



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 25, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard Modification and Street Frontage Variance)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>3420 18th Street</b>	Case No.:	<b>2012.1572V</b>
Cross Street(s):	<b>NE corner of 18th &amp; San Carlos Streets</b>	Building Permit:	<b>2013.11.04.1054</b>
Block / Lot No.:	<b>3576/090</b>	Applicant/Agent:	<b>David Sternberg</b>
Zoning District(s):	<b>Mission St NCT / 55-X</b>	Telephone:	<b>882-9783</b>
Area Plan:	<b>Mission</b>	E-Mail:	<b>dsternberg@sternbergbenjamin.com</b>

### PROJECT DESCRIPTION

The project will demolish the existing single-story, 4,675-square-foot industrial building and construct a five-story, 19,578-square-foot, 16-unit residential building with ground floor retail.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 1,169 square feet, equal to 25% of the lot area, at the second story and above. While the proposal includes approximately 2,900 square feet of open space located on the roof and at the rear (northeast corner) of the lot; the project does not provide a 25% rear yard; therefore, the project requires a modification of the rear yard requirement.

**PER SECTION 145.1 OF THE PLANNING CODE** off-street parking at street grade must be setback at least 25 feet on the ground floor from any facade facing a street at least 30 feet in width. The proposed parking is setback 23.75 feet from the 18th Street facade; therefore, a variance from the street frontage requirement for off-street parking setback is required.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Brittany Bendix** Telephone: **415-575-9114** Mail: [brittany.bendix@sfgov.org](mailto:brittany.bendix@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1572V.pdf>

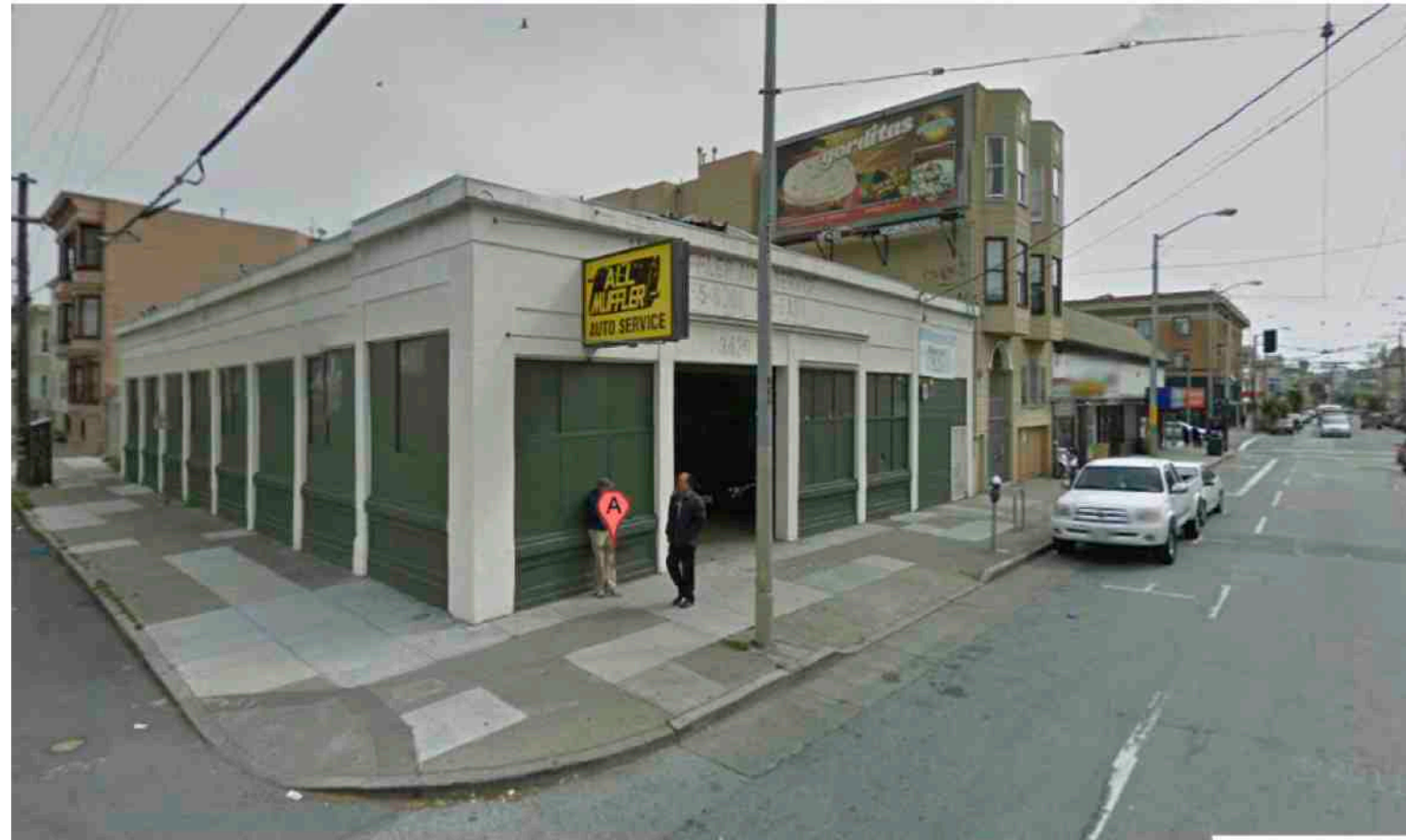
中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

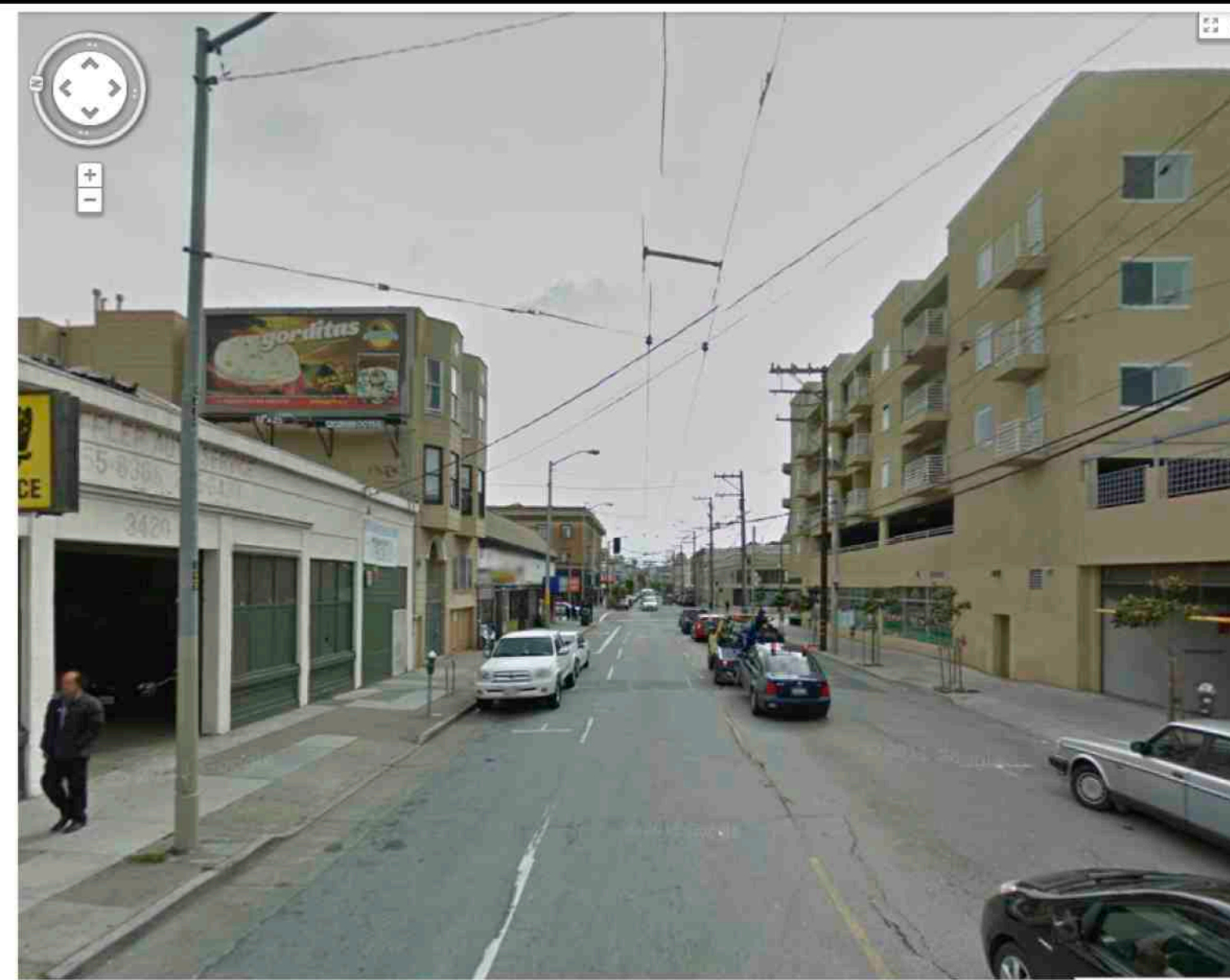




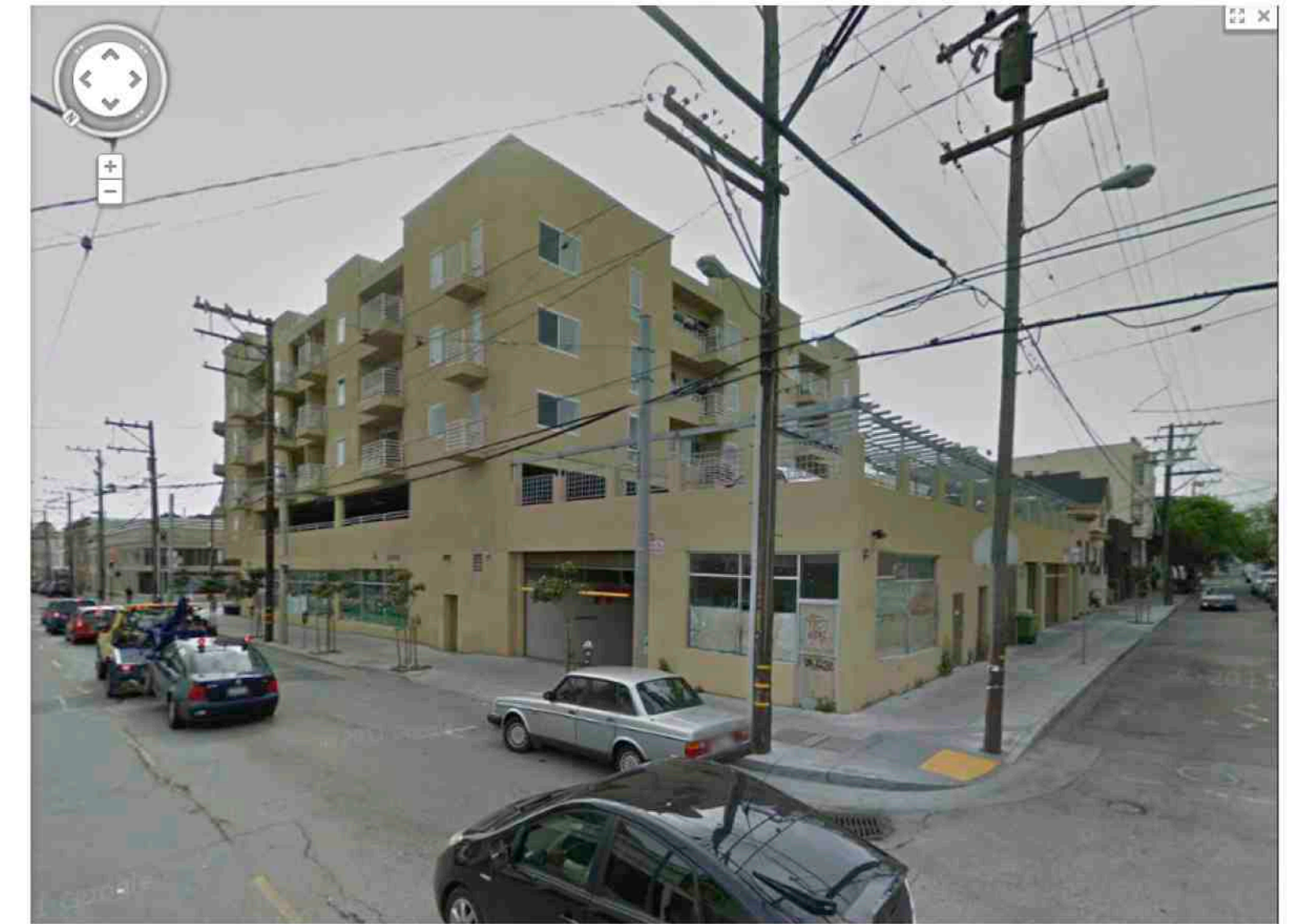




LOOKING NORTHWEST: ALONG 18TH & SAN CARLOS STREETS.



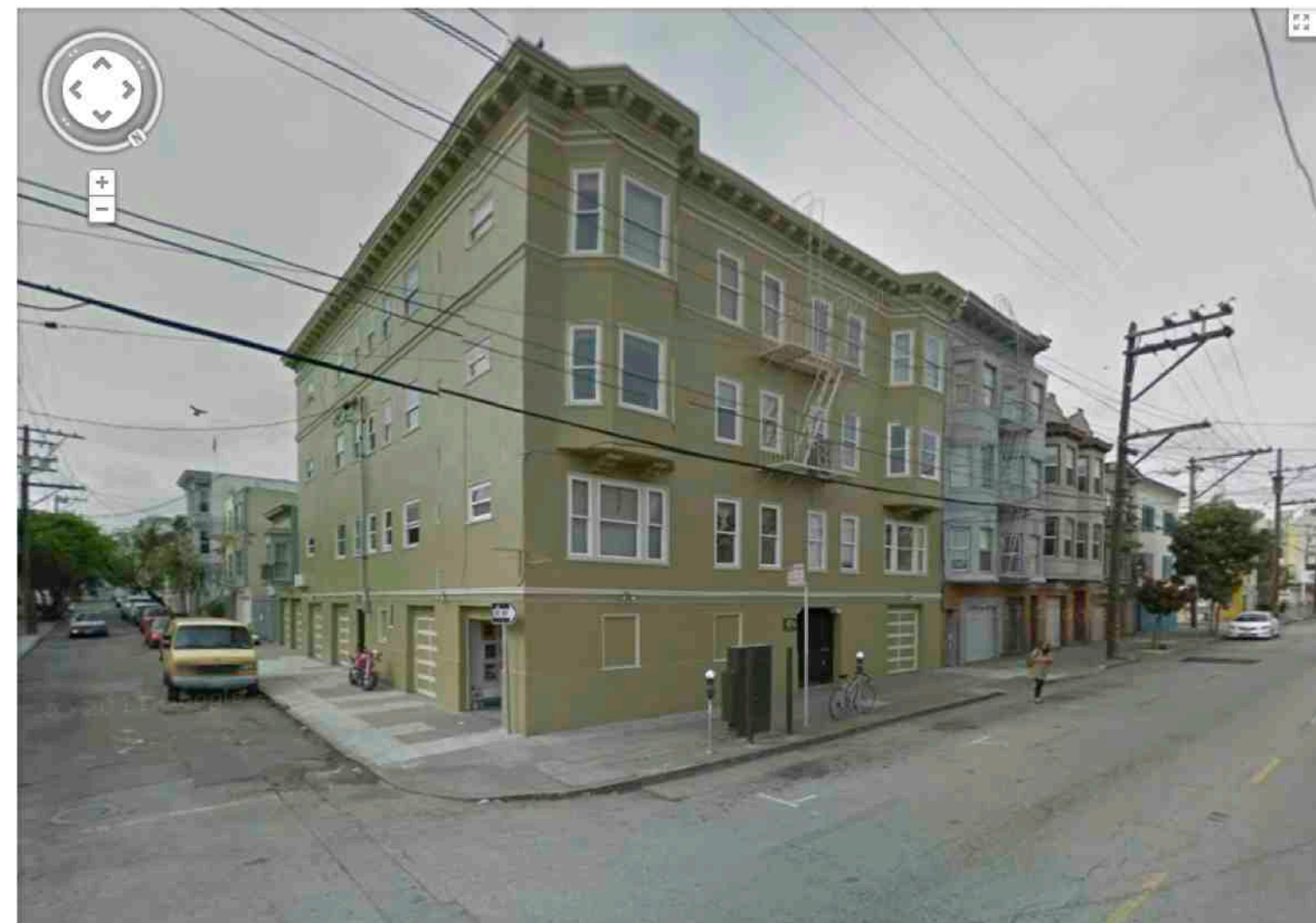
LOOKING WEST: ALONG 18TH STREET.



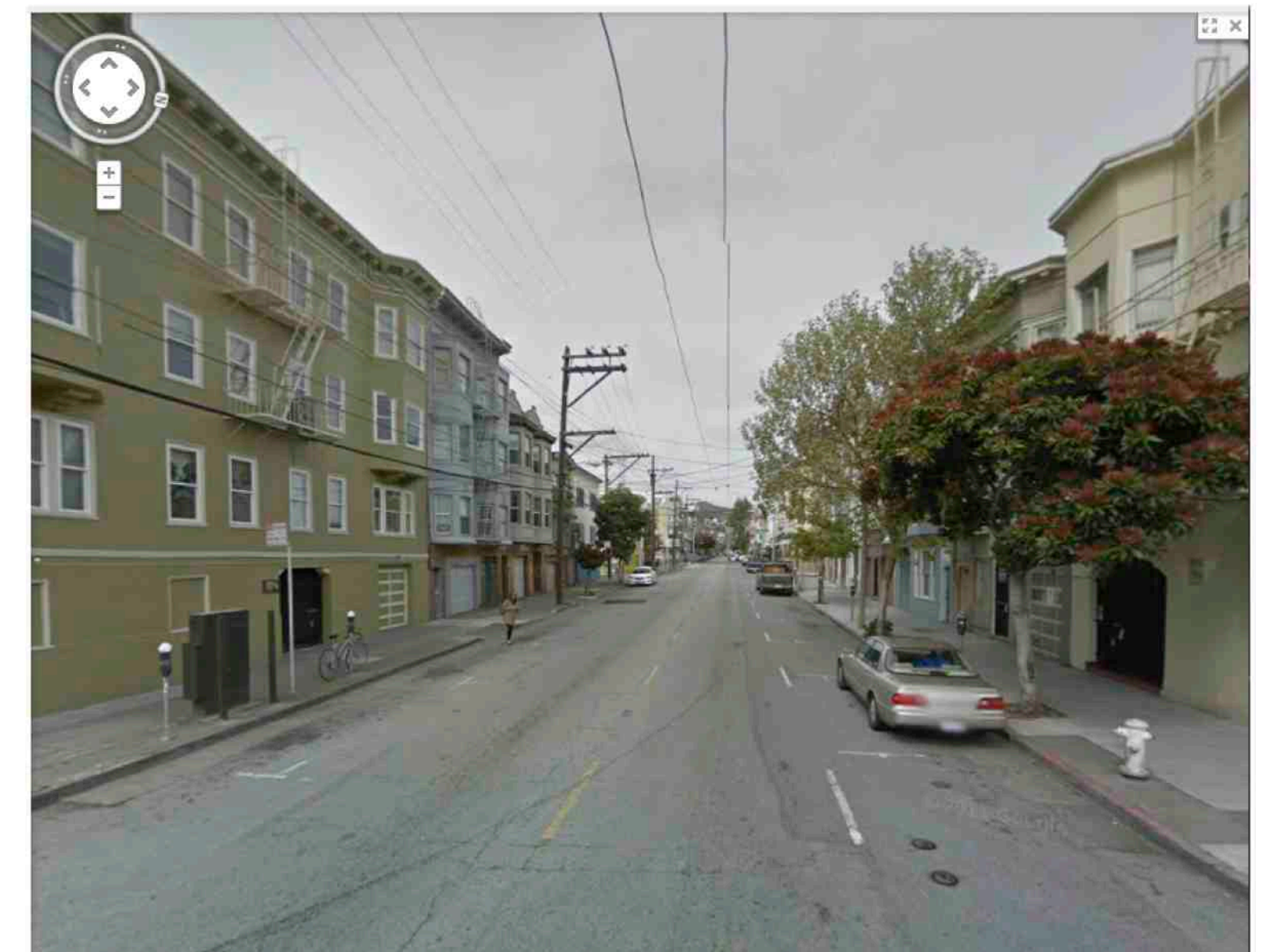
LOOKING SOUTHWEST: ALONG 18TH & SAN CARLOS STREETS.



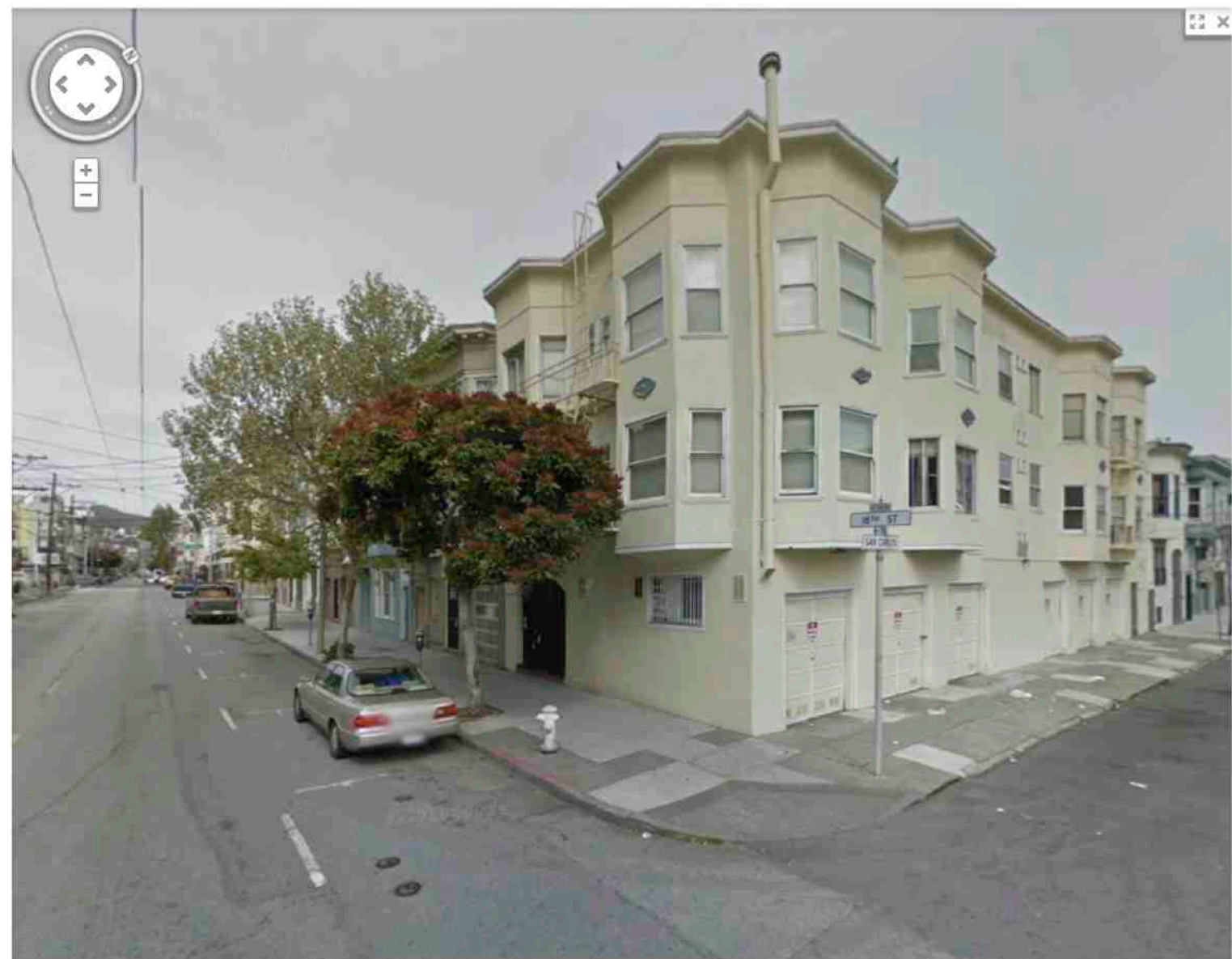
LOOKING SOUTH: ALONG SAN CARLOS STREET.



LOOKING SOUTHWEST: ALONG 18TH & SAN CARLOS STREETS.



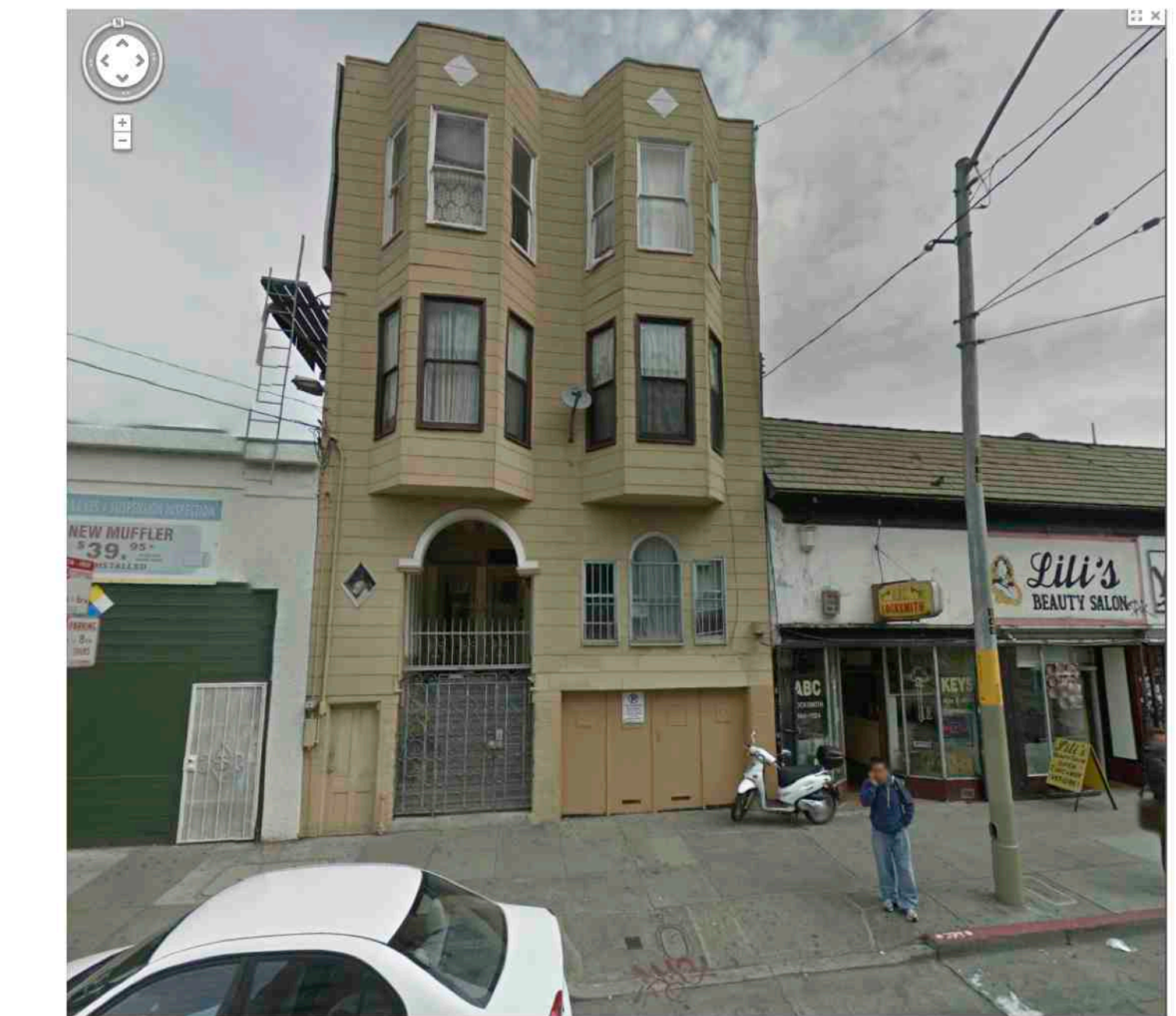
LOOKING WEST: ALONG 18TH STREET.



LOOKING NORTHWEST: ALONG 18TH & SAN CARLOS STREETS.



LOOKING NORTH: ALONG SAN CARLOS STREET.



LOOKING NORTH: EASTERN NEIGHBOR ALONG 18TH STREET.





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EXISTING 1 STORY BUILDING  
3420 SAN CARLOS STREET  
LOT 090

EXISTING 4 STORY BUILDING  
LOT 015

EXISTING 4 STORY BUILDING  
LOT 019

NOTE: SEE FLOOR AND ROOF PLANS FOR ALL NOTES AND DIMENSIONS

NOTE: SEE SURVEY PREPARED BY GL A ENGINEERS, INC.: DATED OCTOBER 20, 2012, REGARDING THE LEGEND OF SYMBOLS AND ABBREVIATIONS AND ANY OTHER SITE INFORMATION. ALL SITE INFORMATION INDICATED ON THIS DRAWING IS TAKEN FROM THIS SURVEY.

1001



**SBA**  
**STERNBERG**  
**BENJAMIN**  
**ARCHITECTS**



EXISTING SITE /  
ROOF PLAN

[illegible]

Rev./Issue.	Date
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18TH STREET 64' WIDE

SAN CARLOS STREET 40' WIDE

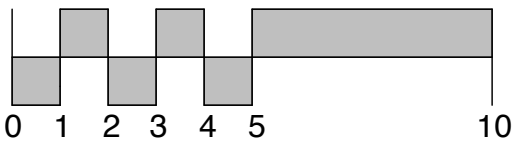
EXISTING  
COMMERCIAL  
BUILDING

55'-0"

85'-0"

GROUND FLOOR PLAN

1



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NEW 16 UNIT RESIDENTIAL  
BUILDING  
3420 18TH STREET  
BLOCK 9576 LOT 090  
SAN FRANCISCO, CA

GROUND FLOOR  
PLAN

PPA REV	05/01/13
VARIANCE	02/04/14

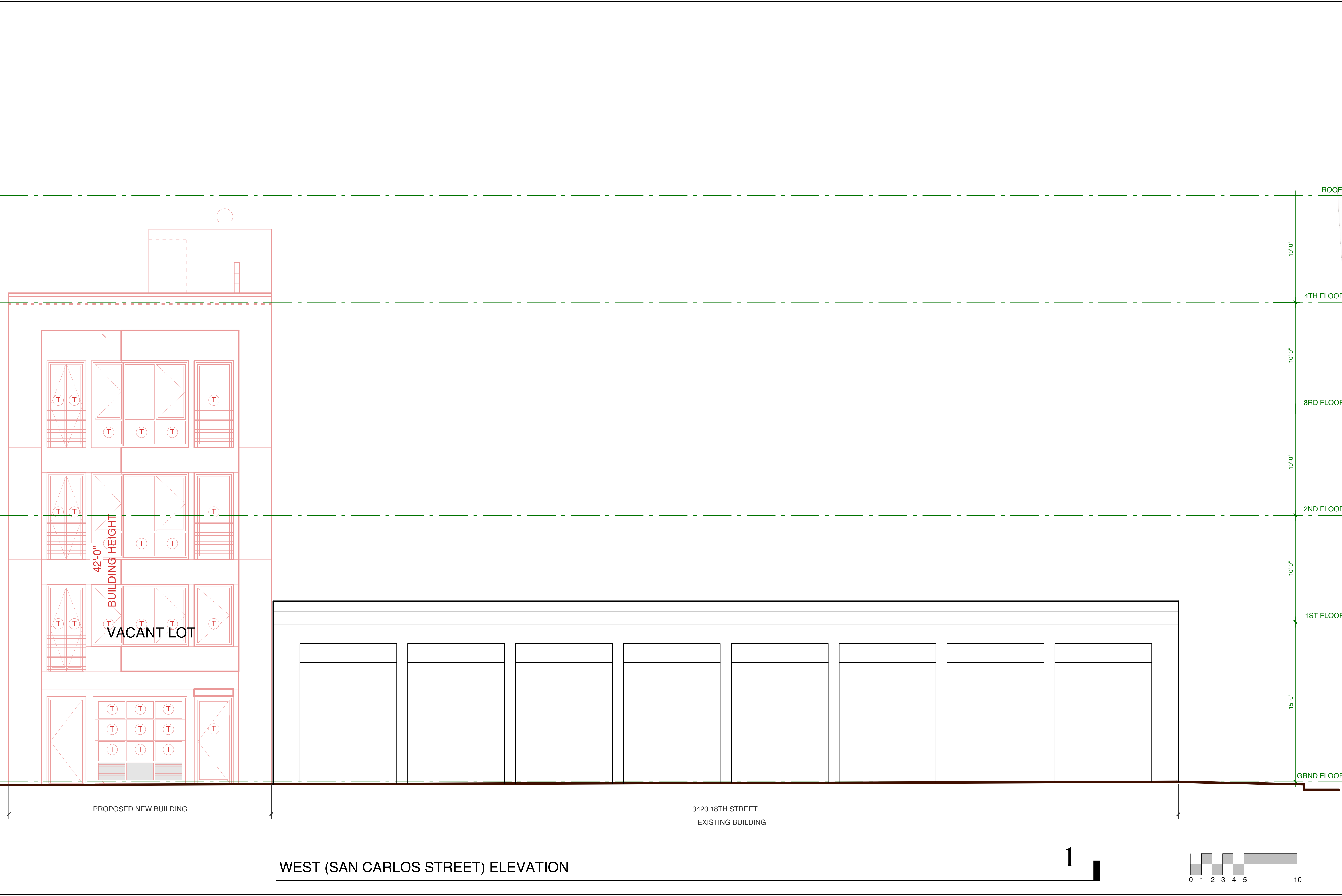

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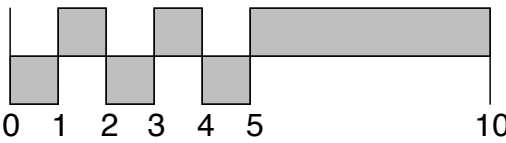
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SOUTH (18TH STREET) ELEVATION



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LICENSED ARCHITECT  
DAVID STERNBERG  
No. C 111102  
REN. 9/15  
STATE OF CALIFORNIA

NEW 16 UNIT RESIDENTIAL  
BUILDING  
3420 18TH STREET  
BLOCK 3576 LOT 090  
SAN FRANCISCO, CA

SOUTH (18TH  
STREET) ELEVATION

PPA REV 05/01/13

VARIANCE 02/04/14


Rev/Issue	Date
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Date: 12/12/12

Scale: 1/4"=1'-0"

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EXIST. FIRE HYDRANT

NEW STREET TREE: MINIMUM 24" BOX.  
PRECISE LOCATION & SPECIES TO BE  
COORDINATED WITH D.P.W. - BUREAU OF  
URBAN FORESTRY (TYP.).

REMOVE  
EXISTING CURB  
CUT

18TH STREET 64' WIDE

SAN CARLOS STREET 40' WIDE

NEW CURB CUT.

PROPOSED  
NEW BUILDING

NEW SIDEWALK, CURB AND GUTTER (TYP.)

NEW 5 LEVEL BUILDING  
3420 SAN CARLOS STREET  
LOT 090

VACANT LOT  
LOT 018

EXISTING 4 STORY BUILDING  
LOT 019

EXISTING 4 STORY BUILDING  
LOT 015

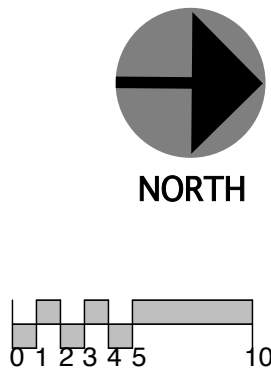
PORTION OF BLOCK 3576

NOTE: SEE FLOOR AND ROOF PLANS FOR ALL NOTES AND DIMENSIONS

NOTE: SEE SURVEY PREPARED BY GLA ENGINEERS, INC.; DATED OCTOBER 20, 2012. REGARDING  
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SITE / ROOF PLAN

1



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SAN FRANCISCO, CA

PROPOSED SITE /  
ROOF PLAN

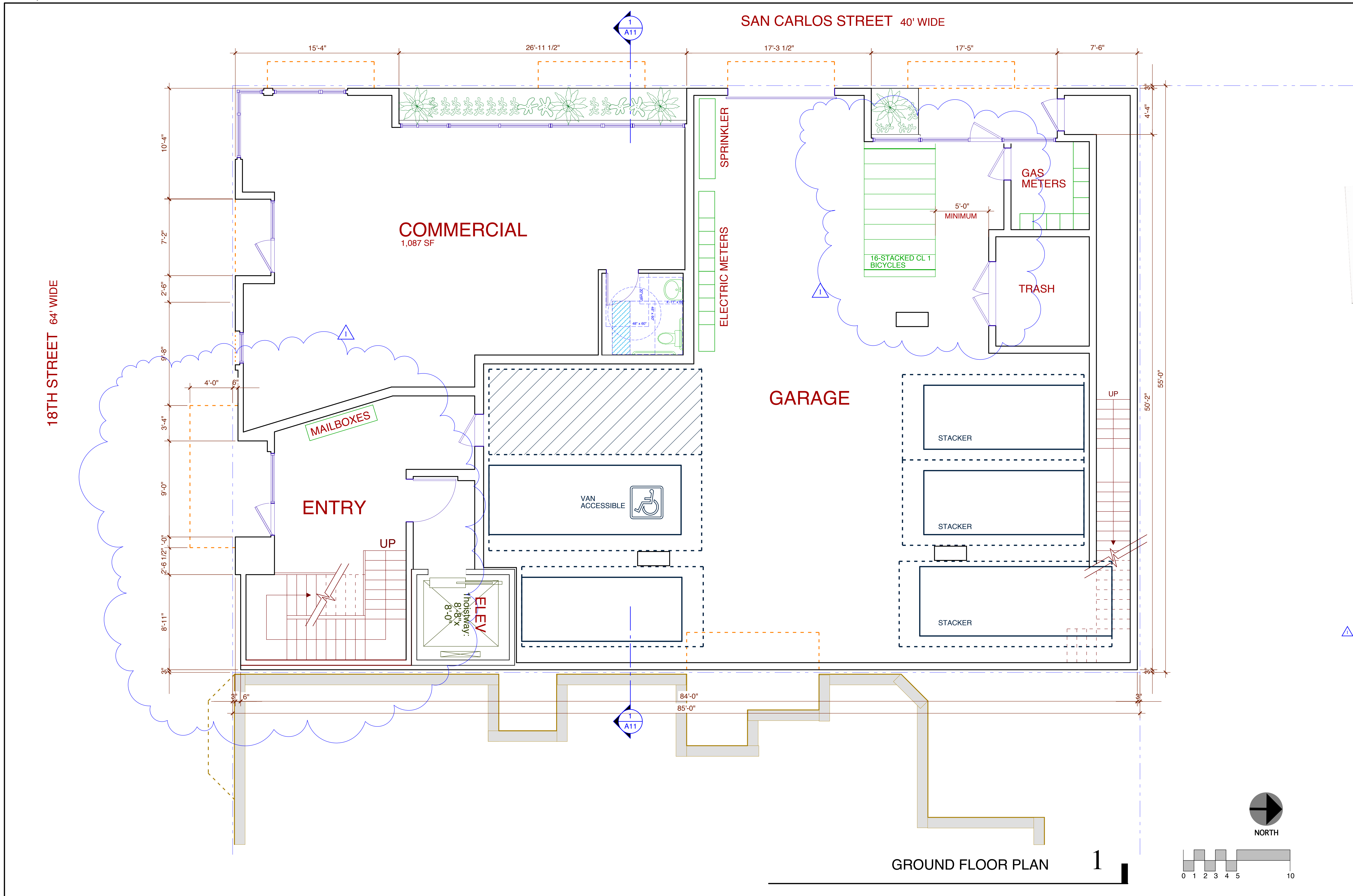
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A0.6





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PPA REV 05/01/13

VARIANCE 02/04/14

PLANN'G REV. 05/08/14

Rev/Issue.

Date

Date: 12/12/12

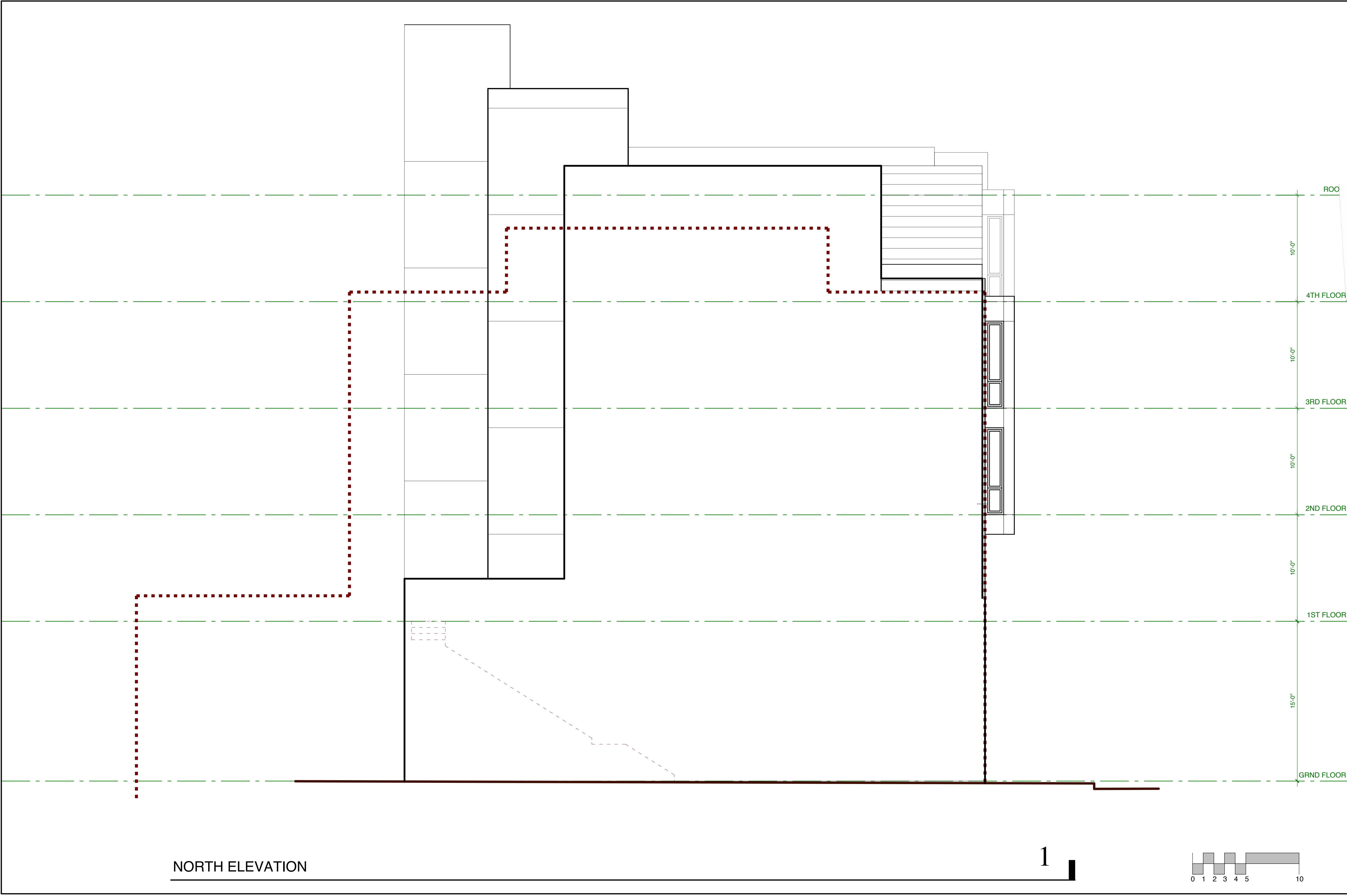
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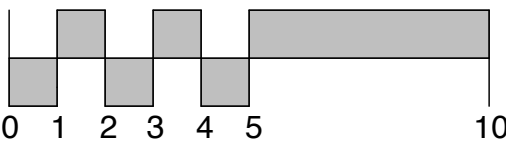
**A1**





NORTH ELEVATION

1



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NORTH  
ELEVATION

Rev/Issue.	Date
PPA REV	05/01/13

Date: 10/04/12

Scale: 1/4"=1'-0"

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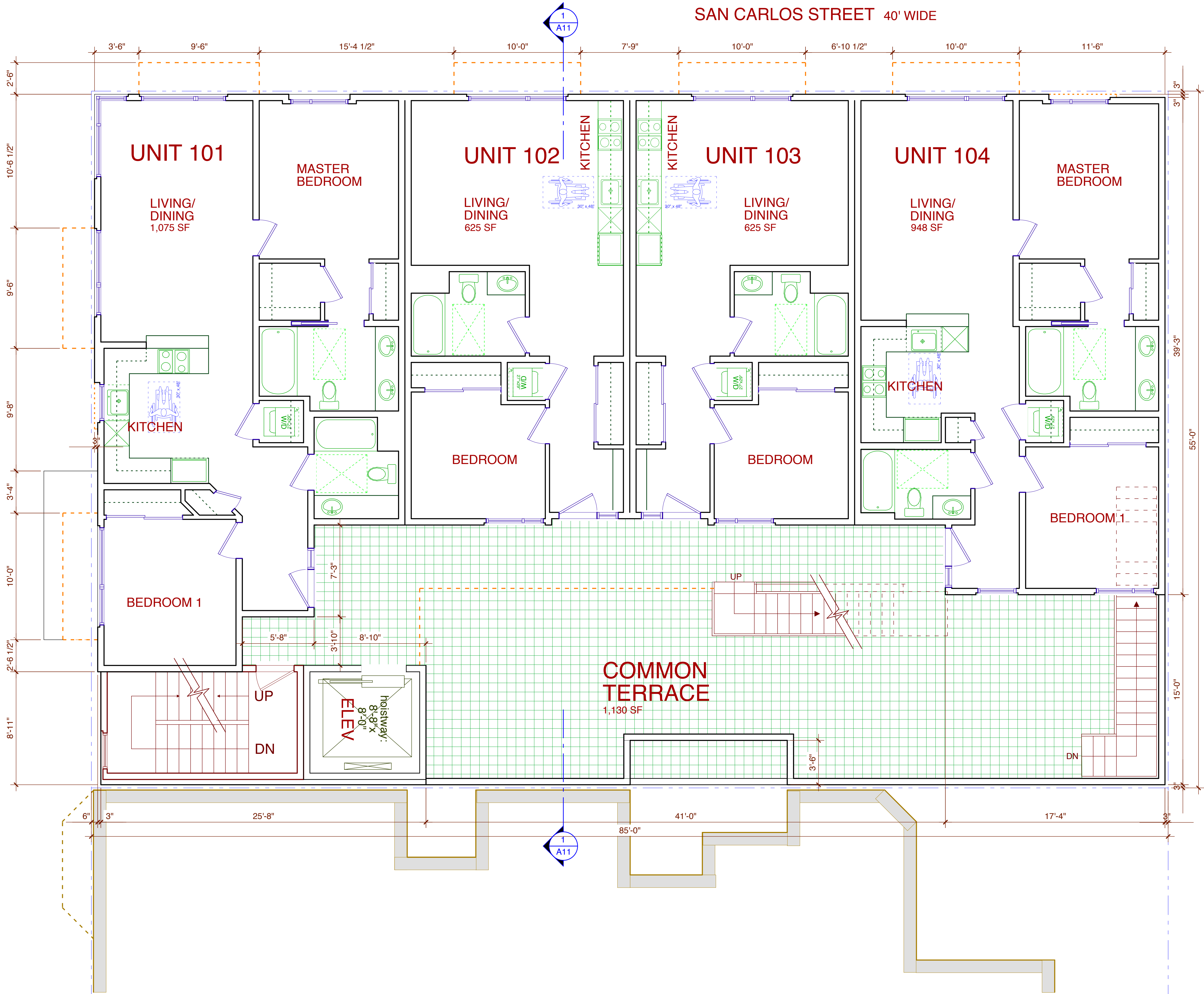






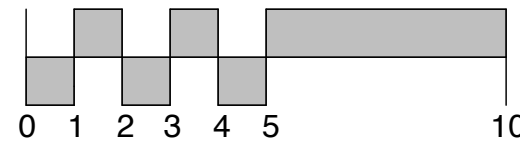
18TH STREET 64' WIDE

SAN CARLOS STREET 40' WIDE



FIRST FLOOR PLAN

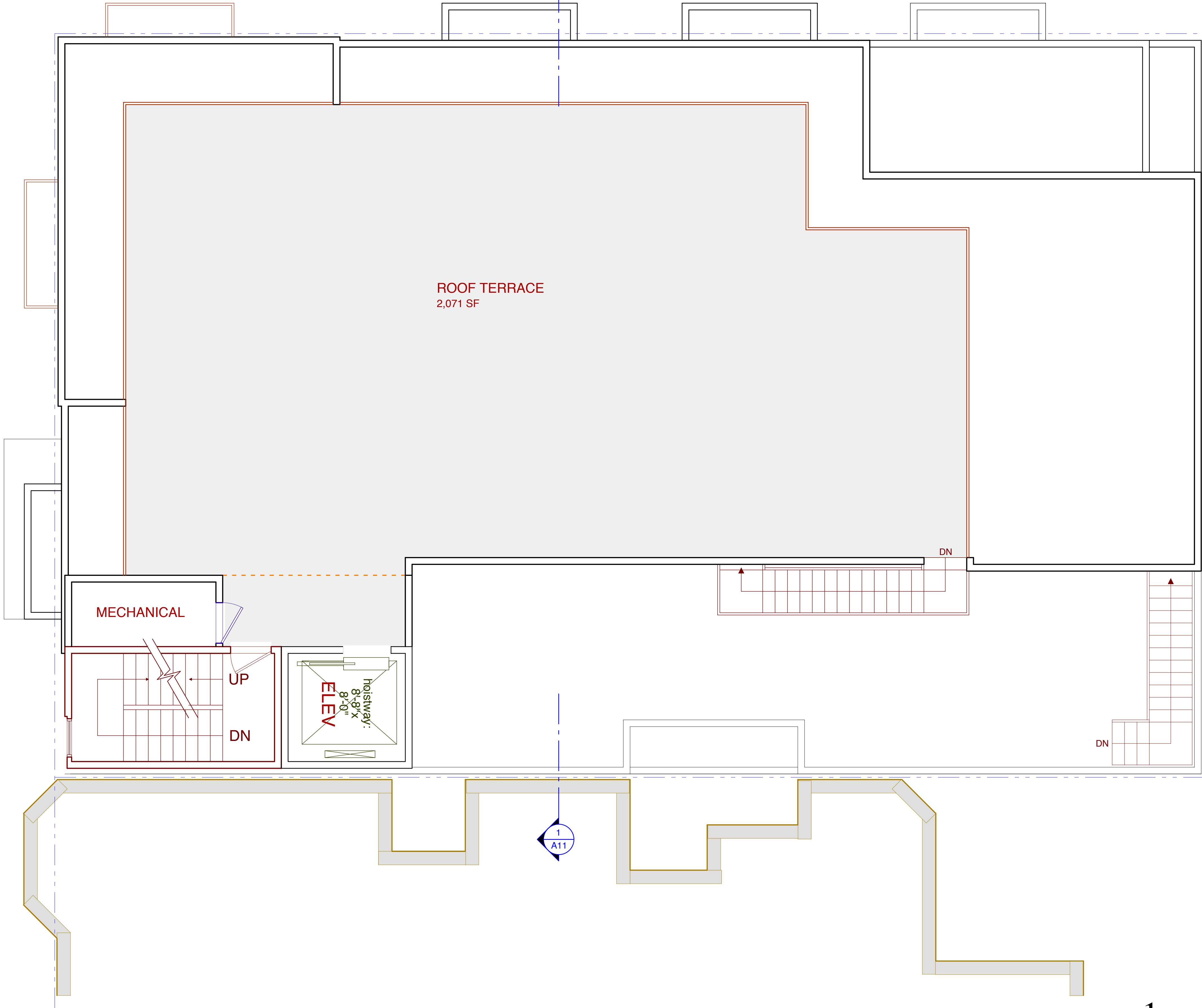
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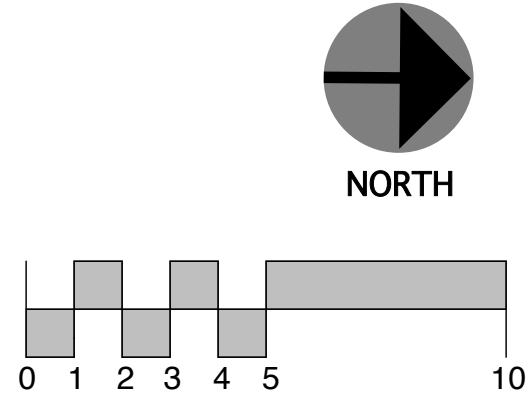
18TH STREET 64' WIDE

SAN CARLOS STREET 40' WIDE



ROOF PLAN

1



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BLOCK 9576 LOT 090  
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ROOF PLAN

PPA REV	05/01/13

Rev/Issue	Date

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A6





WEST (SAN CARLOS STREET) ELEVATION

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BLOCK 3576 LOT 090  
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WEST (SAN CARLOS  
STREET) ELEVATION

PPA REV 05/01/13  
VARIANCE 02/04/14  
PLANN'G REV. 05/08/14  
PLANN'G REV. 05/16/14

Rev/Issue. Date

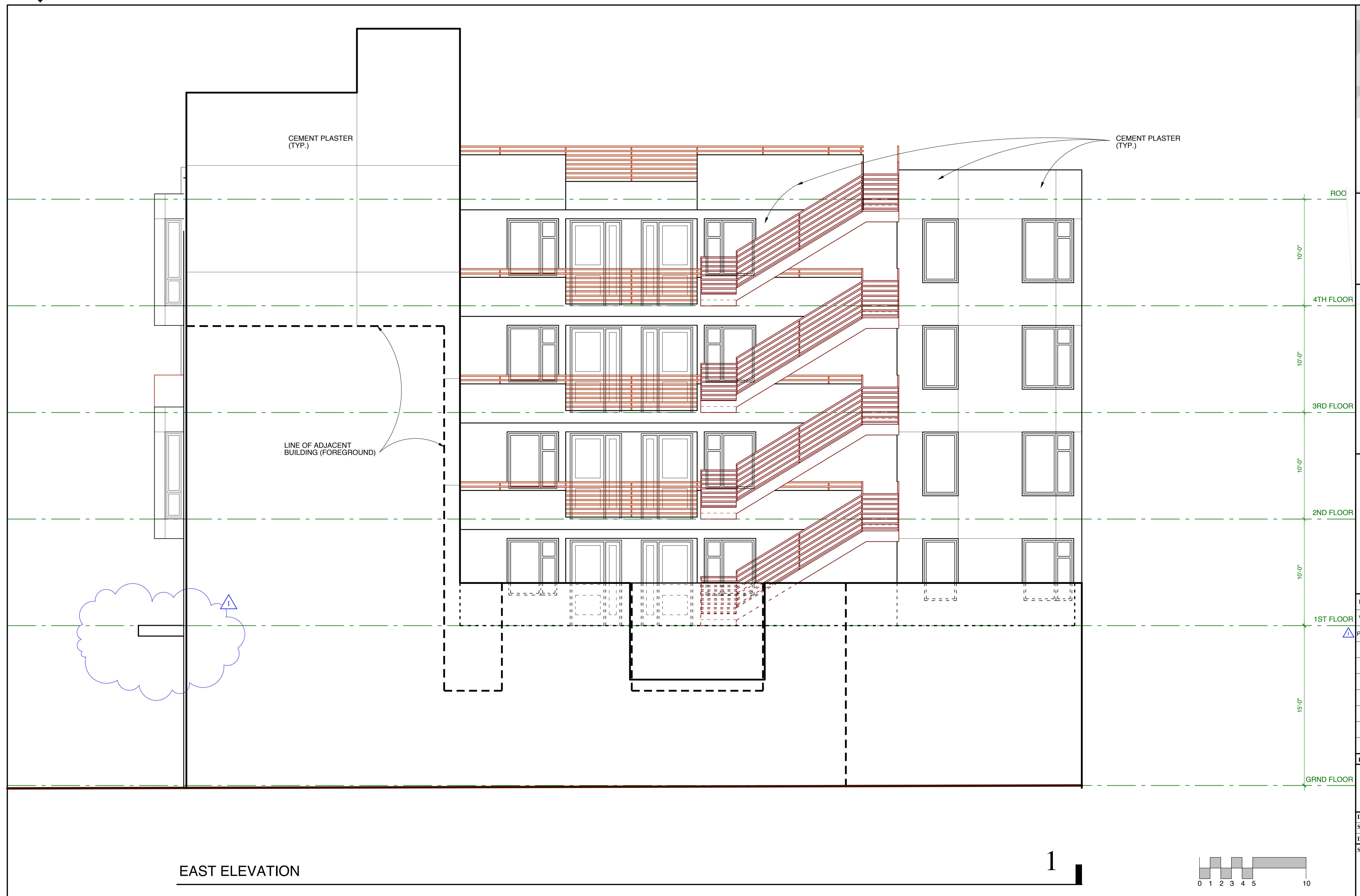
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NEW 16 UNIT RESIDENTIAL  
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EAST ELEVATION

PPA REV	05/01/13
VARIANCE	02/04/14
PLANN'G REV.	05/08/14

Rev./Issue.	Date
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Date:	10/04/12
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