### MEMO

### **Disclaimer for Review of Plans**

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377 NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, June 25, 2014

Time: **9:30 AM** 

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Rear Yard Modification and Street Frontage

Variance)

Hearing Body: Zoning Administrator

PORPERT	TY INFORMATION	APPLICAT	ION INFORMATION
Project Address:	3420 18th Street	Case No.:	2012.1572V
Cross Street(s):	NE corner of 18th & San Carlos Streets	Building Permit:	2013.11.04.1054
Block / Lot No.:	3576/090	Applicant/Agent:	David Sternberg
Zoning District(s):	Mission St NCT / 55-X	Telephone:	882-9783
Area Plan:	Mission	E-Mail:	dsternberg@sternbergbenja min.com

### PROJECT DESCRIPTION

The project will demolish the existing single-story, 4,675-square-foot industrial building and construct a five-story, 19,578-square-foot, 16-unit residential building with ground floor retail.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 1,169 square feet, equal to 25% of the lot area, at the second story and above. While the proposal includes approximately 2,900 square feet of open space located on the roof and at the rear (northeast corner) of the lot; the project does not provide a 25% rear yard; therefore, the project requires a modification of the rear yard requirement.

**PER SECTION 145.1 OF THE PLANNING CODE** off-street parking at street grade must be setback at least 25 feet on the ground floor from any facade facing a street at least 30 feet in width. The proposed parking is setback 23.75 feet from the 18th Street facade; therefore, a variance from the street frontage requirement for off-street parking setback is required.

### ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Brittany Bendix Telephone: 415-575-9114 Mail: brittany.bendix@sfgov.org

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2012.1572V.pdf">http://sf-planning.org/ftp/files/notice/2012.1572V.pdf</a>

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

## **GENERAL CONDITIONS**

CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE 2010 CALIFORNIA BUILDING CODE, WITH 2010 SAN FRANCISCO AMENDMENTS; 2010 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES; 2010 SAN FRANCISCO FIRE CODE & NFPA-13; INFPA 72; TITLE 24 ENERGY CODE 2010 EDITION; SAN FRANCISCO HOUSING CODE 2010 EDITION; AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.

-CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS. -ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE

BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK -CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING AS NECESSARY.

-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION / CAPPING OFF OF ALL EXISTING UTILITIES AND RE-CONNECTION WHERE RE-USE IS POSSIBLE.

-SLOPE ALL FLOORS / ROOFS TO DRAIN A MINIMUM OF 1/4" PER 1'-0", UNLESS SPECIFICALLY NOTED OTHERWISE. -MECHANICAL AND ELECTRICAL WORK SHOWN ON DRAWINGS IS SCHEMATIC IN NATURE: CONTRACTOR TO CONFIRM FINAL LAYOUT WITH ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE UTILITY HOOK-UPS FOR ALL HEATERS, APPLIANCES, SPRINKLERS AND ALL OTHER EQUIPMENT WHETHER OR NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.

-DO NOT SCALE DRAWINGS! ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO "FACE OF STUD" UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING DIMENSIONS DENOTED BY "(E)" ARE TO "FACE OF EXISTING FINISH" UNLESS SPECIFICALLY NOTED OTHERWISE. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO PROCEEDING WITH THE WORK.

LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.

-GUARDRAILS TO COMPLY WITH THE CODE; OPEN GUARDRAILS SHALL HAVE OPENINGS SUCH THAT A 4" SPHERE CANNOT

-PROVIDE IDENTIFICATION FOR ALL PUBLIC STAIRWAYS PER UBC SECTION 1006.16.

-COMPLY WITH UNIT SECURITY REQUIREMENTS PER SFBC SECTION 1005A

3420 18TH STREET

Gross Building Area

19,578 SF

Suidelines

rrigation Ordinance.

emolition Debris Ordinance)

(SEE COVER SHEET LEGEND FOR RATED WALL DESIGNATIONS AND OTHER WALL TYPES):

-PROVIDE MINIMUM 1-HOUR WALL AND FLOOR / CEILING ASSEMBLY BETWEEN ALL RESIDENTIAL UNITS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS; AND STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.

-PROVIDE MINIMUM 50 STC AND IIC REQUIREMENT AT ALL UNITS AT FLOORS,CEILINGS, AND WALLS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS: AND STANDARD DETAILS FOR ASSEMBLY DESCRIPTIONS.

INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS: R-30 AT ROOFS, R-13 AT WALLS, R-19 AT FLOORS; MINIMUM, UNLESS SPECIFICALLY NOTED OTHERWISE. SEE TITLE 24, ENERGY COMPLIANCE STATEMENT MANDATORY MEASURÉS CHECKLIST FOR SPECIFIC REQUIREMENTS.

-PROVIDE VENTILATION OF ALL JOIST, STUD AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS INCLUDING: ATTICS, BASEMENTS, ROOFS, SOFFITS, PARAPET AND RAILING WALLS, ETC. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (MR GWB) ON ALL BATHROOM WALLS. DO NOT USE A CONTINUOUS VAPOR BARRIER BEHIND MR GWB. PROVIDE 30 POUND ROOFING FELT BEHIND FINISH SURFACE OF ALL TUB / SHOWER SURROUNDS, LAPPING ALL SEAMS. DO NOT USE MR GWB ON BATHROOM CEILINGS; USE 5/8" TYPE "X" GWB.

-SHAFT ENCLOSURES SHALL COMPLY WITH SFBC SECT. 711 &713. PROVIDE SMOKE DAMPERS WHERE REQUIRED

Green Building: Site Permit Checklist

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

3420 18TH STREET

DAVID STERNBERG

Type of Project Proposed (Indicate at right)

LEED certification level (includes prerequisites):

Specific Requirements: (n/r indicates a measure is not required)

Construction Waste Management - 75% Diversion

newable Energy or Enhanced Energy Efficiency

nerate renewable energy on-site ≥1% of total annual energy

Demonstrate an additional 10% energy use reduction (total of 25%

chase Green-E certified renewable energy credits for 35% of

Enhanced Commissioning of Building Energy Systems

Water Use - 30% Reduction LEED WE 3, 2 points

Enhanced Refrigerant Management LEED EA4

Indoor Air Quality Management Plan LEED IEQ 3.1

Recycling by Occupants: Provide space for storage,

Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4

requirements of LEED MR prerequisite 1, See Administrative Bul-

Bicycle parking: Provide short-term and long-term bicycle

parking for 5% of total motorized parking capacity each, or meet ian Francisco Planning Code Sec 155, whichever is greater, o

v-emitting, fuel efficient, and carpoci/van pool vehicles.

Water Meters: Provide submeters for spaces projected to

Air Filtration: Provide at least MERV-8 filters in regularly

Air Filtration: Provide MERV-13 filters in residential buildings

cupled spaces of mechanically ventilated buildings (or LEED

air-quality hot-spots (or LEED credit IEQ 5), (SF Health Code Article 38

Acoustical Control: well and root-ceilings STC 50, exterior windows STC 30, party wells and floor-ceilings STC 40, (13C.5,507.4)

consume more than 1,000 gal/day, or more than 100 gal/day if in

Designated parking: Mark 8% of total parking stalls

meet LEED credit SSc4.2, (13C.5.106.4)

credit IEQ 5). (13C.5.504.5.3)

and SF Building Code 1203.5)

Adjustment for retention / demolition of historic

Compared to Title-24 2008 (or ASHRAE 90.1-2007)

Overall Requirements:

features / building:

Base number of required points

Final number of required points

(base number +/- adjustmen

15% Energy Reduction

EED EA 1, 3 points

ective 1/1/2012:

ost (LEED EAc2), OR

mpared to Title 24 Part 8 2008), OR

total electricity use (LEED EAc6).

isign Professional/Applicant: Sign & Date

LEED PROJECTS

Code 155

See CBC 1207

BLOCK 3576, LOT 090

RESIDENTIAL, R-2

eight to highest occupied floor

45'

ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution

prevention and site runoff controls - Provide a

construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management

Stormwater Control Plan: Projects disturbing ≥

5,000 square feet must implement a Stormwater

Water Efficient Irrigation - Projects that include

Construction Waste Management - Divert at

posing a GreenPoint Rated Project

dicate at right by checking the box.)

Base number of required Greenpoints

Adjustment for retention / demolition of

inal number of required points (base number +/-

GreenPoint Rated (i.e. meets all prerequisites)

Meet all California Green Building Standards

use the "New Residential Mid-Rise" column

received on or after July 1, 2012

(CalGreen measures for residential projects have

been integrated into the GreenPoint Rated system.)

Energy Efficiency: Demonstrate a 15% energy use

reduction compared to 2008 California Energy Code,

1) New residential projects of 75' or greater must use the "New Resi-

dential High-Rise\* column. New residential projects with >3 occupied

floors and less than 75 feet to the highest occupied floor may choose

to apply the LEED for Homes Mid-Rise rating system; if so, you must

2) LEED for Homes Mid-Rise projects must meet the "Silver" standard,

ncluding all prerequisites. The number of points required to achieve

Silver depends on unit size. See LEED for Homes Mid-Rise Rating

3) Requirements for additions or alterations apply to applications

System to confirm the base number of points required,

istoric features / building:

adjustment)

Title 24, Part 6.

Notes

Code requirements

least 65% of construction and demolition debris by

omplying with the San Francisco Construction &

GREENPOINT RATED PROJECTS

must comply with the SFPUC Water Efficient

≥ 1,000 square feet of new or modified landscape

Control Plan meeting SFPUC Stormwater Design

-MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR

-IF A DOOR HAS A CLOSER, DOOR SHALL BE ADJUSTED SUCH THAT FROM AN OPEN POSITION OF 70 DEGREES THE DOOR WILL TAKE 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH.

-HAND ACTIVATED DOOR LATCHING, LOCKING AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FLOOR. - THE BOTTOM 10" OF DOOR SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A

WHEEL CHAIR WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. -CONFIRM ALL DOOR AND WINDOW SIZES WITH ACTUAL / EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING

-ALL REQUIRED SLEEPING AREA ESCAPE / RESCUE WINDOWS BELOW 4TH FLOOR ARE DESIGNATED "RESCUE" ON FLOOR

PLANS ADJACENT TO WINDOW. RESCUE WINDOWS TO COMPLY W/ CBC SECTION 310.4 AND SHALL HAVE A MIN. NET CLR. AREA OF 5.7 SQ. FT. MIN. CLR. HT. DIM: 24", MIN. CLR. WIDTH DIM: 20", MAX SILL HT. DIM: 44" AFF. -REFER TO EXTERIOR ELEVATIONS FOR INDICATIONS OF WINDOW OPERATION AND HANDING.

-ALL DOORS AND WINDOWS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER-STRIPPING

-ALL PROPERTY LINE WINDOWS (INDICATED ON DRAWINGS BY "PL ") SHALL BE STEEL SASH WITH FIXED WIRE GLASS, WITH SPRINKLER HEAD PROTECTION PER S.F. BUILDING CODE SECTION 503.5. -ALL GLAZING SHALL COMPLY WITH CODE SECTION 2406; SAFETY GLASS, AND SHALL BE LOW-E WITH A U FACTOR OF .31.

-ALL INTERIOR DOORS SHALL BE SOLID CORE UNLESS SPECIFICALLY MENTIONED OTHERWISE, OR ARE REQUIRED TO BE

OF OTHER MATERIALS BECAUSE OF FIRE RATING OR ANY OTHER REQUIREMENTS. -ALL EXTERIOR DOORS OR DOORS IN NON-HEATED AREAS SHALL BE METAL DOORS WITH METAL FRAME, UNLESS

## MECHANICAL, ELECTRICAL AND PLUMBING (MEP)

-PARKING GARAGE(S), CORRIDORS AND STAIRS SHALL BE VENTILATED AS REQUIRED PER CODE.

-PROVIDE EMERGENCY / EXIT LIGHTING AT ALL EXIT PATHS OF TRAVEL AS REQUIRED PER CODE.

-ALL COMMON AREA LIGHT FIXTURES, ETC. SHALL BE FLUORESCENT UNLESS SPECIFICALLY NOTED OTHERWISE -PARKING GARAGE(S), COMMON HALLWAYS AND ALL OTHER COMMON AREAS, NOT WELL SERVED BY DAY LIGHTING WINDOWS, SHALL BE PROVIDED WITH ELECTRIC LIGHTING 24 HOURS PER DAY, UNLESS SPECIFICALLY NOTED OTHERWISE ALL OTHER EXTERIOR OR EXPOSED COMMON AREAS TO DAY LIGHTING SHALL BE PROVIDED WITH SWITCHING VIA CENTRAL

PHOTO-ELECTRIC SENSOR WITH TIMER CLOCK SWITCH OVERRIDE, UNLESS OTHERWISE SPECIFIED. -STAGGER ALL ELECTRICAL AND MECHANICAL ITEMS IN ALL DEMISING WALLS AND FLOORS BETWEEN UNITS TO MAINTAIN ASSEMBLY'S ACOUSTICAL RATINGS. SEE SPECIFICATIONS AND DETAILS FOR SPECIFIC REQUIREMENTS.

-ALL ELECTRICAL RECEPTACLES IN DAMP LOCATIONS TO BE GROUND FAUL INTERRUPTER (GFI) AS REQUIRED PER CODE. -PROVIDE UNIT SMOKE DETECTORS PER SFBC SEC. 310.9.

-PROVIDE LIGHTED EXIT SIGNAGE WITH EMERGENCY BACK-UP PER SECTION 1003.2.8

-ALL KITCHEN LIGHTING: HALF THE INSTALLED WATTAGE OF LUMINAIRES SHALL BE FLUORESCENT

-ALL BATHROOM, LAUNDRY ROOM, AND UTILITY ROOM LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY AN OCCUPANCY SENSOR.

-ALL OTHER ROOM LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY AN OCCUPANCY SENSOR OR DIMMER

-ALL EXTERIOR LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY A PHOTO-TIMER OR MOTION SENSOR -DOMESTIC DRYER MOISTURE EXHAUST DUCT LENGTH SHALL BE LIMITED TO 14 FEET PER CODE (SFMC 504.3.2.2) UNLESS PERMITTED OTHERWISE BY LISTED DRYER MANUFACTURER. PLEASE REFER TO SHEET A0.2 FOR WHIRLPOOL DŔYER VENT SPECIFICATIONS (WHICH EXCEEDS 14 FEET) FOR THIS PROJECT.

ALL DRYER AND BATHROOM VENTS SHALL BE ROUTED HORIZONTALLY WITH OUTLETS AT LIGHTWELL

-ENVIRONMENTAL EXHAUSTS TERMINATE TYPICALLY MINIMUM OF 3'-0" FROM OPENINGS OR PROPERTY LINE.

-ALL SHEET METAL WORK TO BE IN ACCORDANCE WITH CURRENT EDITION OF S.M.A.C.N.A. STANDARDS.

PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL WINDOW AND DOOR HEADS: INSTALL UNDER EXTERIOR SIDING OR CEMENT PLASTER AND BUILDING PAPER, AND OVER HEAD FRAME OF ALL NEW DOORS AND WINDOWS. PROVIDE ADDITIONAL FLASHING MEMBRANE PER STANDARD WINDOW FLASHING DETAIL AROUND ALL WINDOW AND DOOR

-PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF CONDITIONS INCLUDING BUT NOT LIMITED TO: PERIMETER EDGES, VALLEYS, PARAPET CAPS, WALL / ROOF INTERSECTIONS, ROOF PENETRATIONS, ETC ALL NEW EXTERIOR FINISHES TO BE INSTALLED OVER A MINIMUM MOISTURE BARRIER OF OF TWO LAYERS OF 15 POUND (GRADE D) BUILDING PAPER.

-ALL ROOFING SHALL BE CLASS "A" FIRE RATED.

·CONTRACTOR SHALL PROVIDE COMPLETE AÙTOMATIC FIRE SPRINKLER SYSTEM TO COMPLY WITH ALL APPLICABLE BUILDING AND FIRE CODES. THE SYSTEM SHALL INCLUDE, BUT NOT BE LIMITED TO: ALL SPRINKLER HEADS, PIPING CONNECTIONS, FIRE DEPARTMENT PANELS, ALARMS, PULĹ STATIONS, VISUAL WARNING DEVICES, AUTOMAŤIC SYSŤEM MONITORING CONNECTION (AS REQUIRED) AND ALL ELSE AS REQUIRED.

PLANNING DEPARTMENT NOTES

**RESIDENTIAL DENSITY:** NO LIMIT: 16 UNITS PROVIDED.

HEIGHT / BULK LIMIT: 55-X. PROPOSED: 55'-0" BUILDING.

FLOOR AREA RATIO (F.A.R.): NOT APPLICABLE

PROVIDED: SUBJECT TO VARIANCE.

PROVIDED.

PROJECT LOCATION: 3420 18TH STREET, SAN FRANCISCO, CA, BLOCK 3576, LOT

**ZONING DISTRICT:** NCT: MISSION STREET NEIGHBORHOOD COMMERCIALTRANSIT

**USABLE OPEN SPACE:** 80 SF PRIVATE AND 100 SF COMMON PER UNIT REQUIRED:

UNIT 404 HAS PRIVATE TERRACE (80 SF REQUIRED). 187 SF PROVIDED. 16 UNITS X

090. 55' ALONG 18TH STREET AND 85' ALONG SAN CARLOS STREET. 4,675 SF.

**REAR YARD SETBACK:** 25% AT ALL RESIDENTIAL LEVELS: LESS THAN 25%

100 SF = 1.600 SF REQUIRED. 2.071 SF COMMON RÓOF TERRACE PROVIDED.

**BICYCLE PARKING:** 1 SPACE PER RESIDENTIAL UNIT = 16 BICYCLE SPACES

**AUTOMOBILE PARKING: .5 SPACE PER RESIDENTIAL UNIT: 8 PARKING SPACES** 

-THIS WORK SHALL BE UNDER A <u>SEPARATE PERMIT</u>. THE SYSTEM SHALL BE DESIGN-BUILD; REQUIRING A COMPLETE SET OF CALCULATIONS AND DRAWINGS, AS NECESSARY FOR BUILDING AND FIRE DEPARTMENT REVIEW / APPROVAL.

# SCOPE OF WORK

NEW CONSTRUCTION OF A FOUR STORY TYPE V-A, ONE-HOUR, WOOD FRAME BUILDING OVER ONE-STORY TYPE I CONCRETE BUILDING. COMMON ROOF TERRACE OVER 16 RESIDENTIAL UNITS ON FOUR FLOORS. GARAGE, UTILITY AREAS, EXITS AND 1 COMMERCIAL UNIT ON THE GROUND FLOOR. DEMOLITION OF EXISTING ONE-STORY COMMERCIAL BUILDING.

## DRAWING INDEX

**COVER SHEET** SITE PHOTOS A0.1 A0.2 EXISTING SITE / ROOF PLAN **EXISTING FLOOR PLAN** A0.3 **EXISTING WEST ELEVATION** A0.4 A0.5 **EXISTING SOUTH ELEVATION** A0.6 PROPOSED SITE / ROOF PLAN SURVEY PLAN **GROUND FLOOR PLAN** FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN FOURTH FLOOR PLAN A6 **ROOF PLAN** Α7 WEST ELEVATION Α8 **SOUTH ELEVATION** EAST ELEVATION A10 NORTH ELEVATION A11 **BUILDING SECTION** 

# **BUILDING DEPARTMENT NOTES**

3420 18TH STREET, SAN FRANCISCO, CA.

BLOCK 3576 LOT 090

**APPLICABLE BUILDING CODES:** 2010 CALIFORNIA BUILDING CODE W/ SAN FRANCISCO AMENDMENTS, 2010 MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES.

OCCUPANCY CLASSIFICATION: GROUP A-3 ROOF TERRACE OVER GROUP R-2, 16 UNIT RESIDENTIAL OVER GROUP U, PRIVATE GARAGE, GROUP M COMMERCIAL AND COMMON AREAS.

**CONSTRUCTION TYPE:** FOUR STORY TYPE V-A, 1 HOUR, WOOD FRAME OVER ONE STORY TYPE I CONCRETE PODIUM CONSTRUCTION.

SPRINKLER WORK: SPRINKLER WORK SHALL BE UNDER SEPARATE PERMIT.

32° h Si			
218	6 UNIT RESIDENTIAL	20 18TH STREET	LOCK 3576 LOT 090 AN FRANCISCO, CA

PPA REV 05/01/1

VARIANCE 02/04/14 1\ PLANN'G REV. 05/08/1

ev./Issue.

12/12/12 1/8"=1'-0" rawn: DS

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code

E	ED PR	OJEC1	S				OTHER APPLICABLE NON-RESIDENTIA	L PROJE	CTS
	New Large Commercial	New Residential Mid-Rise <sup>1</sup>	Now Residential High-Rise <sup>1</sup>	Commerical Interior	Commercial Alteration	Residential Alteration	Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. <sup>5</sup>	Other New Non- Residential	Addition >2,000 sq OR Alteration >\$500,000
-							Type of Project Proposed (Check box if applicable)		The
_	SILVER	SILVER	SILVER	SILVER	SILVER	SILVER	Recycling by Occupants: Provide space for storage, collection, and loading of recycling, compost and trash, (13C,5,410,1, et al) - See Administrative Bulletin 088 for details.	•	•
_	50	2	50	50	50	50	Catalis, George Efficiency: Damonstrate a 15% energy use reduction compared to 2008 Catfornia Energy Code, Title 24, Part 6, (130.5.201.1.1)		n/r
_				n/a 50			Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total miolorized parking capacity each, or meet San Francisco Ptenning Code Sec 155, whichever is greater for LEED credit SSc4.2]. (13C.5.106.4)	•	•
по	t required)						Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces, (13C.5.106.5)	•	•
n				_	Meet C&D		Water Meters: Provide submeters for spaces projected to consume >1,000 galiday, or >100 galiday if in buildings over 50,000 sq. ft.	•	•
	•	•	•	•	ordinance only	•	Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, bivatories, Michan faucets, wash fourtains, water closets, and urinols, (13C.5.303.2)	•	•
,	•	•	•	•	prerequi		Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements, (13C.5,410.2)	•	(Testing &
,							OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.  Protect duct openings and mechanical equipment during construction (13C.5.504.3)	•	Balancing)
%	•	n/r	rvir	n/r	n/r	n/r	Adhesives, sealants, and caulks: Comply with VOC limits in SCAOMD Rute 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives, (130,5.504.4.1)	•	•
							Paints and coatings: Comply with VCC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations	•	•
5	•		Meet	LEED prerequi	sites		Title 17 for aerosol paints, (13C.5.504.4.3) Carpet: All carpet must meet one of the following:		
	•	n/r	•	Meet	LEED prerequis	sites	Carpet and Rug Institute Green Label Plus Program     California Department of Public Health Standard Practice for the testing of VCCs	8 9.	
	•	n/r	n/r	n/r	n/r	n/r	(Specification 01350)  3. NSF/ANSI 140 at the Gold level  4. Scientific Certifications Systems Sustainable Choice	•	•
	•	n/r	n/r	n/r	n/r	n/r	AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 q.l. VOC content. (13C.5.504.4.4)		
	•	n/r	•	•	•	•	Composite wood: Meet CARS Air Todos Control Measure for Composite Wood (130.5.504.4.5)		•
3	•	•	•	•	•	•	Resilient flooring systems: For 50% of floor area receiving restient flooring, install restlient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering institute (RFCI) FloorScore program, (13C,5.504,4.6)	•	•
					rs/r	n/r	Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	•	•
		n/ See San Franc	r isco Planning				Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of		Limited exceptions, See CA T24 Part 11

THE PARTY OF THE P	County organization and	>5500,000
Type of Project Proposed (Check box if applicable)		T
Recycling by Occupants: Provide space for storage, collection, and loading of recycling, compost and trash, (13C,5,410,1, at at) - See Administrative Bulletin 088 for details.	•	•
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6, (13C.5.201.1.1)	•	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total molorized parking capacity each, or meet San Francisco Ptenning Code Sec 155, whichever is greater (or LEED credit SSc4.2). (13C.5.106.4)	•	•
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces, (13C.5.106.5)	•	•
Water Meters: Provide submeters for spaces projected to consume >1,000 gel/day, or >100 gel/day if in buildings over 50,000 sq. ft.	•	•
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, bivatories, Michen faucets, wash fountains, water obsets, and urinols, (13C.5.303.2)	•	•
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements, (13C.5,410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required. Protect duct openings and mechanical equipment during construction.	•	(Testing & Balancing)
(13C.5.504.3)	•	•
Adhesives, sealants, and caulks: Comply with VCC limits in SCAOMD Rule 1168 VCC limits and California Code of Regulations Title 17 for acrosol adhesives. (130,5,504.4,t)	•	•
Paints and coatings: Comply with VCC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for acrosol paints, (13C.5.504.4.3)	•	•
Carpet: All carpet must meet one of the following:  1, Carpot and Rug Institute Green Label Plus Program  2, California Department of Public Health Standard Practice for the testing of VCCs (Specification 01350)  3, NSF/ANSI 140 at the Gold level  4, Scientific Certifications Systems Sustainable Choice  AND Carpet cushion must meet CRI Green Label,  AND Carpet adhesive must not exceed 50 pJ. VCC content. (13C.5.504.4.4)	•	•
Composite wood: Meet CAR8 Air Toxics Control Measure for Composite Wood (130.5.504.4.5)	•	•
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install estient flooring complying with the VOC-emission limits defined in the 2009 Collaborative or High Performance Schools (CHPS) criteria or certified under the Resilient Floor Severing Institute (RFCI) FloorScore program, (13C.5.504.4.6)	•	•
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	•	•
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of nechanically ventilated buildings. (13C.5.504.5.3)	•	Limited exceptions, See CA T24 Part 11 Section 5,714.8
Acoustical Control: Well and reof-ceilings STC 50, exterior windows STC 30, party wells and floor-ceilings STC 40, (13C.5.507.4)	•	Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons, (13C,5,508.1)	•	•
dditional Requirements for New A, B, I, OR M Occupancy Projects 5,	000 - 25,000 5	Square Feet
Construction Waste Management — Divert 75% of construction and demolition obris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris infinance)	•	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency  Iffective January 1, 2012; Generate renewable energy on-site equal to 21% of total  Innual energy cost (LEED EA/2), OR  emonstrate an additional 10% energy use reduction (total of 25% compared to Title 24  eart 6 2008), OR  unchase Green-E certified renewable energy credits for 35% of total electricity use	•	nir

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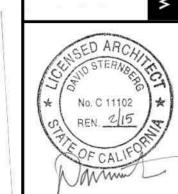
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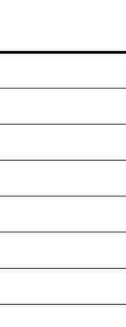
REQUIRED. 16 BICYCLE SPACE PROVIDED. **BUILDING AREAS:** TOTAL AREA: SALABLE AREA: **GROUND FLOOR:** GARAGE: 2,554 SF ENTRY/STAIRS/UTILITY: 736 SF 1,087 SF COMMERCIAL: SUBTOTAL: FIRST FLOOR: 3,125 SF 3,125 SF COMMON STAIRS & ELEV .: SUBTOTAL: SECOND FLOOR: UNITS: 3,273 SF 3,273 SF COMMON STAIRS & ELEV.: 643 SF 3,916 SF SUBTOTAL: THIRD FLOOR: 3,223 SF 3,223 SF UNITS: COMMON STAIRS & ELEV.: 643 SF 3,866 SF SUBTOTAL: **FOURTH FLOOR:** 3,008 SF **COMMON STAIRS & ELEV.:** SUBTOTAL: 19.578 SF 12,629 SF **TOTAL RESIDENTIAL:** 1,087 SF **TOTAL COMMERCIAL:** 











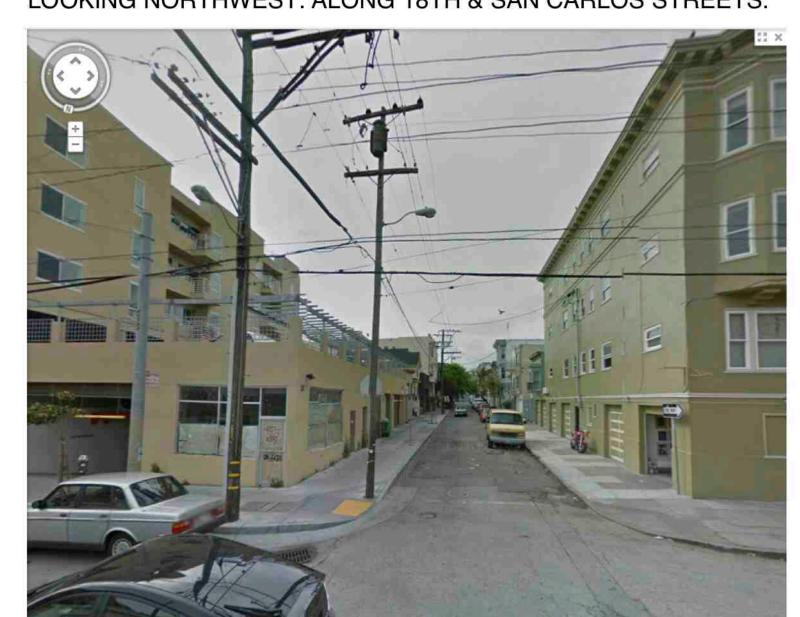
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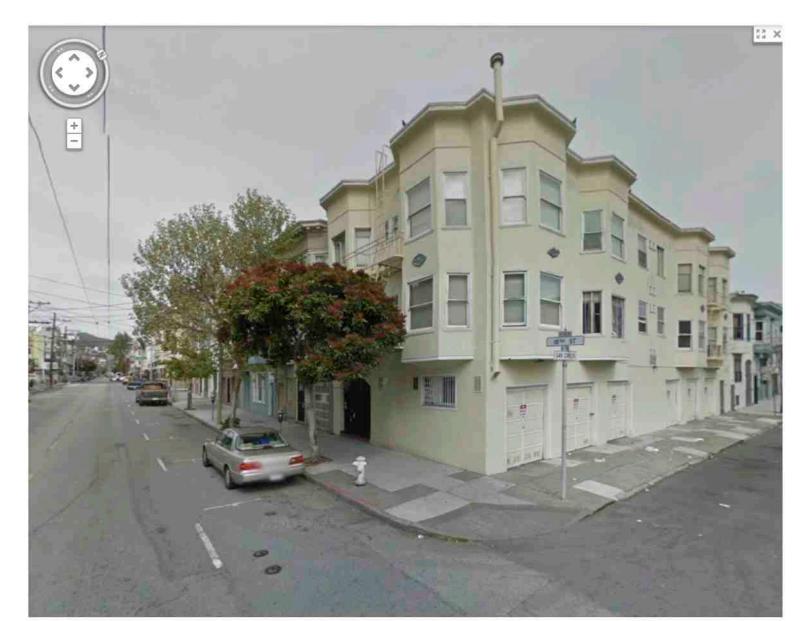
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LOOKING NORTHWEST: ALONG 18TH & SAN CARLOS STREETS.



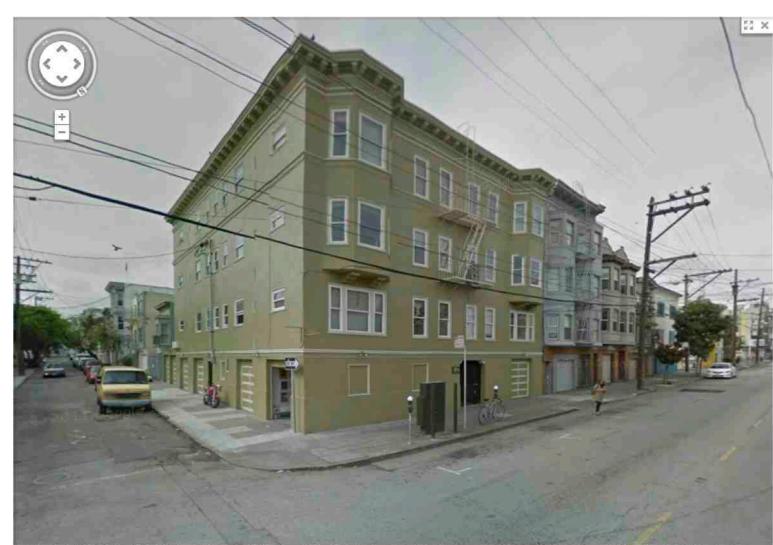
LOOKING SOUTH: ALONG SAN CARLOS STREET.



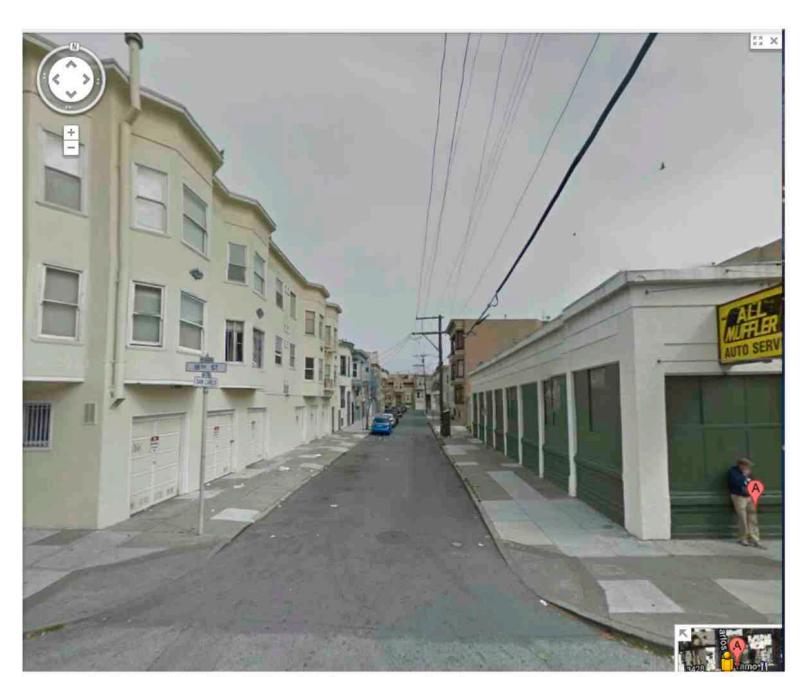
LOOKING NORTHWEST: ALONG 18TH & SAN CARLOS STREETS.



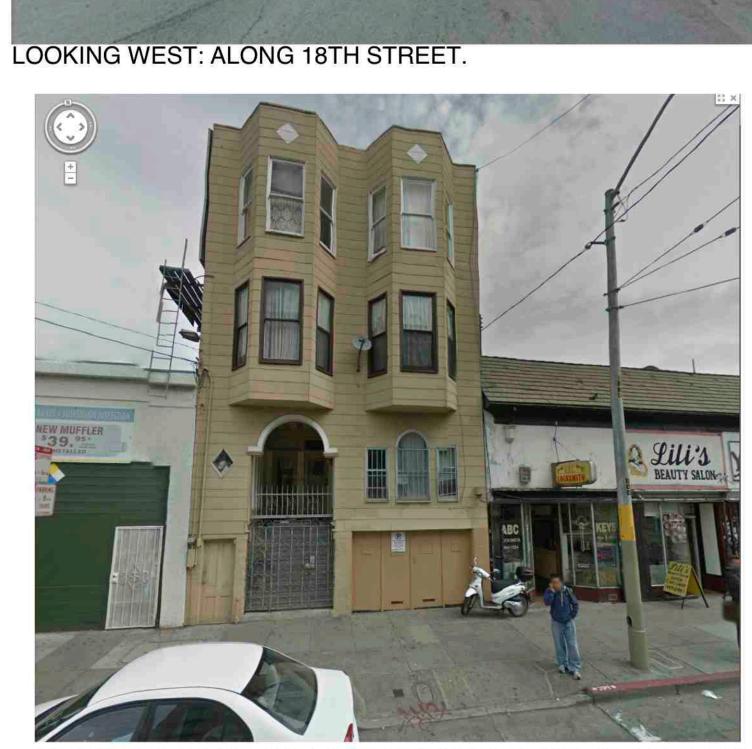
LOOKING WEST: ALONG 18TH STREET.



LOOKING SOUTHWEST: ALONG 18TH & SAN CARLOS STREETS.



LOOKING NORTH: ALONG SAN CARLOS STREET.



LOOKING SOUTHWEST: ALONG 18TH & SAN CARLOS STREETS.

LOOKING NORTH: EASTERN NEIGHBOR ALONG 18TH STREET.

