



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 49 Grace Street Cross Street(s): Mission St. & Howard St. Block /Lot No.: 3509/027 Zoning District(s): SLR/50-X Area Plan:	Case No.: 2012.1571V Building Permit: 2012.05.17.0722 Applicant/Agent: Raveevarn Chocksombatchai Telephone: (415) 290-4563 E-Mail: ravee@veevdesign.com
PROJECT DESCRIPTION	
<p>The proposal includes interior renovations, alterations to the facade, and increase in height for the subject building from 18-feet to 21-feet 8-inches. The subject building contains a single-family dwelling.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property must provide a rear yard of 15 feet at the lowest story containing a dwelling unit. The existing building currently covers the entire lot and does not provide a rear yard; therefore, the proposed increase in building height will occur within the rear yard and requires a variance.</p> <p>PER SECTION 188 OF THE PLANNING CODE a non-complying structure cannot be expanded. The subject building is considered a non-complying structure because it is located within the required rear yard; therefore, the project requires a variance.</p>	
ADDITIONAL INFORMATION	
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Brittany Bendix Telephone: (415) 575-9114 E-Mail: brittany.bendix@sfgov.org</p> <p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2012.1571V.pdf</p>	

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On DATE, the Department issued the required Section 311/312 notification for this project (expires DATE) <OR> The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

49 Grace Street
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SAN FRANCISCO, CA

RESIDENTIAL REMODELING

BLOCK 3509/ LOT 27



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DESCRIPTION OF WORK

	EXTERIOR ELEVATION KEY		ROOM NUMBER
	SHEET WHERE ELEVATION IS DRAWN		WALL TYPE STUD SIZE OR CMU SIZE
	BUILDING OR WALL SECTION KEY		FIRE RATING IN HOURS (INSULATION (I)-THERMAL A-Acoustical)
	DETAIL KEY		DOOR TYPE
	SHEET WHERE DETAIL IS DRAWN		WD 1 - WINDOW TYPE L 1 - LOUVER TYPE
	DETAIL KEY		COLUMN LINE REFERENCE
	AREA TO BE DETAILED OR ENLARGED		DRAWING IDENTIFICATION
	SHEET FROM WHICH DRAWING IS REFERENCED	&	AND
		@	ANGLE
		⊙	AT
		X	BY
		∅	CHANNEL
		Ø	DIAMETER OR ROUND
		PL	PLATE
	INTERIOR ELEVATION VIEW		REFERENCE DATUM EL. 0.000 EQUALS TOP OF FINISH FLOOR
	INTERIOR ELEVATION NUMBER		W.P. DIMENSIONAL WORK POINT
	SHEET WHERE ELEVATION IS DRAWN		CENTERLINE
	SPRINKLER HEAD		SMOKE DETECTOR
	SUPPLY AIR DIFFUSER		
	EXHAUST AIR REGISTER		
	RETURN AIR REGISTER		
	CEILING ACCESS PANEL		

	EARTH		ACOUSTICAL TILE
	CONCRETE		PLASTER ON METAL LATH
	BRICK/TERRACOTTA		GYPSUM BOARD
	CONCRETE MASONRY UNIT		PLYWOOD
	STONE		BATT OR BLANKET INSULATION
	CERAMIC TILE OVER MORTAR GROUT		RIGID INSULATION
	TERRAZZO		PREMOLDED EXPANSION JOINT FILLER
	NON-FERROUS METAL		WELDED WIRE FABRIC
	FERROUS METAL, LARGE SCALE		CARPET OR CARPET AND PAD
	WOOD FRAMING, CONTINUOUS MEMBER		FINISHED WOOD
	WOOD FRAMING, INTERRUPTED MEMBER		

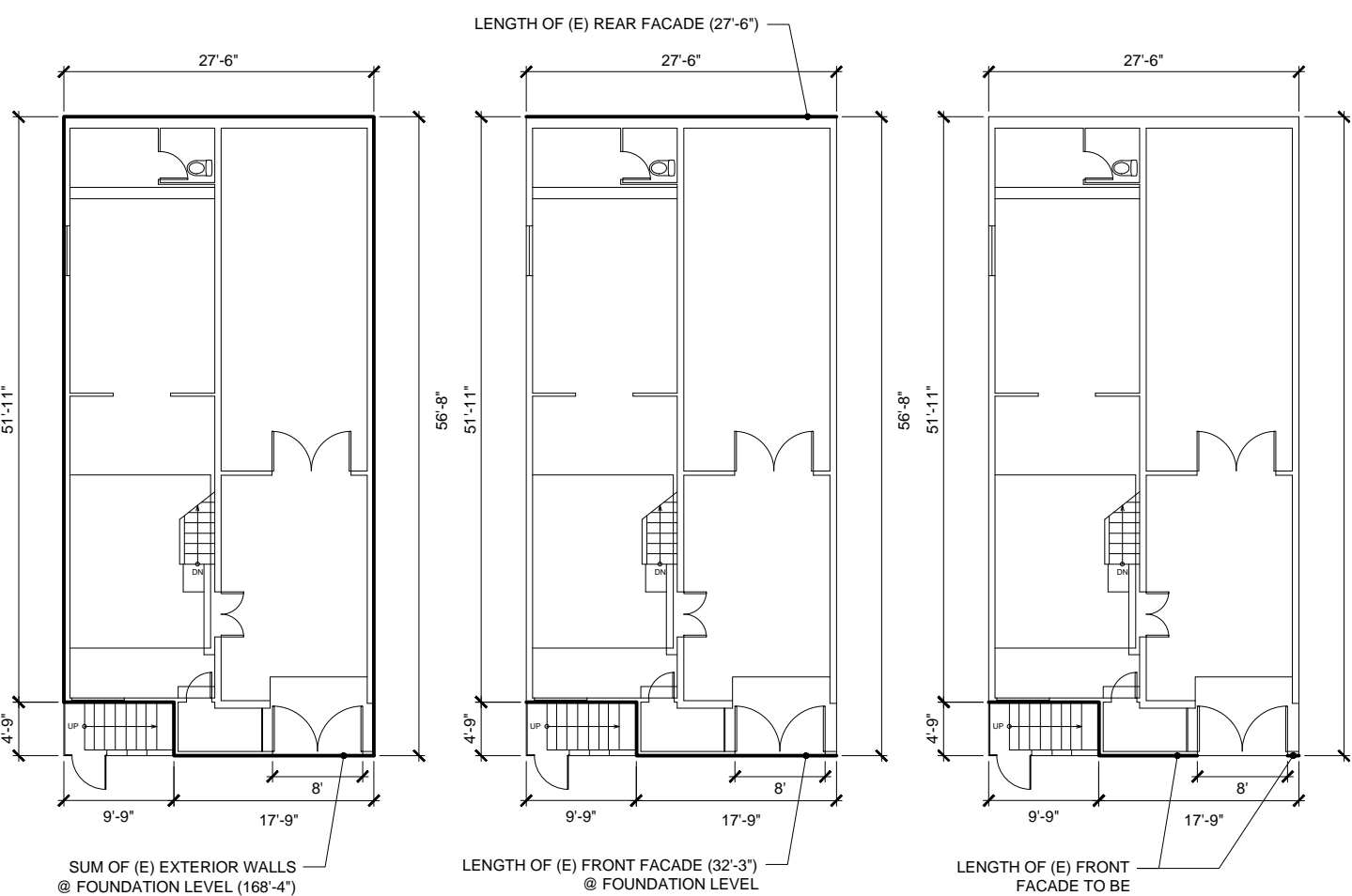
INDEX OF DRAWINGS

The proposal is a remodel of an existing two-story, single-family residence. Work includes the remodel of the interior space.

	EXISTING	PROPOSED	PERMITTED
# OF DWELLING UNITS:	1	1	7
BUILDING SQ FT:	1825 SQFT*	2074 SQFT*	3896 SQFT*
# OF STORIES:	2	2	5
BUILDING HEIGHT:	18'-0"	21'-8"	50'-0"
BUILDING DEPTH:	56'-8"	56'-8"	56'-8"

*GROSS FLOOR AREA PER SF PLANNING CODE SECTION 102.9

EXTERIOR WALL / FACADE LENGTH CALCULATIONS



[1] FAÇADE CALCULATIONS:			
Front Façade			
existing:	32'-3"		
removed:	24'-3"		
Rear Façade			
existing:	27'-6"		
removed:	0'-0"		
Front+Rear Façade:			
existing:	59'-9"		
removed:	24'-3"		
% REMOVED:	40.6%	<	50%

[2] EXTERIOR WALL CALCULATIONS

existing:	168'-4"		
removed:	24'-3"		
% REMOVED:	14.4%	<	65%

SF Planning Code Section 317 (b)(2)(c):
A major alteration of a Residential Building that
[1] proposes the Removal of more than 50% of the
Vertical Envelope Elements
[2] and more than 50% of the Horizontal Elements of the
existing building,
as measured in square feet of actual surface area.

[1] VERTICAL ENVELOPE ELEMENTS CALCULATIONS
North (Rear) Facade
existing: 433 S.F.
removed: 0 S.F.

existing:	991 S.F.
removed:	0 S.F.

South (110) / facade	existing:	476 S.F.		
	removed:	420 S.F.		
West Facade	existing	991 S.F.		
	removed	63 S.F.		
Overall Building	existing:	2889 S.F.		
	removed:	483 S.F.		
	% REMOVED:	16.7%	<	50%

[2] HORIZONTAL ELEMENTS CALCULATIONS*
Existing Second Floor Plate
existing: 1319 S.F.**
removed: 330 S.F.

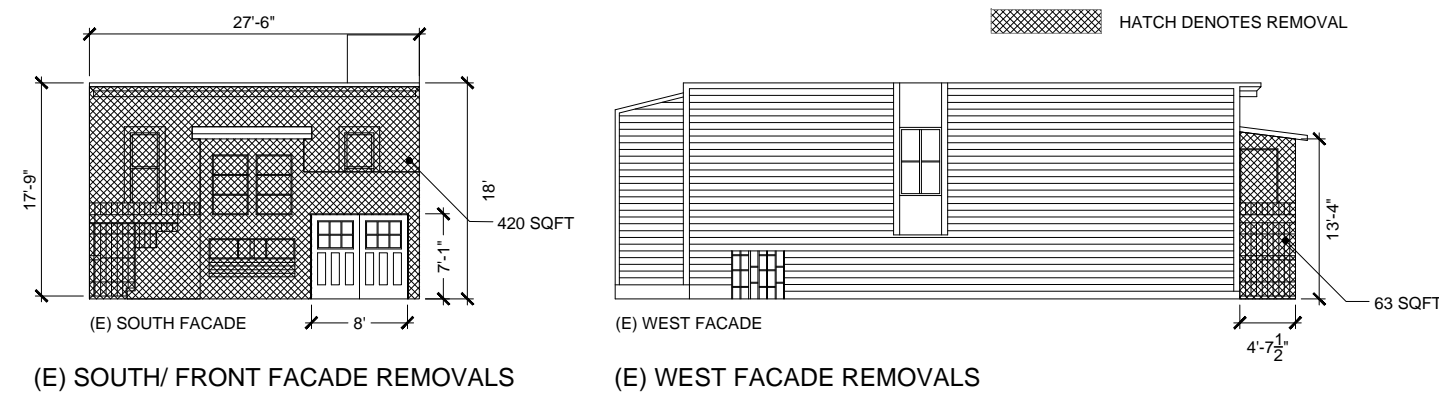
Existing Roof	
existing:	1518 S.F. **
removed:	183 S.F.
Overall Building	
existing:	2837 S.F. **,
removed:	513 S.F.
% REMOVED:	18.1%

*Per SF Planning Code Section 317(b)(5) ground and below grade elements not included in calculations.

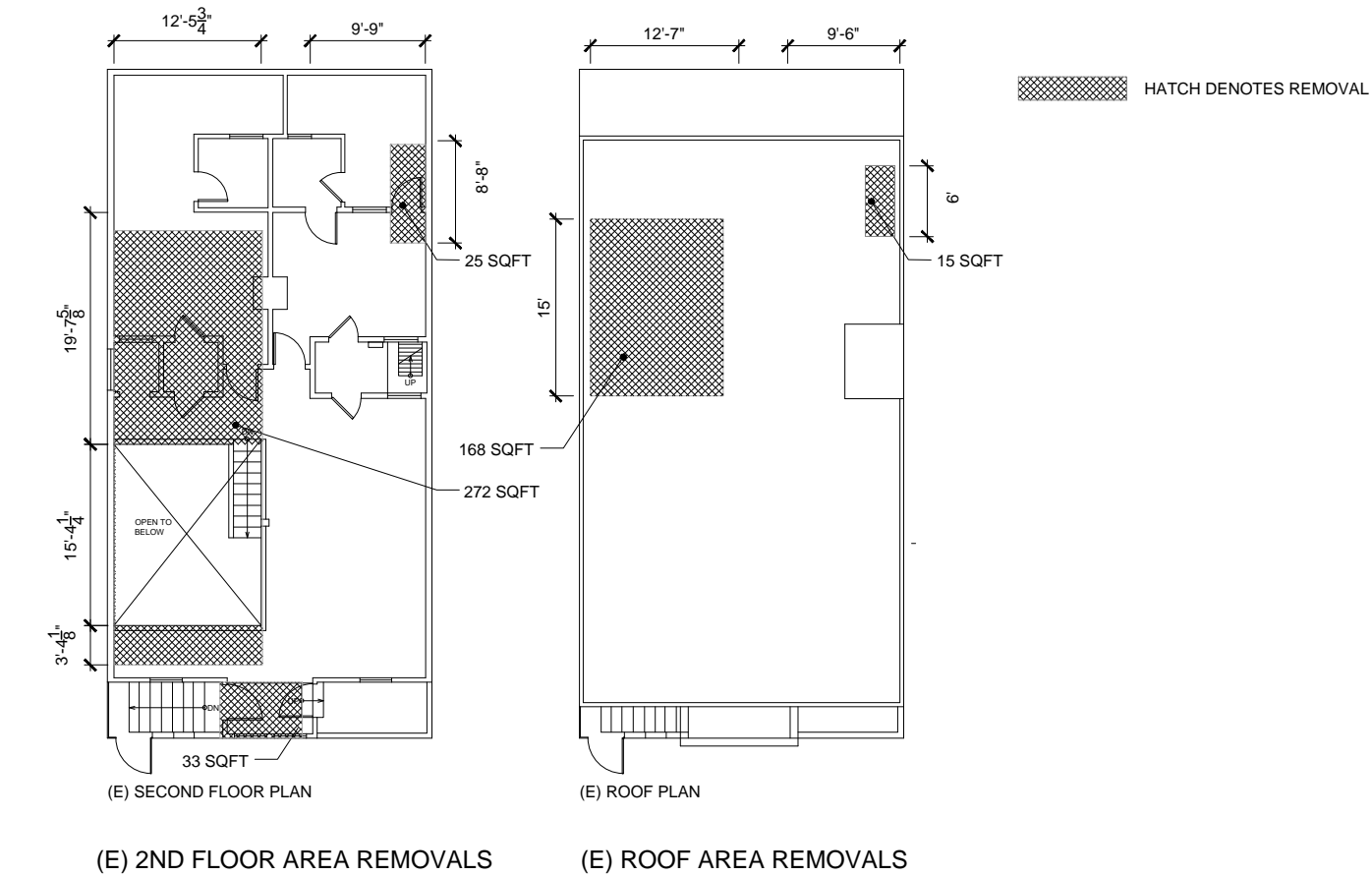
**Per SF Planning Code Section 317(b)(2)(c) horizontal elements are measured in square feet of actual surface area.

**Per SF Planning Code Section 317(b)(2)(c) horizontal elements are measured in square feet of actual surface area.

VERTICAL ENVELOPE ELEMENTS CALCULATIONS



HORIZONTAL ELEMENTS CALCULATIONS



NOT FOR CONSTRUCTION

Sheet No.	Sheet Name
A0.01	COVER SHEET
A0.02	EXISTING & PROPOSED SITE PLANS
A1.01	EXISTING FLOOR PLANS
A1.02	PROPOSED FLOOR PLANS
A2.01	EXISTING & PROPOSED SOUTH / FRONT ELEVATION
A2.02	EXISTING & PROPOSED WEST ELEVATION
A2.03	PROPOSED NORTH & EAST ELEVATIONS
A3.01	PROPOSED BUILDING SECTIONS
S2.1	FOUNDATION AND FLOOR PLANS
S2.2	ROOF PLAN

COVER SHEET

LICENSE STAMP

REVISION	BY
Date	12/26/12
Scale	1/4" = 1'-0"
Drawn	CT / NW
Job No.	071
Sheet	

A0.01

RESIDENTIAL REMODELING

BLOCK 3509/ LOT 27



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EXISTING & PROPOSED SITE PLANS

LICENSE STAMP

REVISION

Y

Date 12/26/12

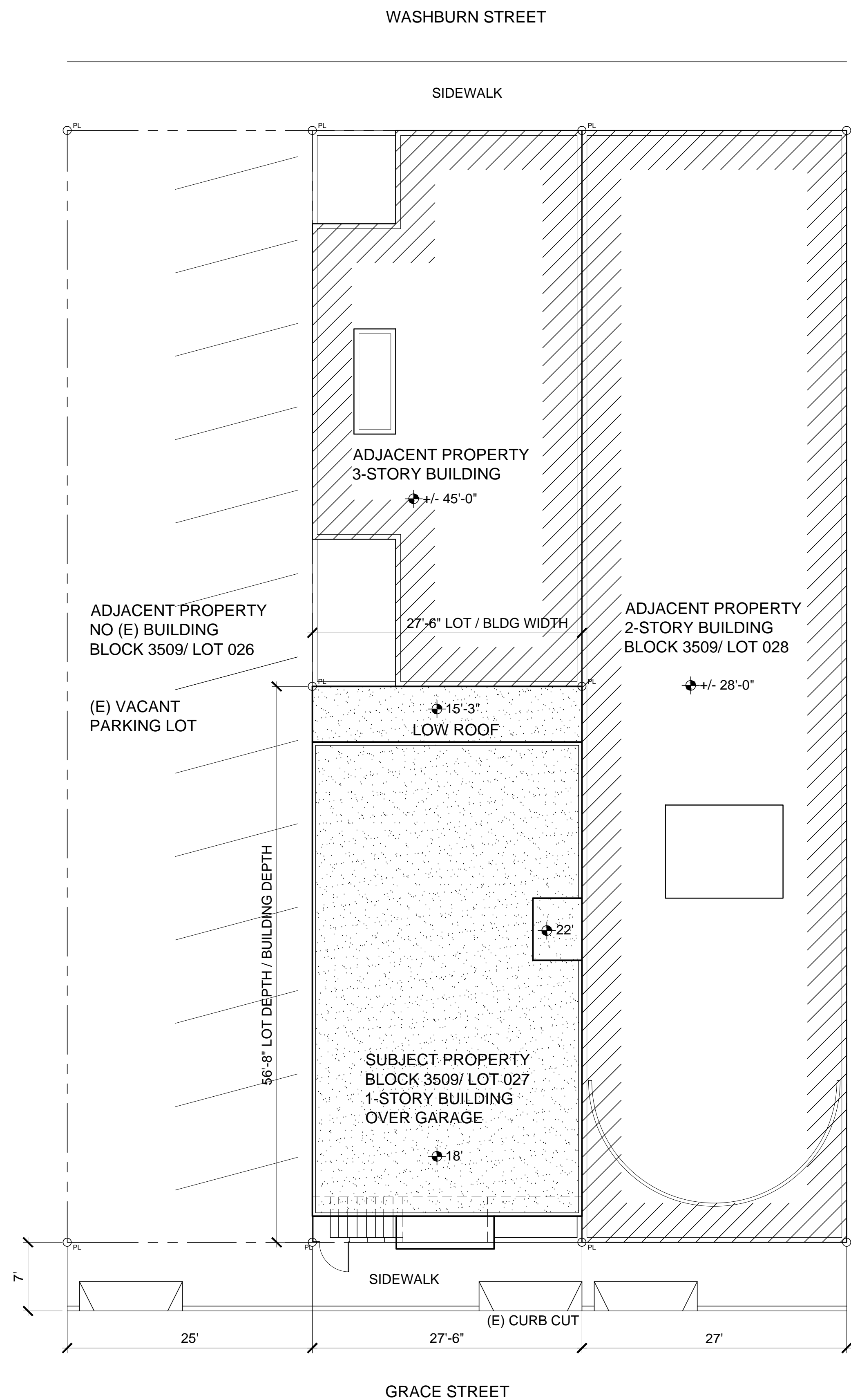
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Drawn CT/NW

Job No. 071

Sheet

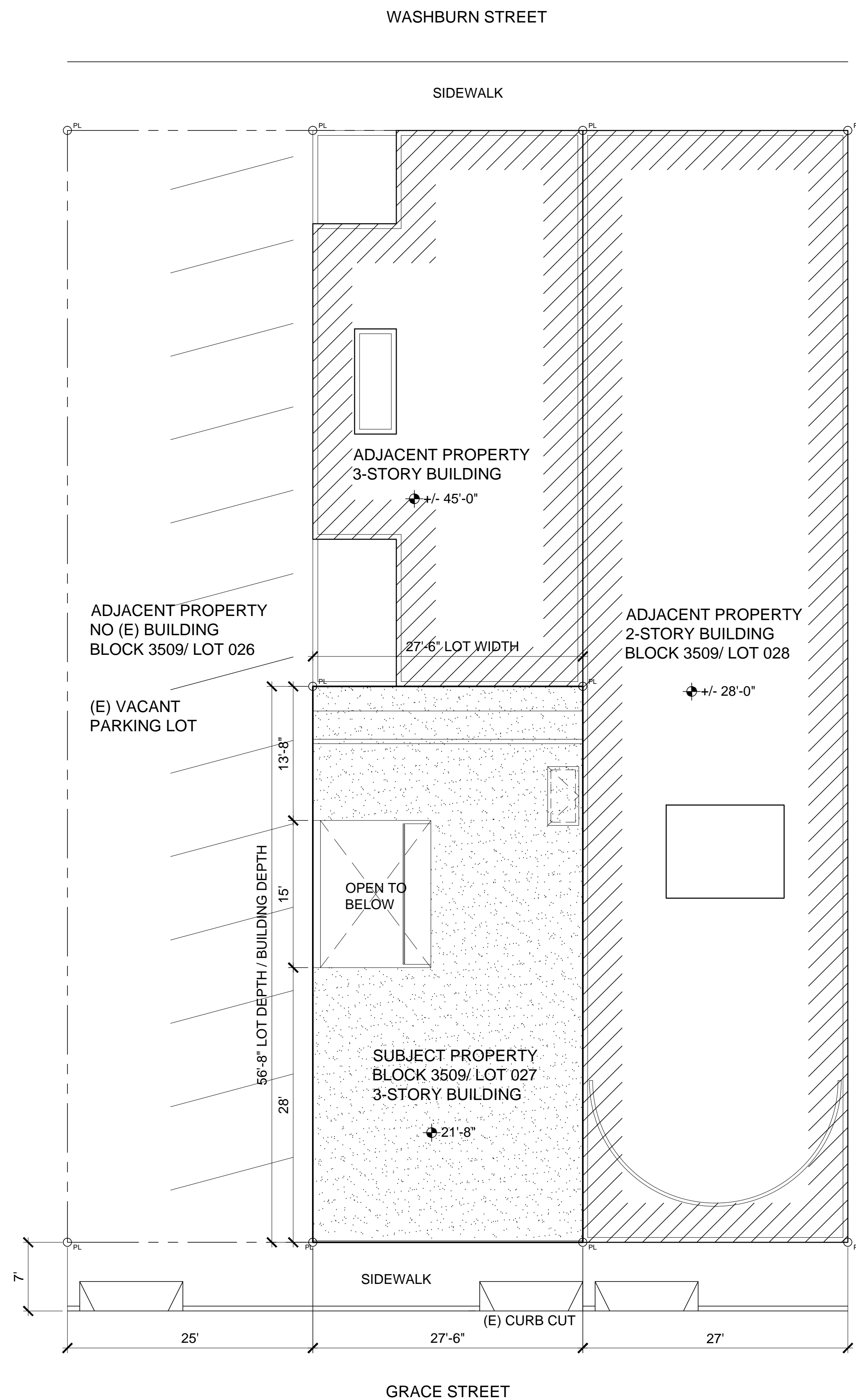
A0.02



EXISTING SITE PLAN

$$1/8'' = 1'-0$$

2
A0.02



PROPOSED SITE PLAN

$$1/8'' = 1'-0''$$


1
A0.02

49 GRACE STREET
SAN FRANCISCO, CA

RESIDENTIAL REMODELING

BLOCK 3509/ LOT 27

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PROPOSED ELEVATIONS & SECTIONS

LICENSE STAMP

REVISION BY

Date 12/26/12

Scale AS NOTED

Drawn NW

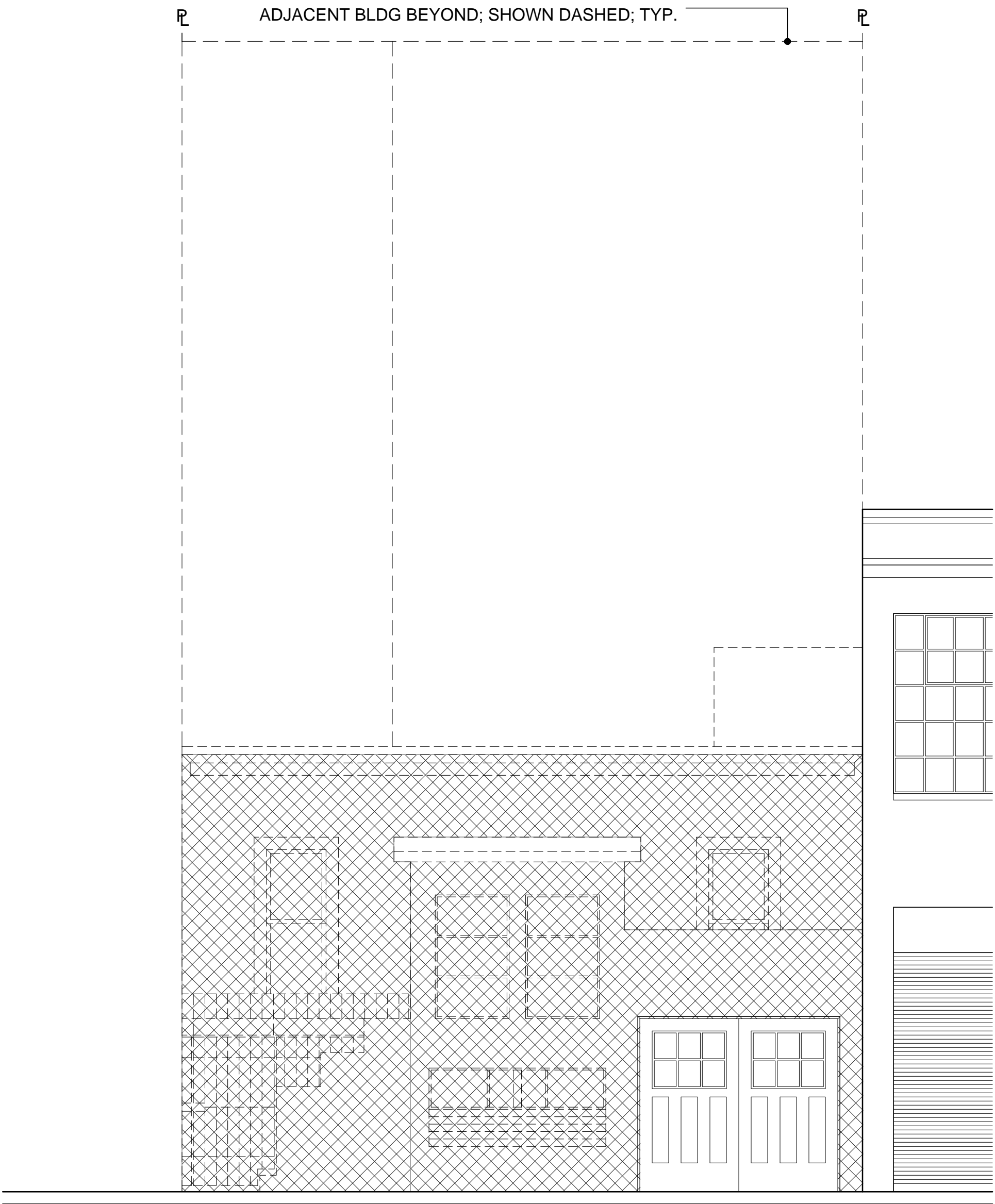
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Sheet

A2.01

SHEET NOTES

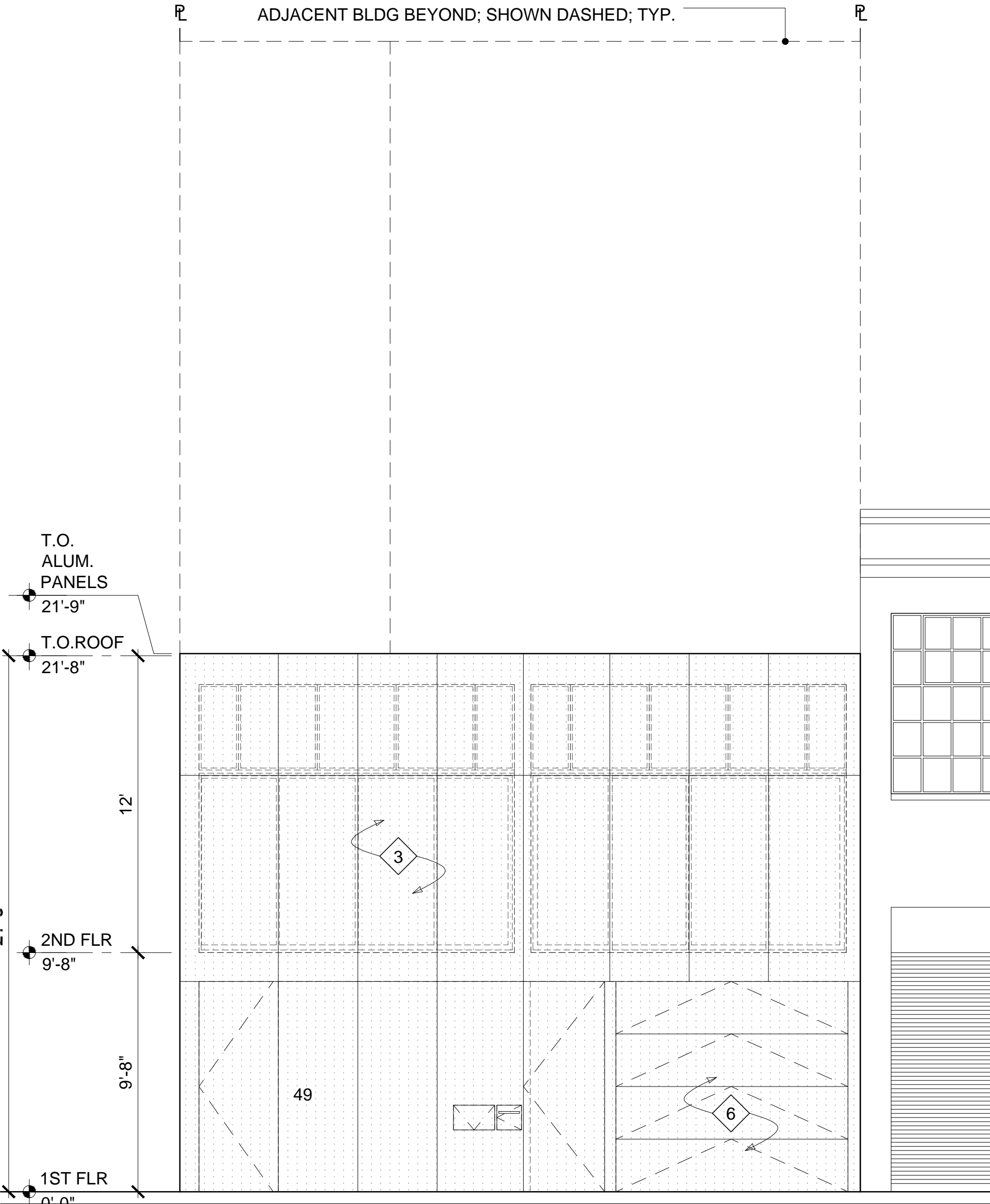
- 1 HARDI PLANK W/ INTEGRAL COLOR
- 2 CLEAR ANODIZED ALUM. FRAME WINDOWS
- 3 CLEAR ANODIZED PERFORATED ALUM. PANELS OVER HARDI-PANEL, GLASS WINDOW, DOOR & GARAGE DOOR
- 4 ALUM. CAP FLASHING.
- 5 HARDI-PANEL W/ INTEGRAL COLOR
- 6 CLEAR ANODIZED PERFORATED ALUM. PANELS OVER GARAGE DOOR FRAMING
- 7 STEEL RESILIENT CHANNEL
- 8 36" W SOLID CORE DOOR



EXISTING SOUTH ELEVATION

1/4"=1'

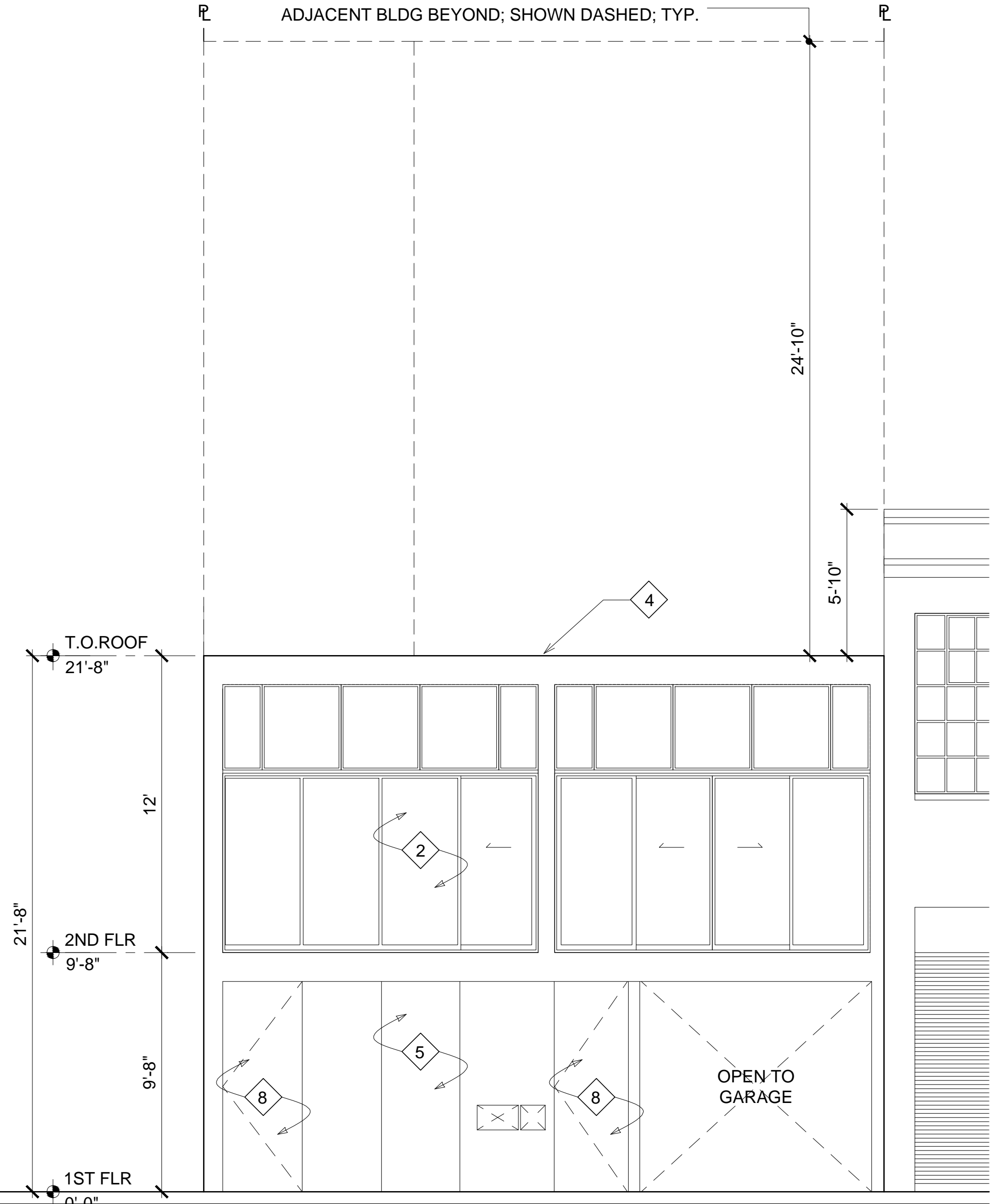
3



PROPOSED SOUTH ELEVATION

1/4"=1'

2



PROPOSED SOUTH ELEVATION - ALUM. PANELS REMOVED

1/4"=1'

1

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EXISTING + PROPOSED WEST ELEVATIONS

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Scale AS NOTED

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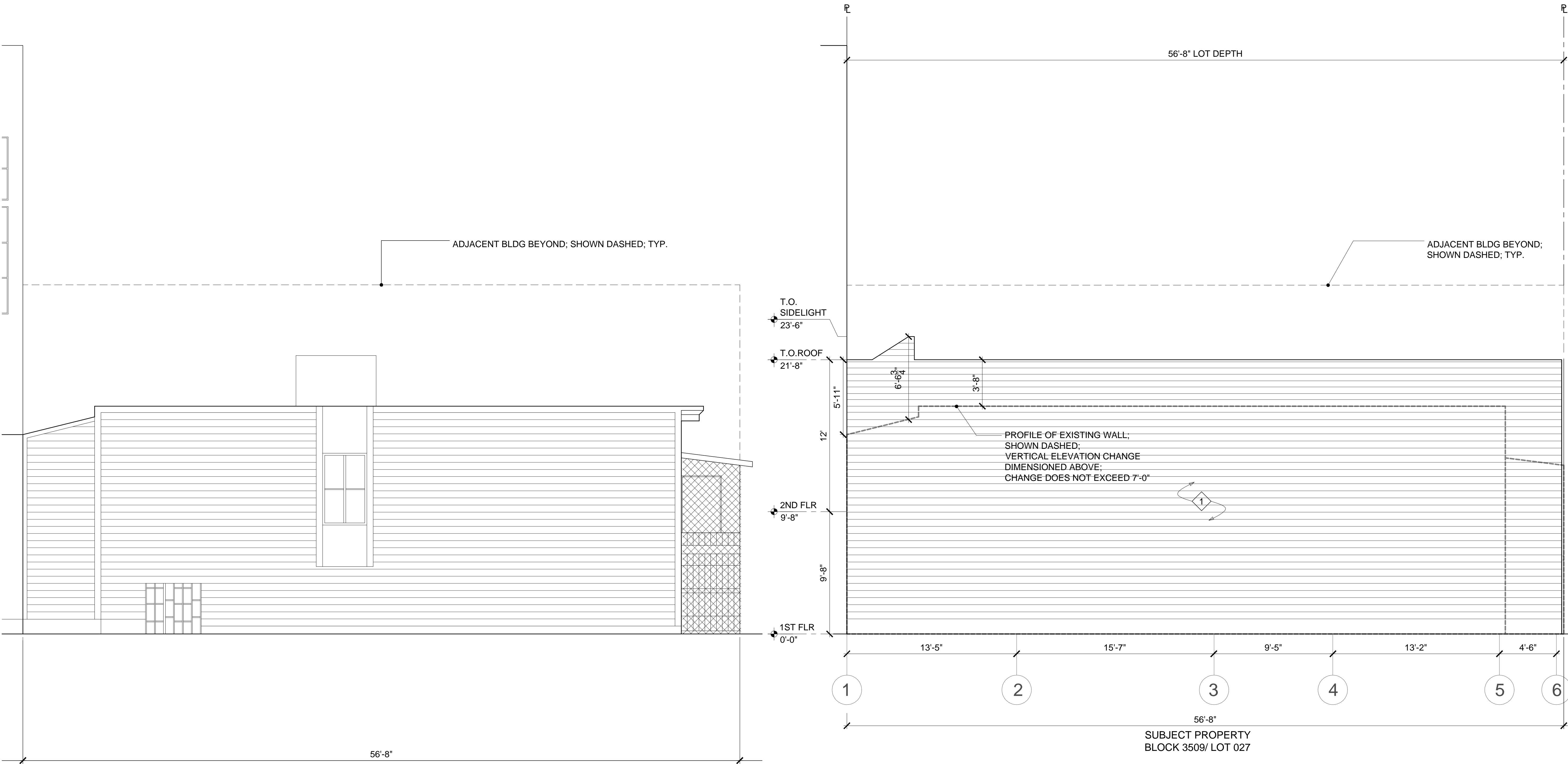
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A2.02

SHEET NOTES

- 1 HARDI PLANK W/ INTEGRAL COLOR
- 2 CLEAR ANODIZED ALUM. FRAME WINDOWS
- 3 CLEAR ANODIZED PERFORATED ALUM. PANELS OVER HARDI-PANEL, GLASS WINDOW, DOOR & GARAGE DOOR
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EXISTING WEST ELEVATION

$$1/4^n = 1$$

PROPOSED WEST ELEVATION

$$1/4'' = 1'$$

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PROPOSED NORTH+EAST ELEVATIONS

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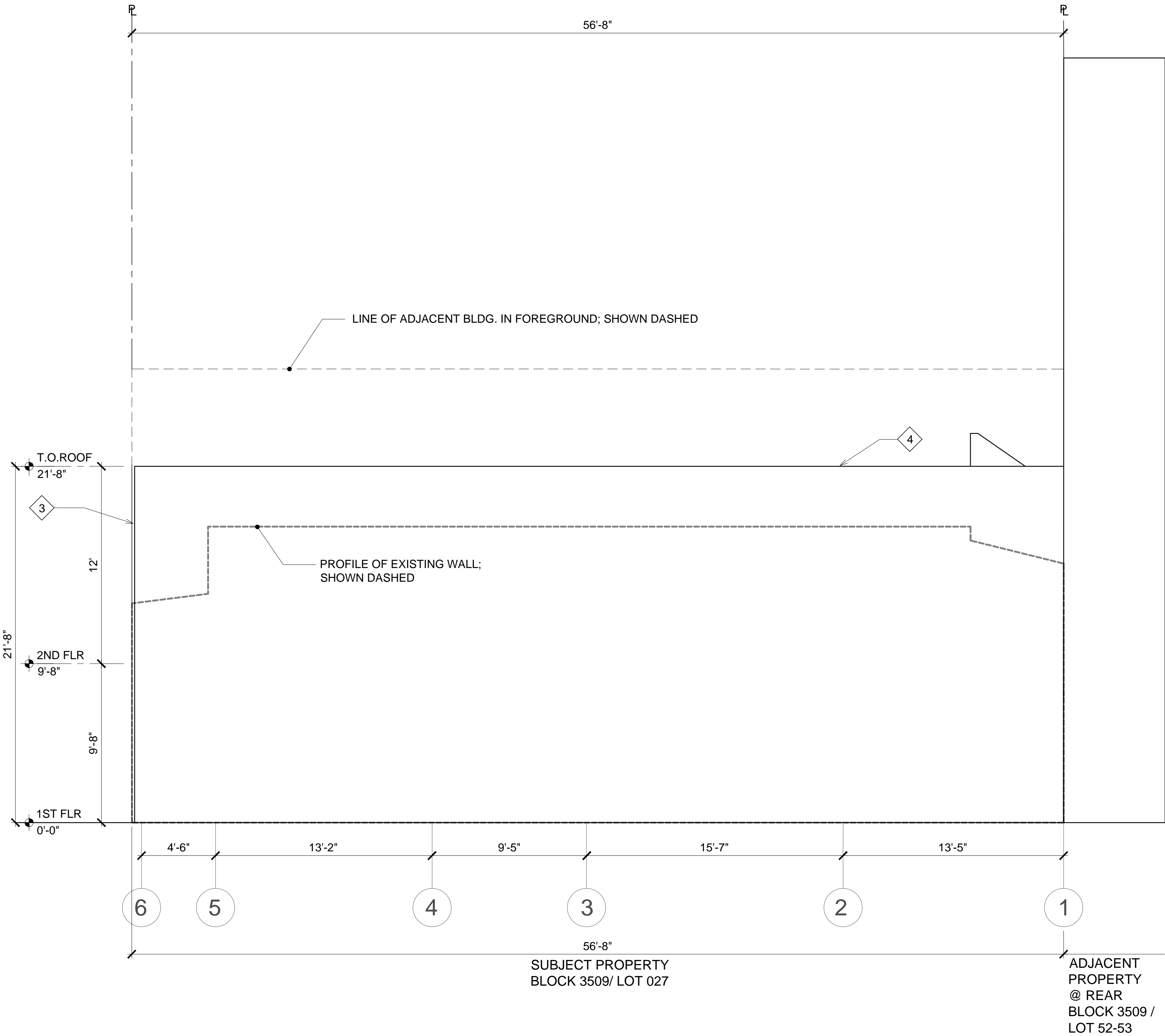
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Date	12/26/12
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Job No.	071
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A2.03

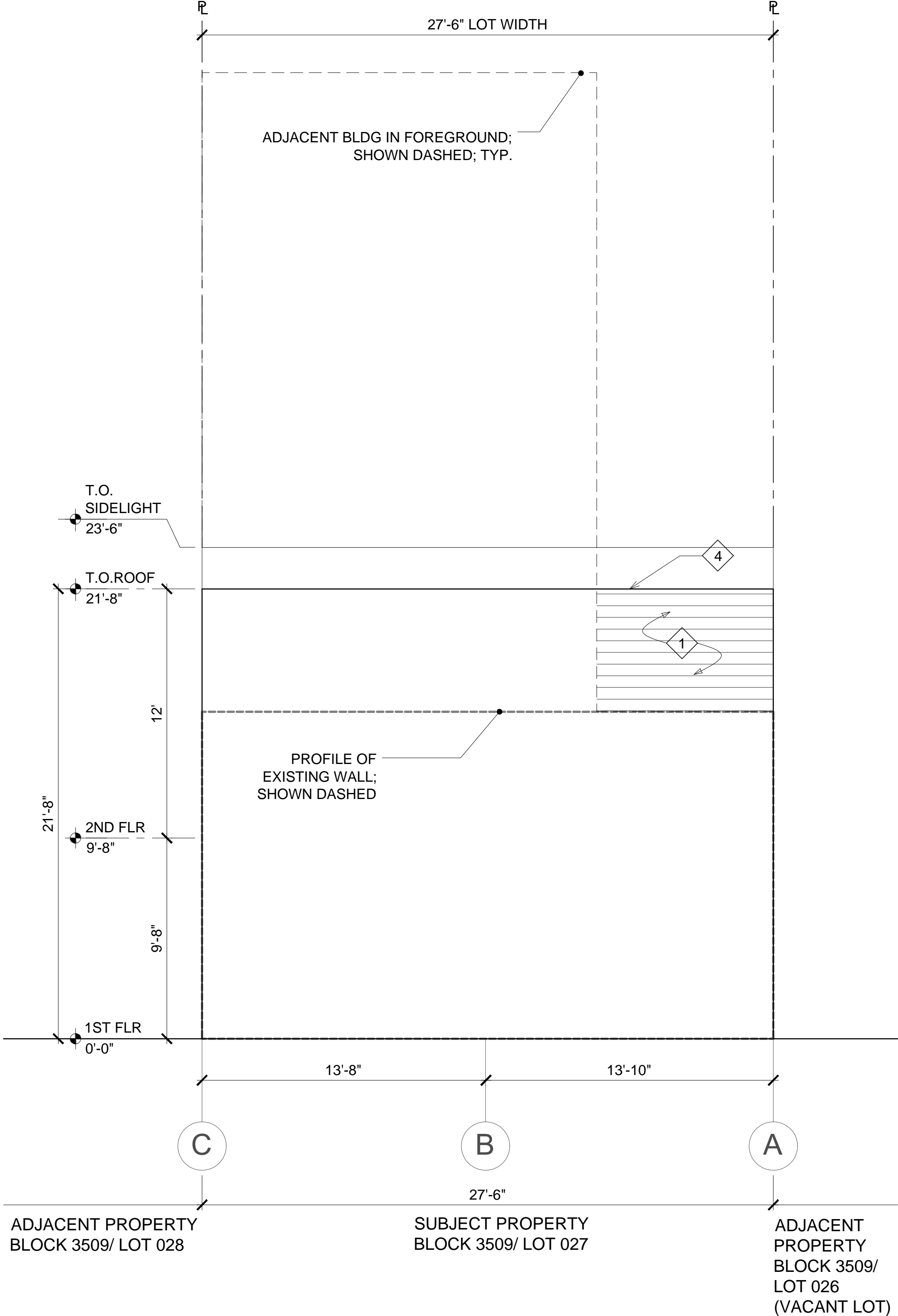
SHEET NOTES

- 1
- HARDI PLANK W/ INTEGRAL COLOR
- 2
- CLEAR ANODIZED ALUM. FRAME WINDOWS
- 3
- CLEAR ANODIZED PERFORATED ALUM. PANELS OVER HARDI-PANEL, GLASS WINDOW, DOOR & GARAGE DOOR
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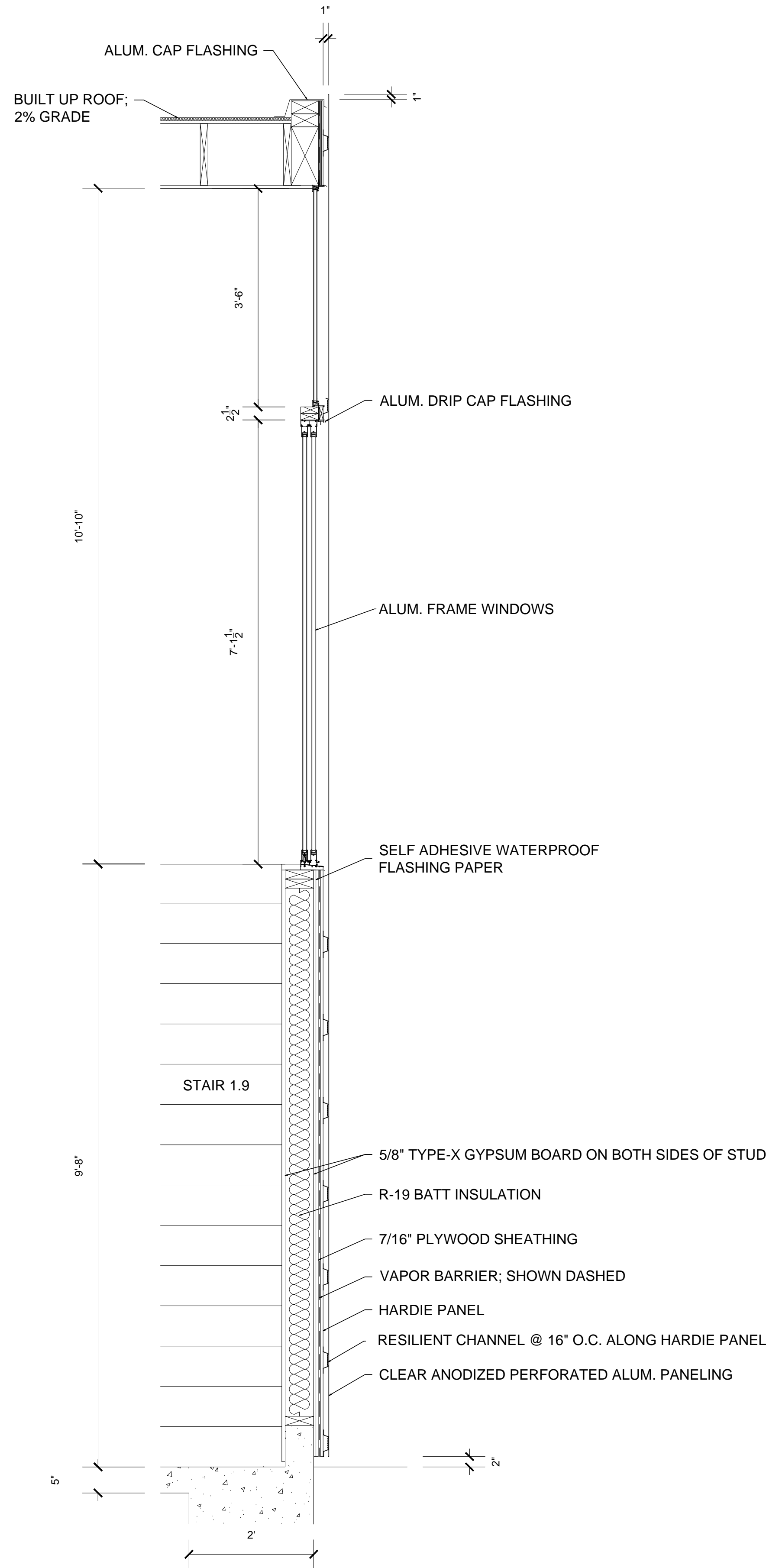
PROPOSED EAST ELEVATION

1/4"=1'



PROPOSED NORTH ELEVATION

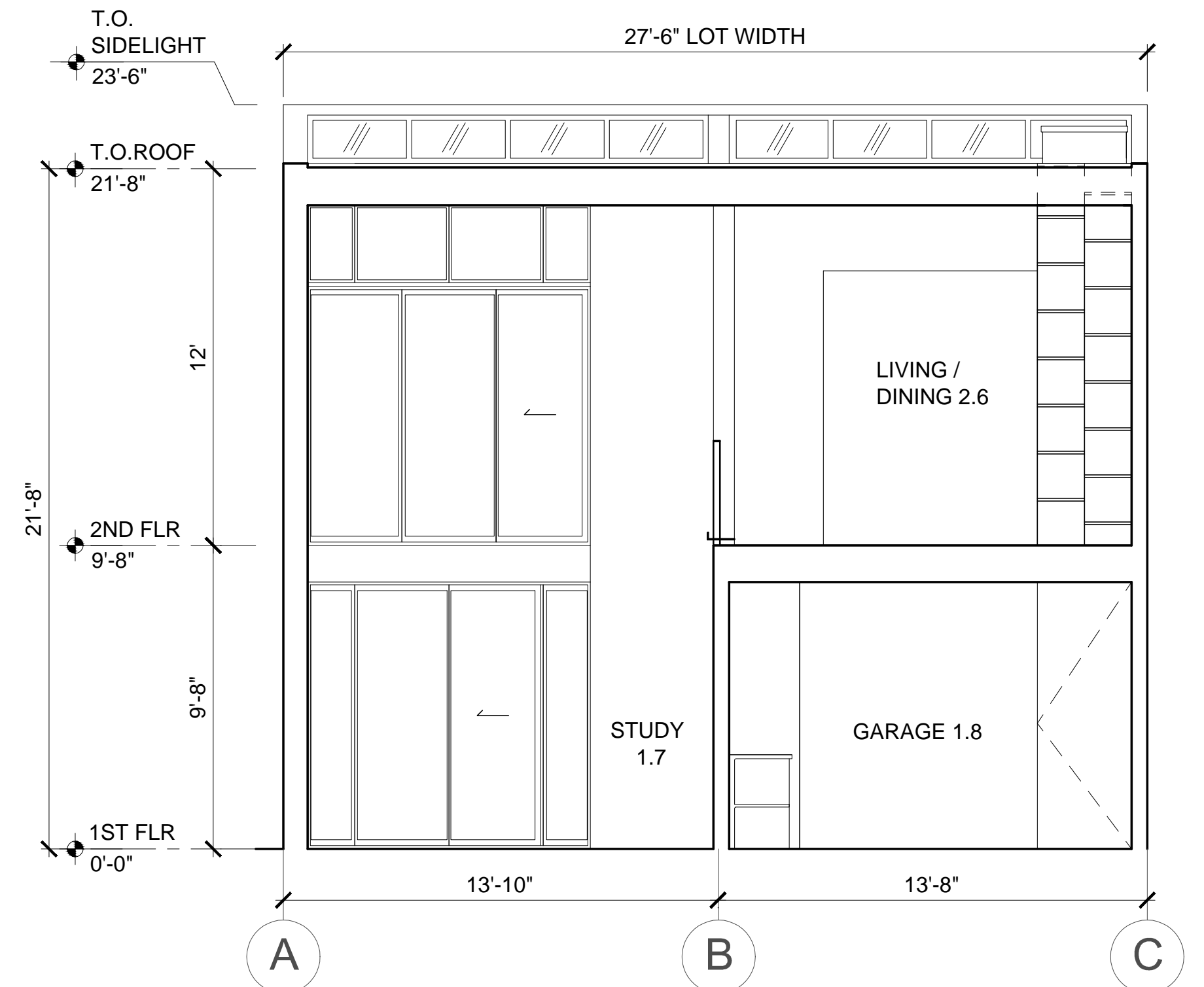
1/4"=1'



VERTICAL SECTION AT FACADE

3/4"=1'

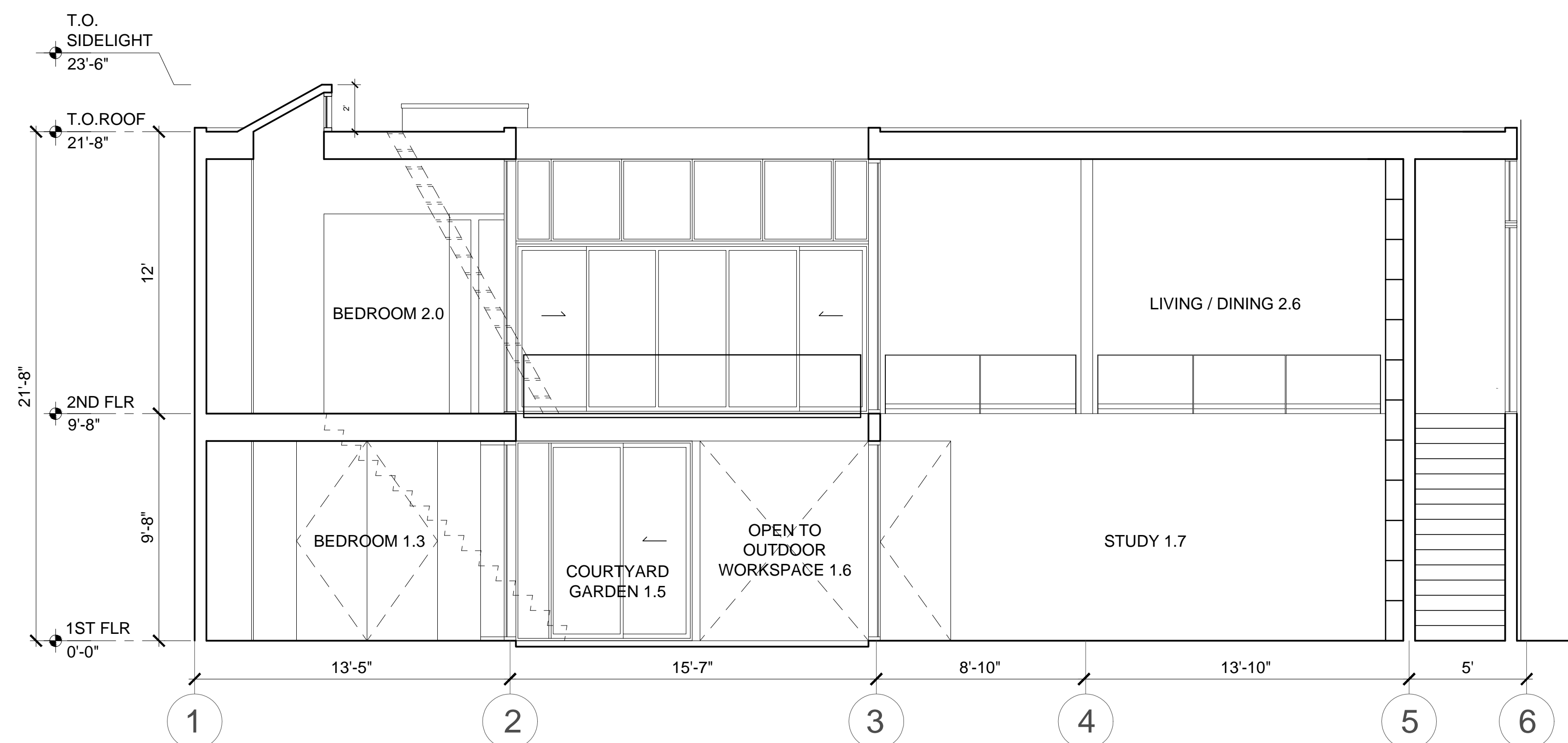
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PROPOSED CROSS-SECTION THROUGH STUDY (B)

1/4"=1'

2



PROPOSED SECTION THROUGH STUDY (A)

1/4"=1'

1

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PROPOSED SECTIONS

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