ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON RECEPTACLE ALL SWITCHES OR ELECTRICAL BASES ON EXTERIOR WALLS.

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PROPOSED PLANS
GENERAL NOTES

A 2.10