



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 24, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Front Yard, Rear Yard, Exposure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	349 Richland Avenue	Case No.:	2012.1527V
Cross Street(s):	Murray St.	Building Permit:	2013.03.29.3381
Block / Lot No.:	5721/077	Applicant/Agent:	Karen Curtiss
Zoning District(s):	RH-2 / 40-X	Telephone:	415-515-0614
Area Plan:	N/A	E-Mail:	kcurtiss@reddotstudio.com

PROJECT DESCRIPTION

The project proposes to legalize several elements of the front building on the lot, including a 546 square foot vertical third floor addition, location of building within front setback and addition of one dwelling unit to the building. The project also proposes to remove an unpermitted third story from the rear building and reconstruct the previous roof form.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal dimension, with an increase of five feet in every horizontal dimension at each subsequent floor above the second. The rear yard between the two buildings on the lot does not meet these requirements; therefore, a variance is required.

PER SECTION 242(e)(2) OF THE PLANNING CODE the subject property is required to maintain a required rear yard of 45 percent of lot depth. The existing rear building is located within the required rear yard; therefore, a variance is required to reconstruct the previous roof form for the rear building.

PER SECTION 132 OF THE PLANNING CODE requires a front setback based upon the average of adjacent properties. The existing front building was constructed partially within the required front setback based upon inaccurate plans; therefore, a variance is required to legalize the structure.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Jeffrey Speirs**

Telephone: **415-575-9106**

E-Mail: **Jeffrey.speirs@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2012.1527V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

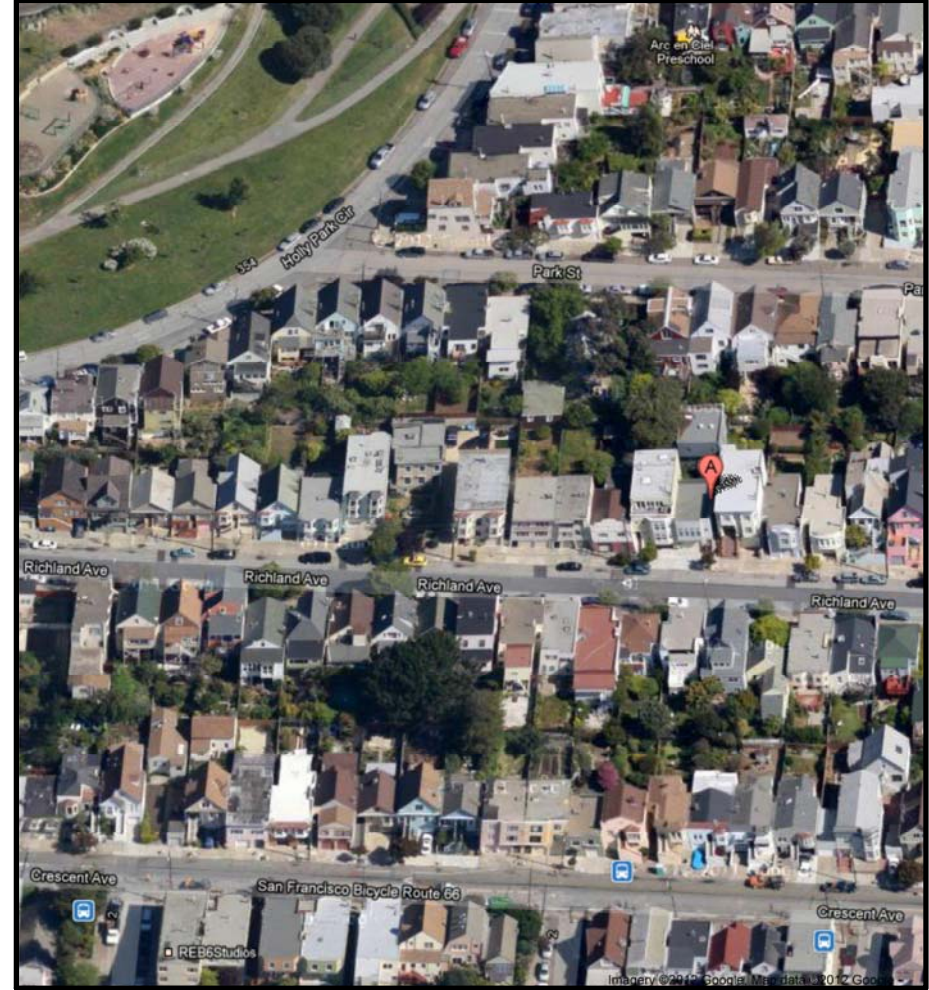
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

VICINITY MAP

PROJECT INFORMATION



Construction Type: V-B WOOD FRAME
Zoning: RH-2
Height and Bulk District: 40-X (30' Bernal Special Use District)
Building Height: Existing 23'-1"/ Proposed 30'
Lot SF: 2,500 (no change)
Building Size: With Permit 2,860/Proposed 3,474
Historic Status Class: C
Use Type/Occupancy: Existing Single Family Residence/
Proposed Two Unit Residence

Scope of Work:
Remove third story built without benefit of permits at rear cottage.
Return cottage to historic exterior shape.

Legalize third story addition and remodel permitted garage
and storage unit at the front of the property into an additional
residential unit.

Exposure and Rear Yard Variance Requested.

APPLICABLE CODES

2013 California Codes
2013 California Building Code
2013 California Electrical Code
2013 California Mechanical Code
2013 California Plumbing Code
2013 Green Building Code
2013 California Energy Code - Effective July 1, 2014
2013 San Francisco Code Amendments
2013 San Francisco Building Code Amendments
2013 San Francisco Electrical Code Amendments
2013 San Francisco Mechanical Code Amendments
2013 San Francisco Plumbing Code Amendments
2013 San Francisco Green Building Code Amendments
2013 San Francisco Housing Code

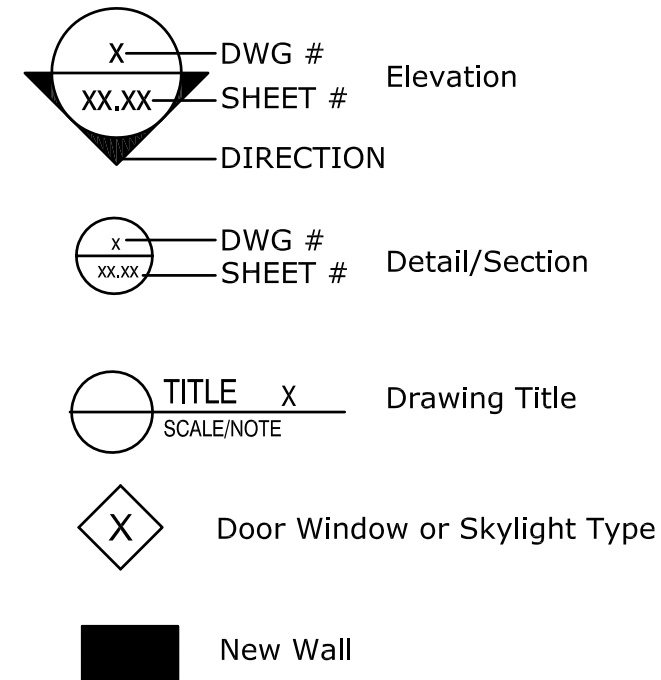
DRAWING INDEX

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A0.02 EXISTING AND PROPOSED SITE/ROOF PLAN
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A1.02 PROPOSED FLOORPLAN FRONT BUILDING
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A2.01 EXISTING ELEVATIONS
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A2.03 PROPOSED ELEVATIONS
A2.04 PROPOSED ELEVATIONS
A3.01 EXISTING AND PROPOSED SITE SECTION

ABBREVIATIONS

ADJ.	Adjustable, Adjacent	PTD.	Painted
AFF	Above Finished Floor	QTY.	Quantity
D	Dryer	R	Riser
DIM.	Dimension	REQ.	Required
DN.	Down	RWL	Rain Water Leader
DWG.	Drawing	S	South
CH	Ceiling Height	SF	Square Feet
(E)	Existing	SIM.	Similar
EA.	Each	SQ.	Square
EQ.	Equal	SS	Stainless Steel
EX.	Existing	SSD	See Structural Drawings
FAU	Forced Air Unit	T	Tread
FL.	Flourescent	THK.	Thick
GLS.	Glass	TYP.	Typical
GYP.	Gypsum Wall Board	UON	Unless Otherwise Noted
HB	Hose Bibb	VIF	Verify In Field
HT.	Height	W	West or Width or Washer
MAX.	Maximum	W/O	With
MIN.	Minimum	WO	Without
N	North	WD.	Wood
(N)	New	WO	Where Occurs
NTS	Not To Scale	&	And
OC	On Center	@	At
OFCI	Owner Furnished Contractor Installed	#	Number, Pound
OP.	Operable		
OPP.	Opposite		
OS	Occupancy Sensor		

SYMBOLS



GENERAL NOTES

1. Verify all dimensions before proceeding with the work. Notify the architect immediately of any discrepancy or variation. Do not proceed with affected work until the variation or discrepancy is resolved.
2. Do not scale drawings. If unable to locate dimensions for any item of work, consult architect for direction before proceeding.
3. Dimensions are to:
face of interior finished wall
face of exterior finished wall
center line of column grid
face of door
4. Heights shown or noted AFF are to be measured from top of finish floor material.
5. If drawing is less than 24" x 36" it has been scaled from the original size.
6. Details shown on drawings shall be incorporated into the project at all appropriate locations whether specifically referenced at each location or not.
7. Install necessary blocking, backing, framing, hangers, and other support for fixtures, equipment, shelving and casework.
8. The contractor shall be responsible for and shall supervise all cutting and patching of finished work already installed if made necessary by errors, changes, or other reasons. All replacement work shall match adjoining surfaces with no visible markings of redo/repair work.
9. It shall be the responsibility of the contractor to provide all supports, anchors, clips, fasteners, braces, and reinforcements for all assemblies, systems, fixed equipment, accessories, and so forth, that are a part of the structural system, have been shown, specified, or sized or are reasonably required to complete the work in conformance with the contract documents. The contractor shall also provide calculations for all such items as required by the authority having jurisdiction.
10. If a discrepancy exists between drawings, between drawings and specifications or within the specifications, such discrepancy shall be brought to the attention of the architect prior to installation of said work. Do not proceed with affected work until the variation or discrepancy is resolved.
11. The contractor shall not fabricate or install any work where they have reasonable knowledge that the contract documents may be in conflict with applicable codes or interpretation of the authority having jurisdiction. Any such information shall be immediately brought to the attention of the architect who shall issue a resolution of the conflict.
12. Electrical, mechanical and plumbing systems are shown for intent only. These systems shall be engineered by others and the contractor shall be responsible for proper installation to all applicable state and local codes.
13. Relocate plumbing vents, hose bibs and electrical conduit as required for new construction.
14. Provide smoke/CO2 alarms as required by code.

PROJECT TEAM

ARCHITECT
RED DOT STUDIO
335 COLERIDGE ST
SAN FRANCISCO CA 94110

ENGINEER
UNKNOWN

CONTRACTOR
UNKNOWN

ENERGY CONSULTANT
GABEL ENERGY
1818 HARMON ST STE 1
BERKELEY CA 94703

CLIENT
BRIAN AND MARY JO MCHUGH
349 RICHLAND STREET
SAN FRANCISCO, CA 94110

MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14

Scale
AS NOTED

Sheet Title

COVER SHEET

Sheet Number

A0.01

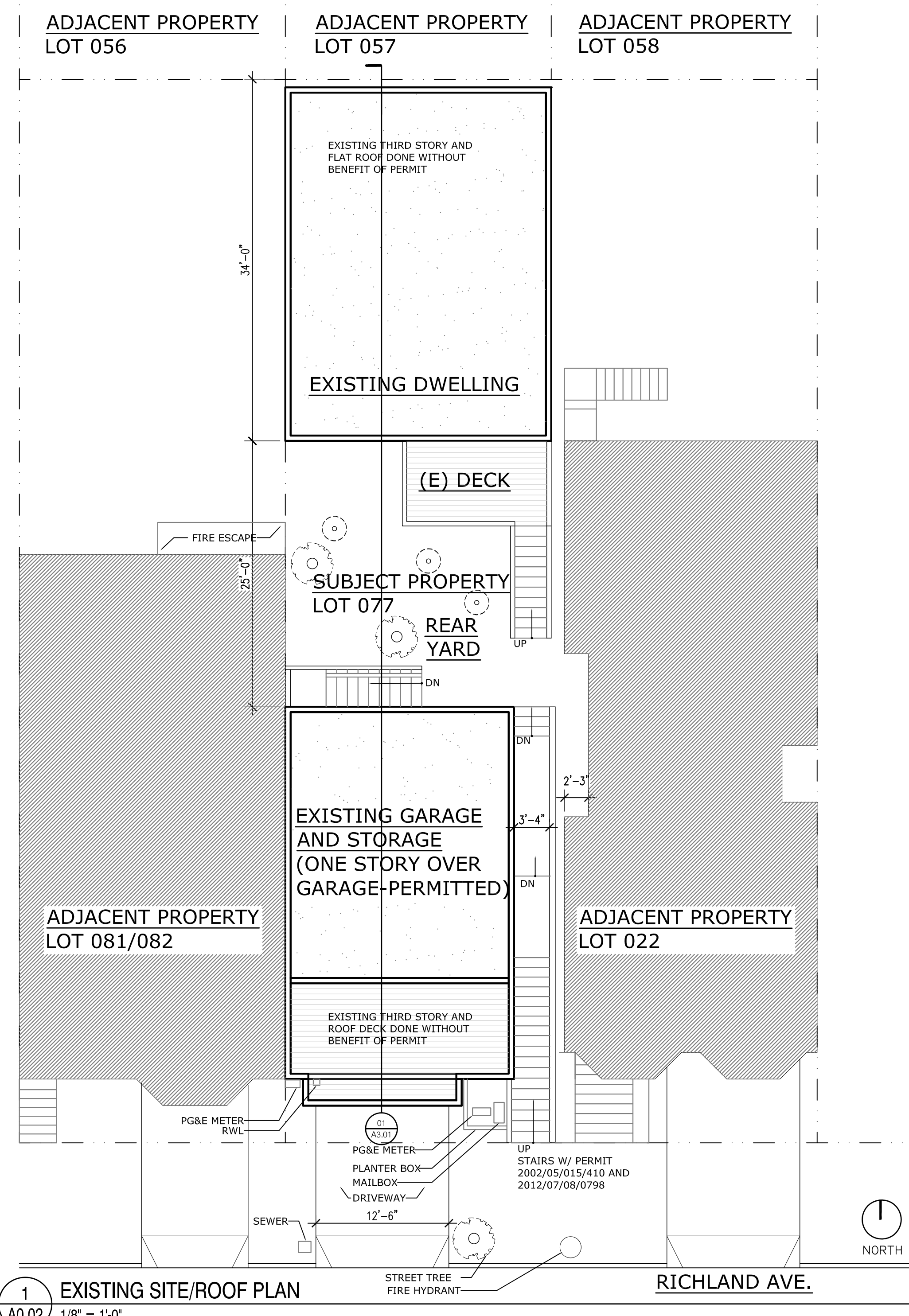
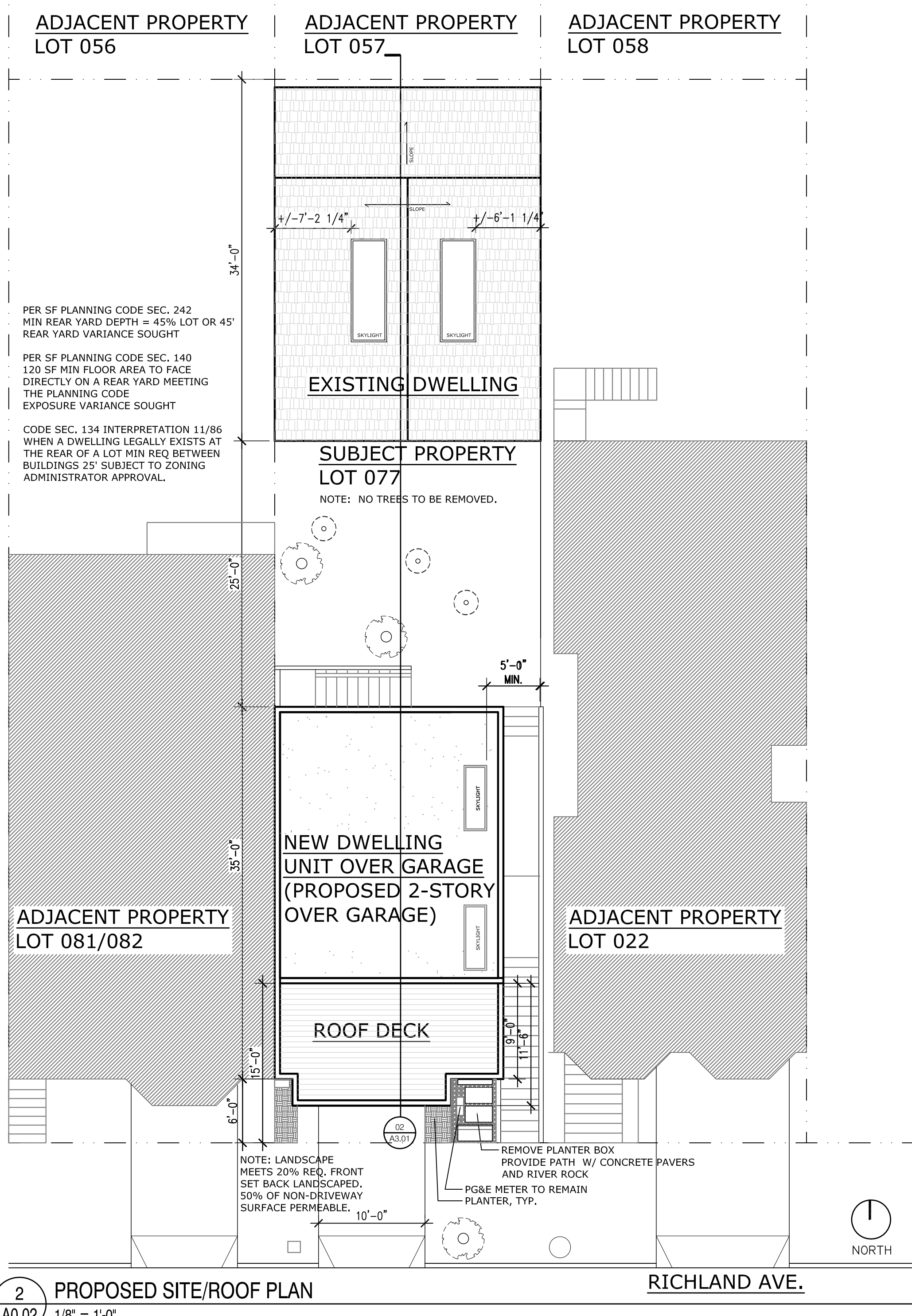
red dot studio
ARCHITECTURE AND DESIGN
1045 17th St. Suite 202
San Francisco, CA 94107

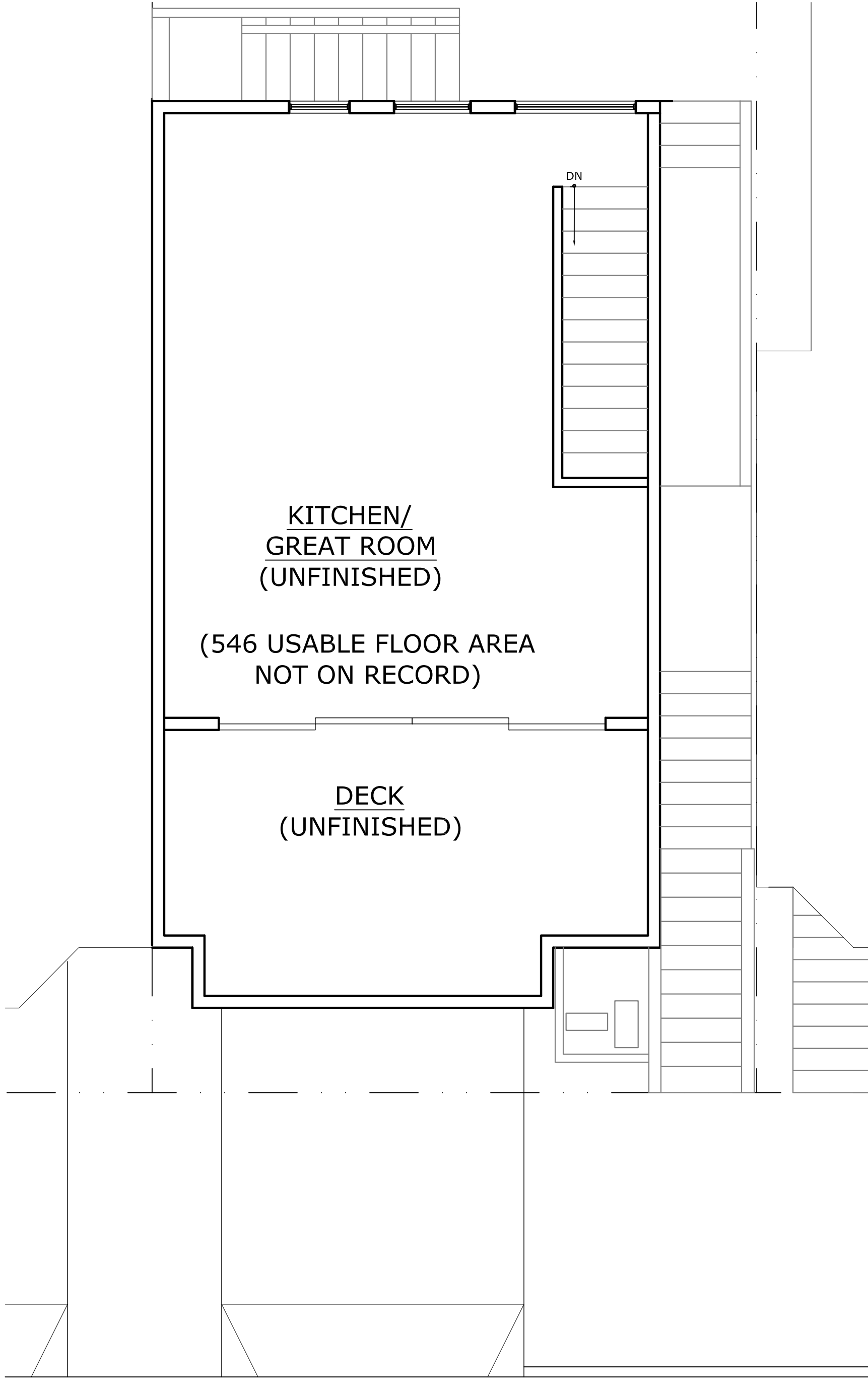
Block 5721 Lot 077

AS NOTED

EXISTING AND PROPOSED SITE/ ROOF PLAN

4000



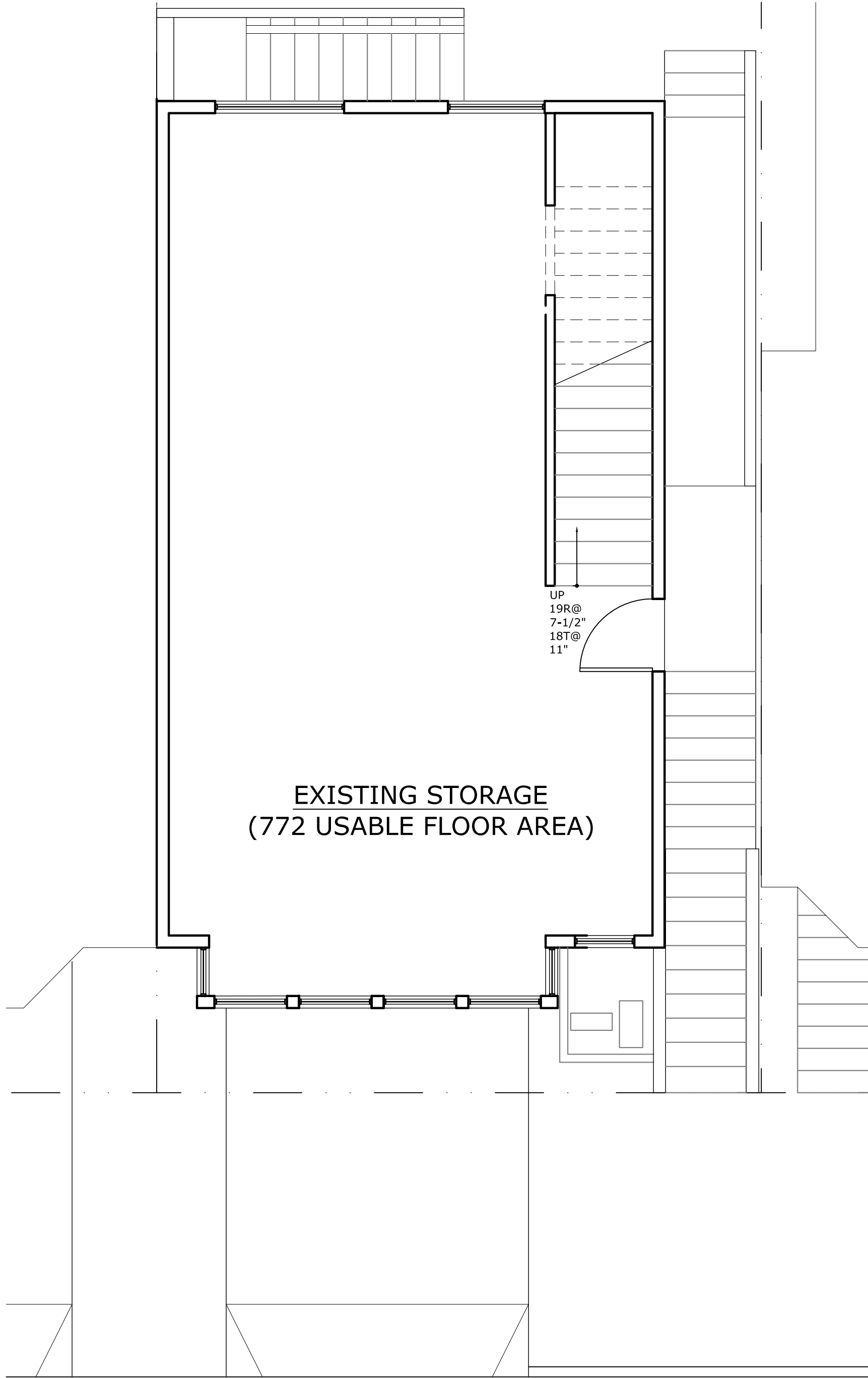


3
A1.01

BUILT WITHOUT BENEFIT OF PERMITS
EXISTING THIRD STORY - FRONT BUILDING

1/4" = 1'-0"

NORTH

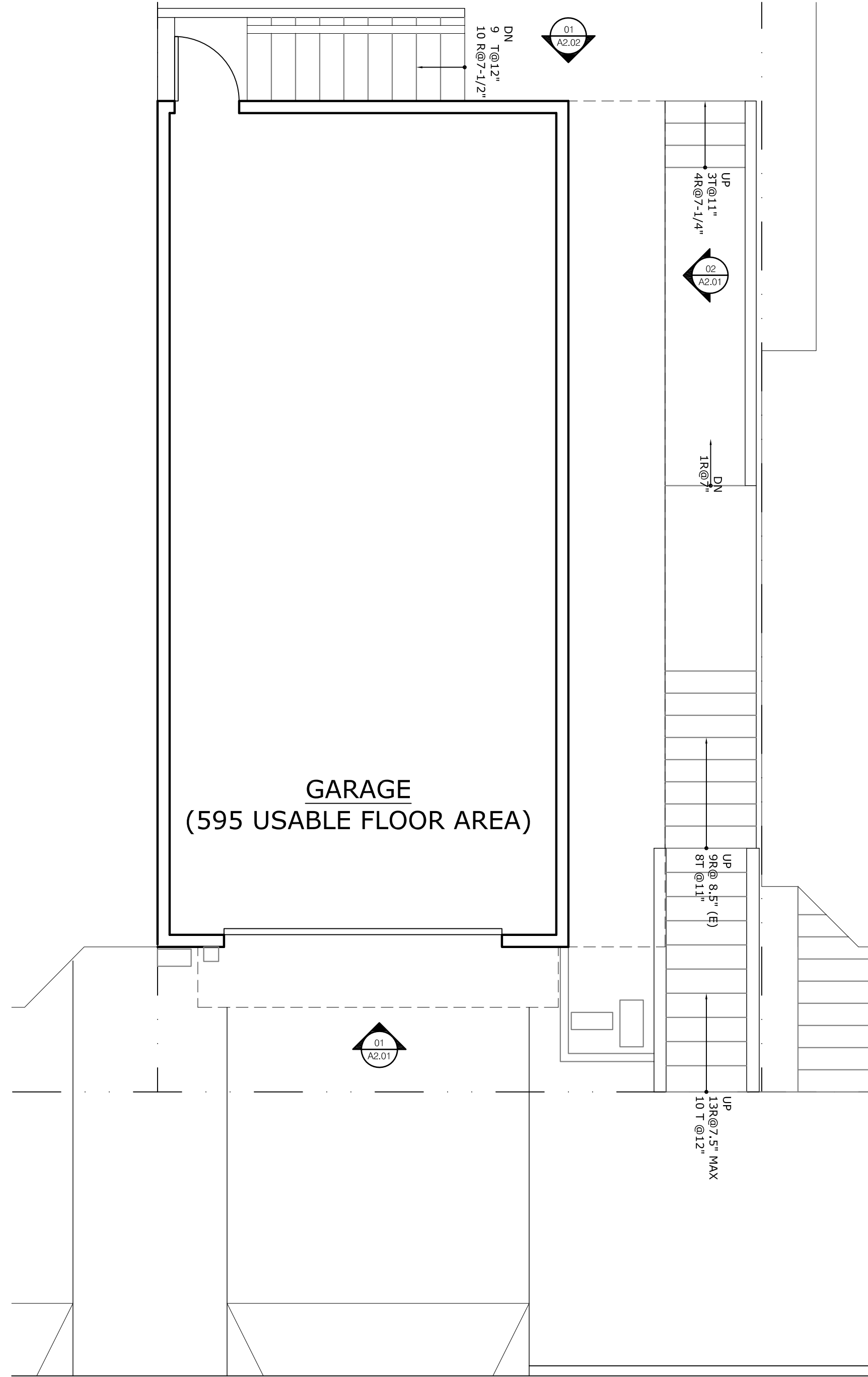


2
A1.01

EXISTING SECOND STORY - FRONT BUILDING

1/4" = 1'-0"

NORTH



1
A1.01

EXISTING FIRST STORY - FRONT BUILDING

1/4" = 1'-0"

NORTH

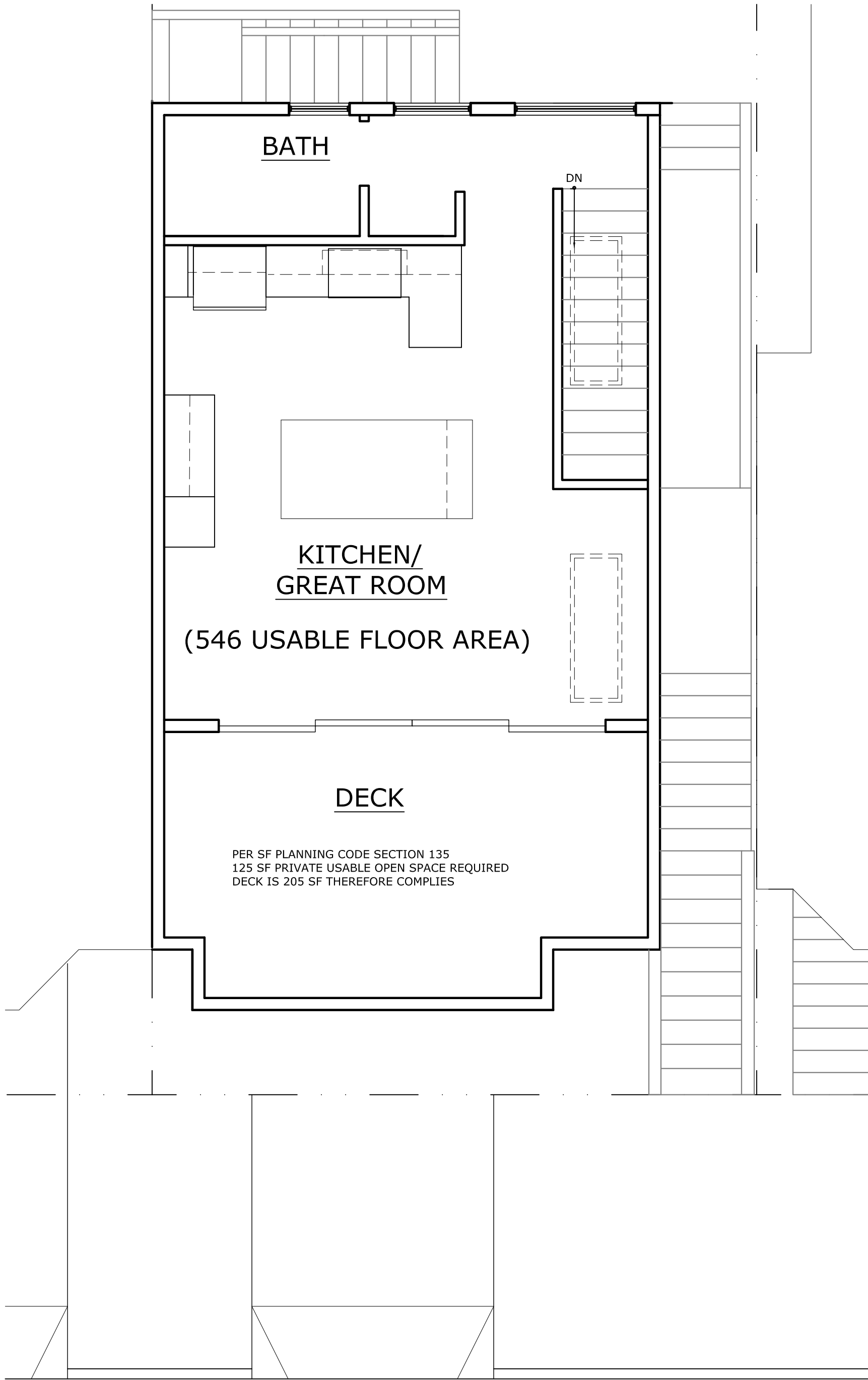
MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14

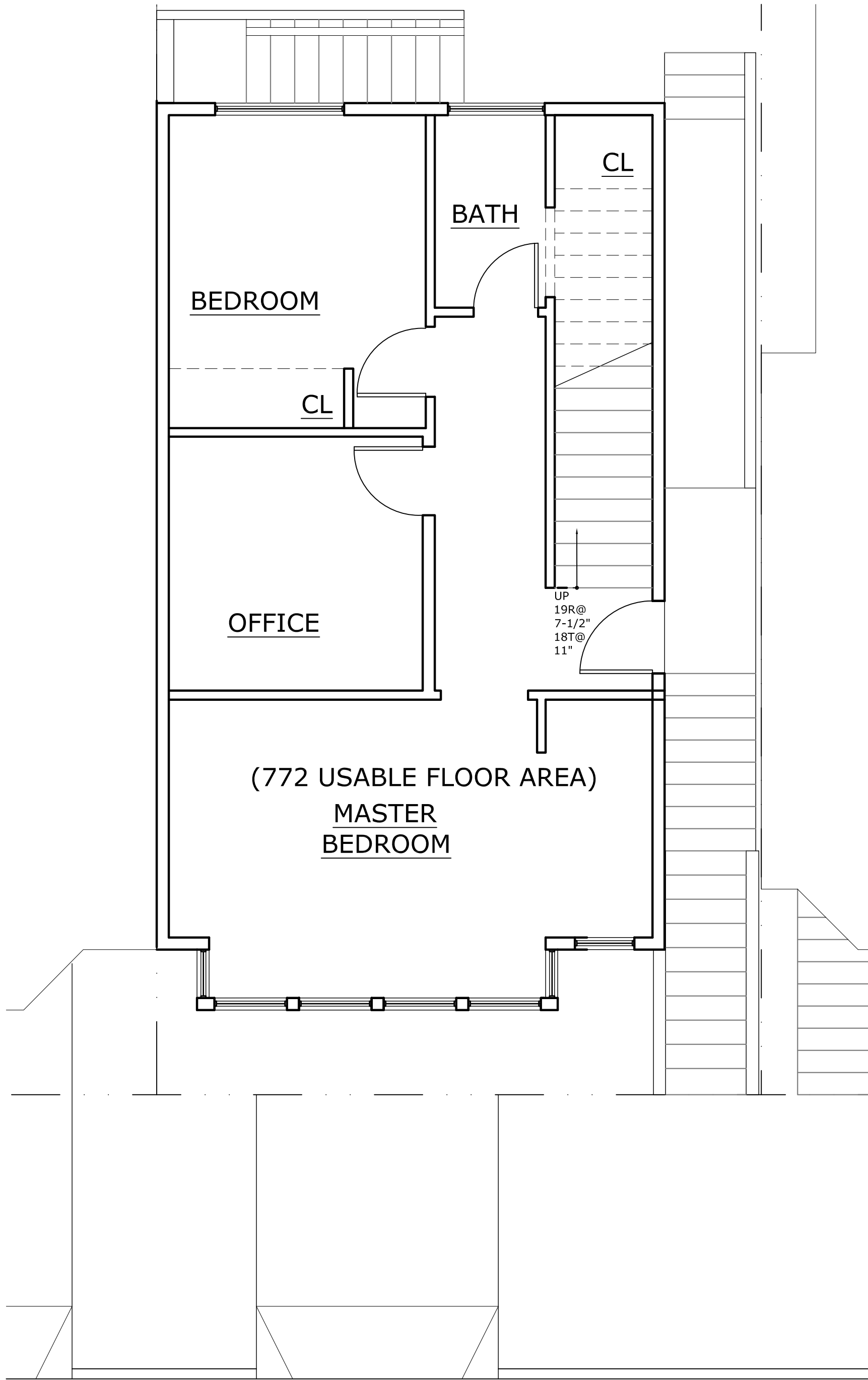
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EXISTING
FLOORPLAN
FRONT
BUILDING
Sheet Number

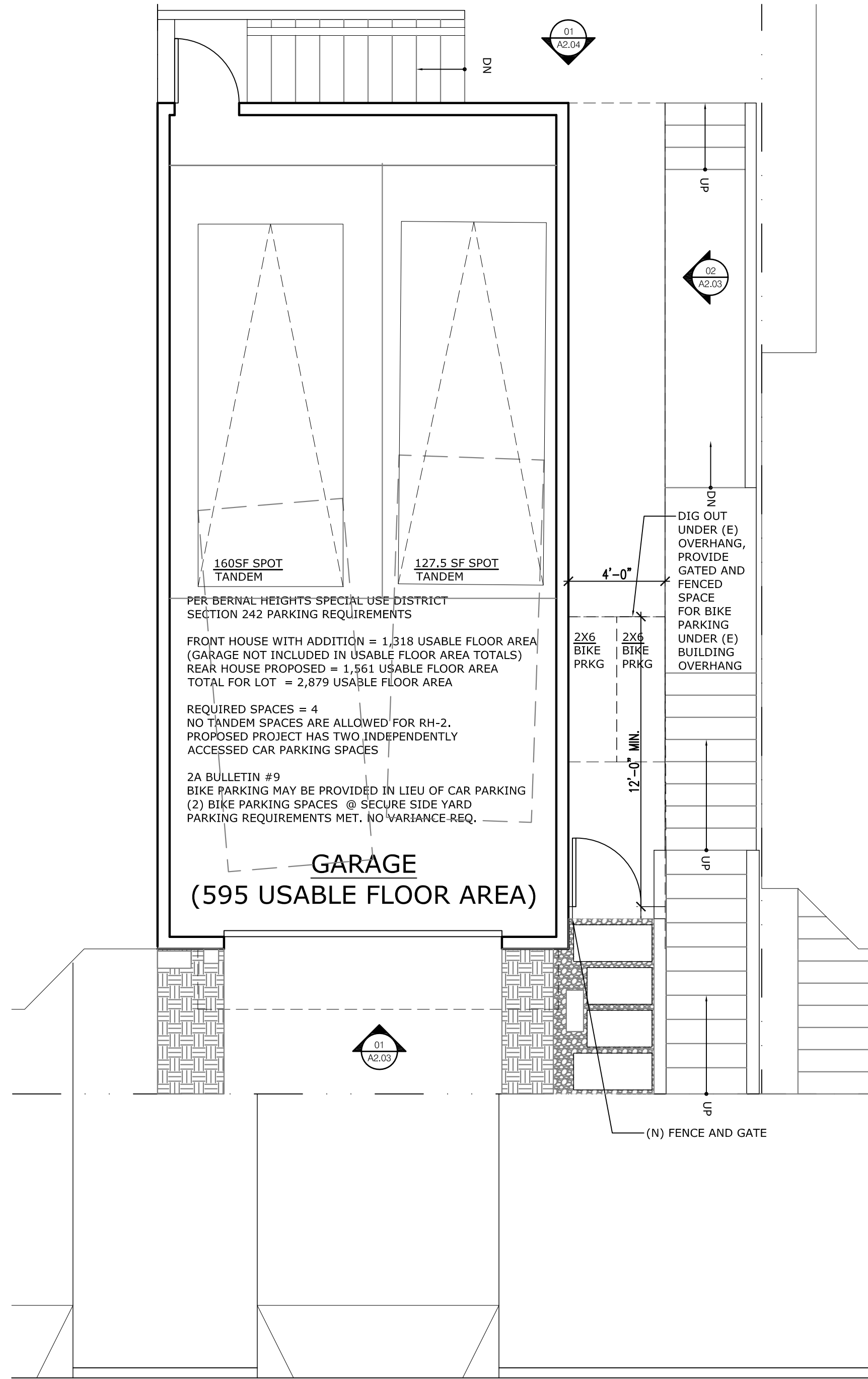
A1.01



3 PROPOSED THIRD STORY - FRONT BUILDING NORTH
A1.02 1/4" = 1'-0"



2 PROPOSED SECOND STORY - FRONT BUILDING NORTH
A1.02 1/4" = 1'-0"



1 PROPOSED FIRST STORY - FRONT BUILDING NORTH
A1.02 1/4" = 1'-0"

MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14
Scale	
AS NOTED	

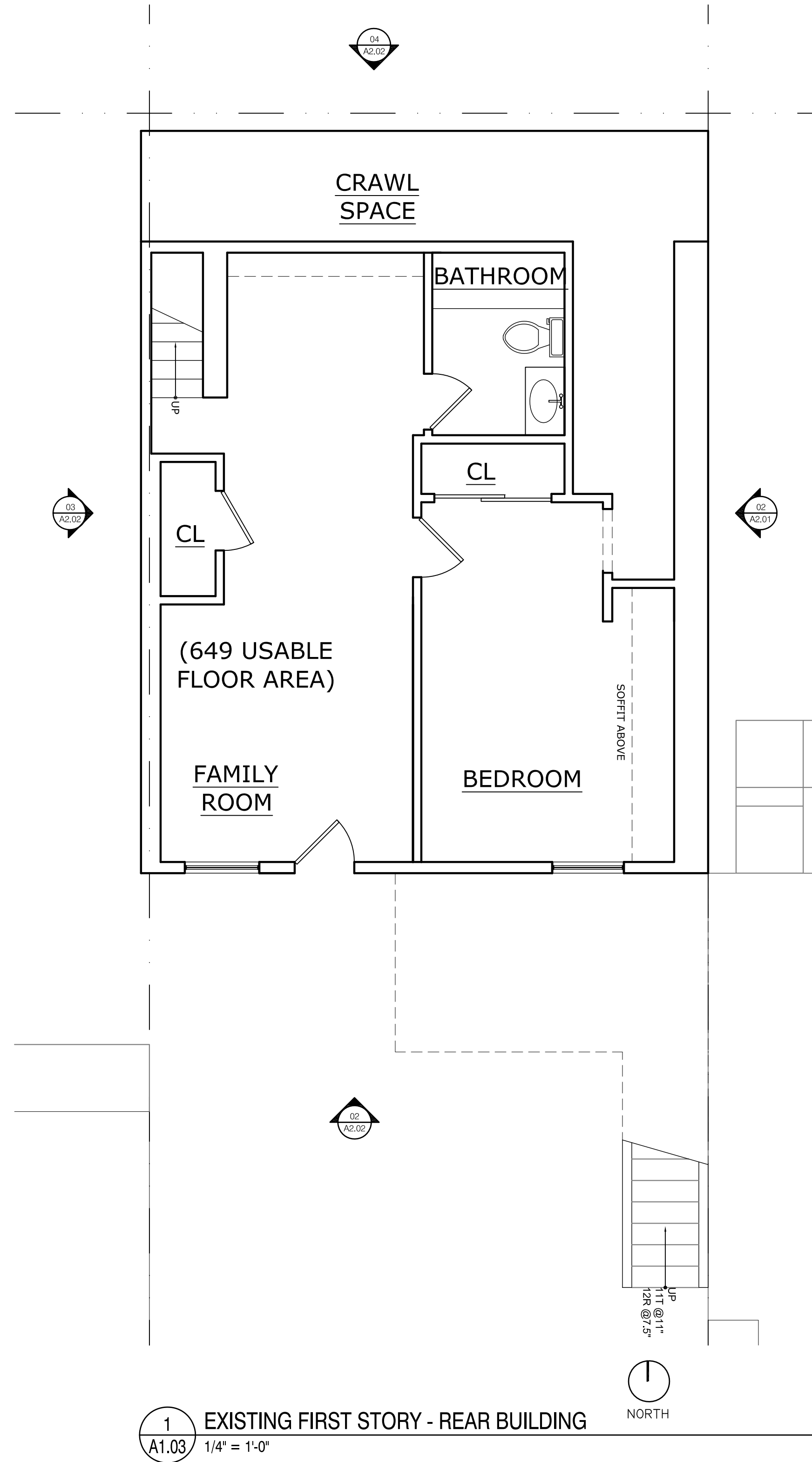
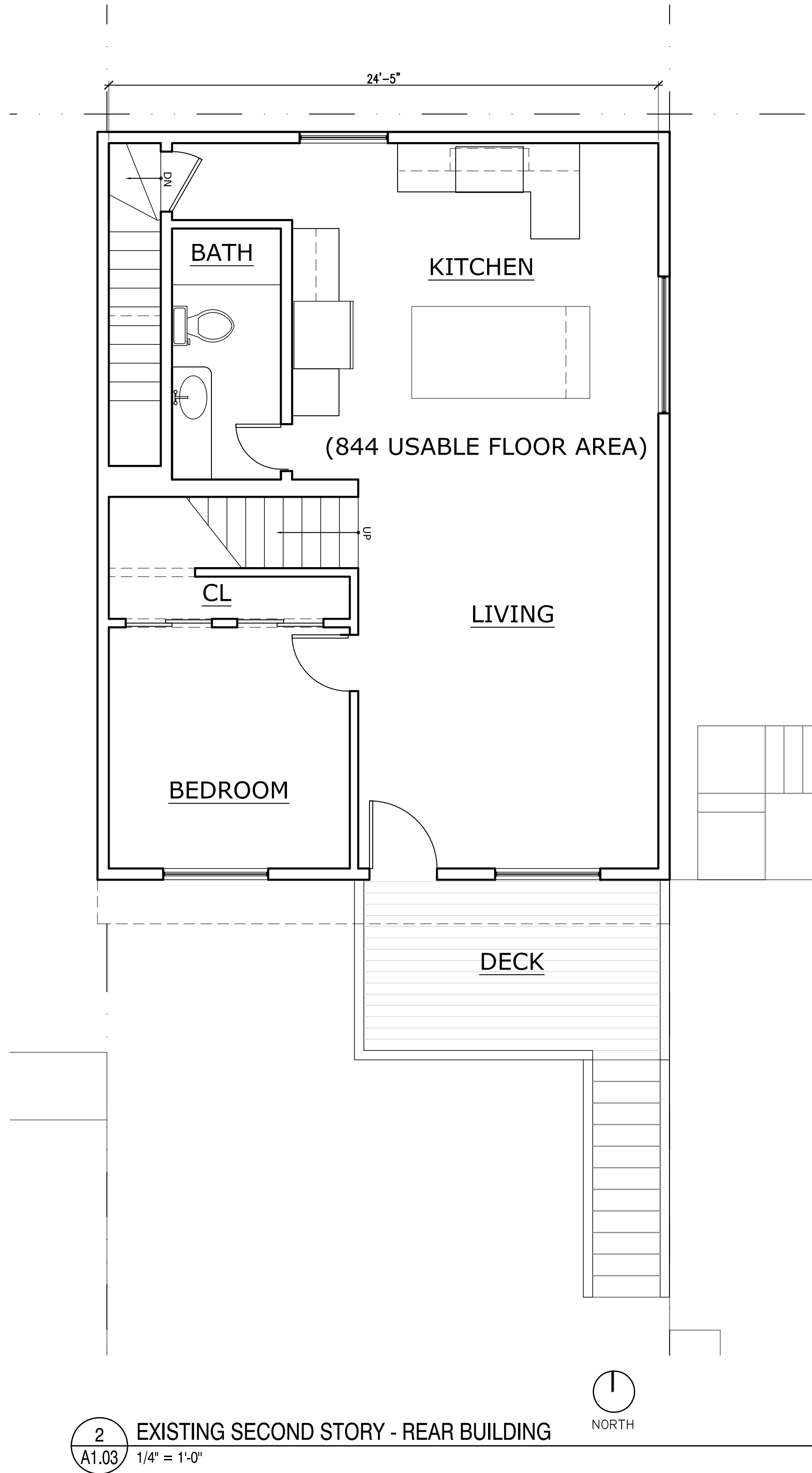
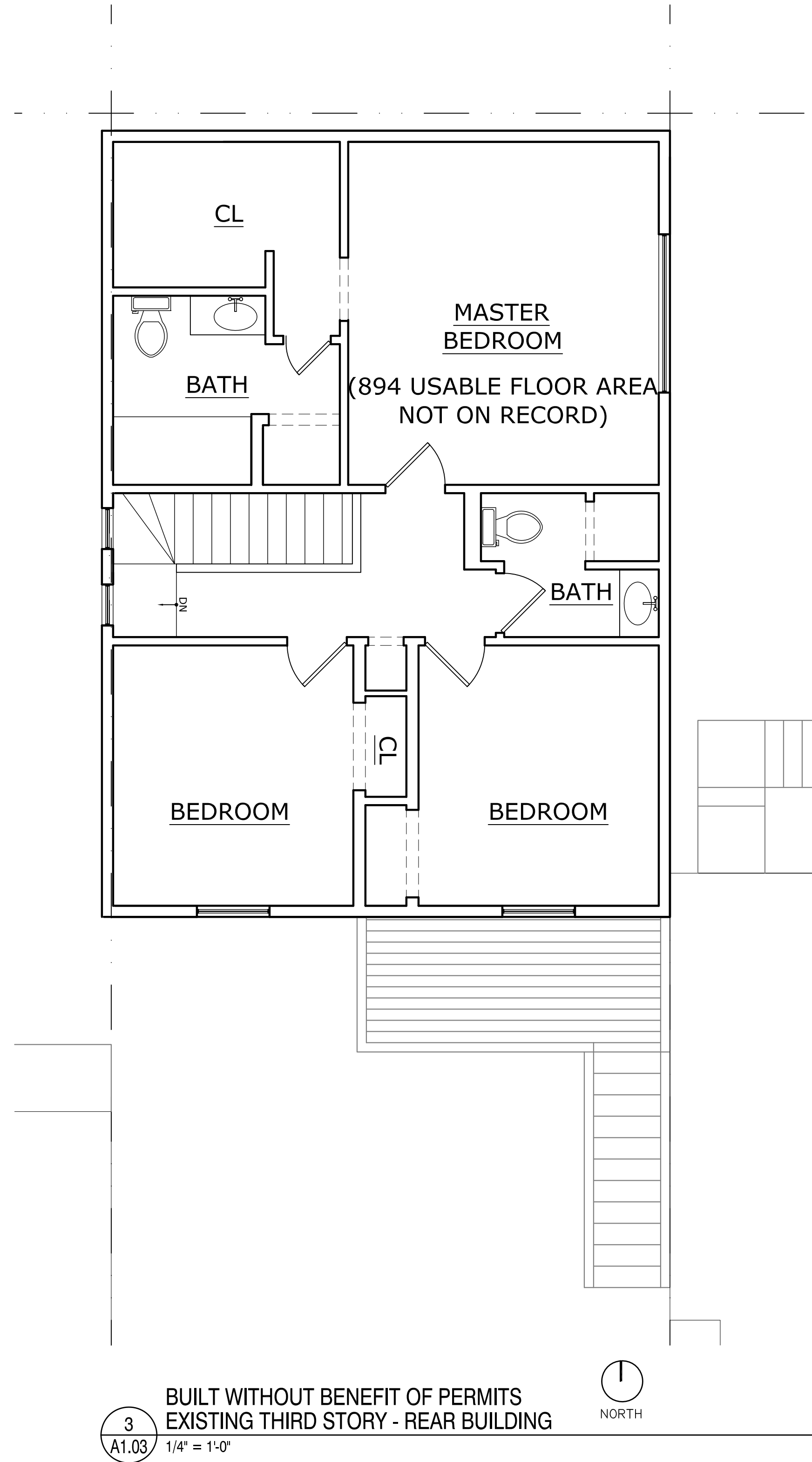
MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14

Scale
AS NOTED

Sheet Title
EXISTING FLOORPLAN
REAR BUILDING
Sheet Number

A1.03



MC HUGH RESIDENCE

349 RICHLAND AVE

San Francisco, CA 94110

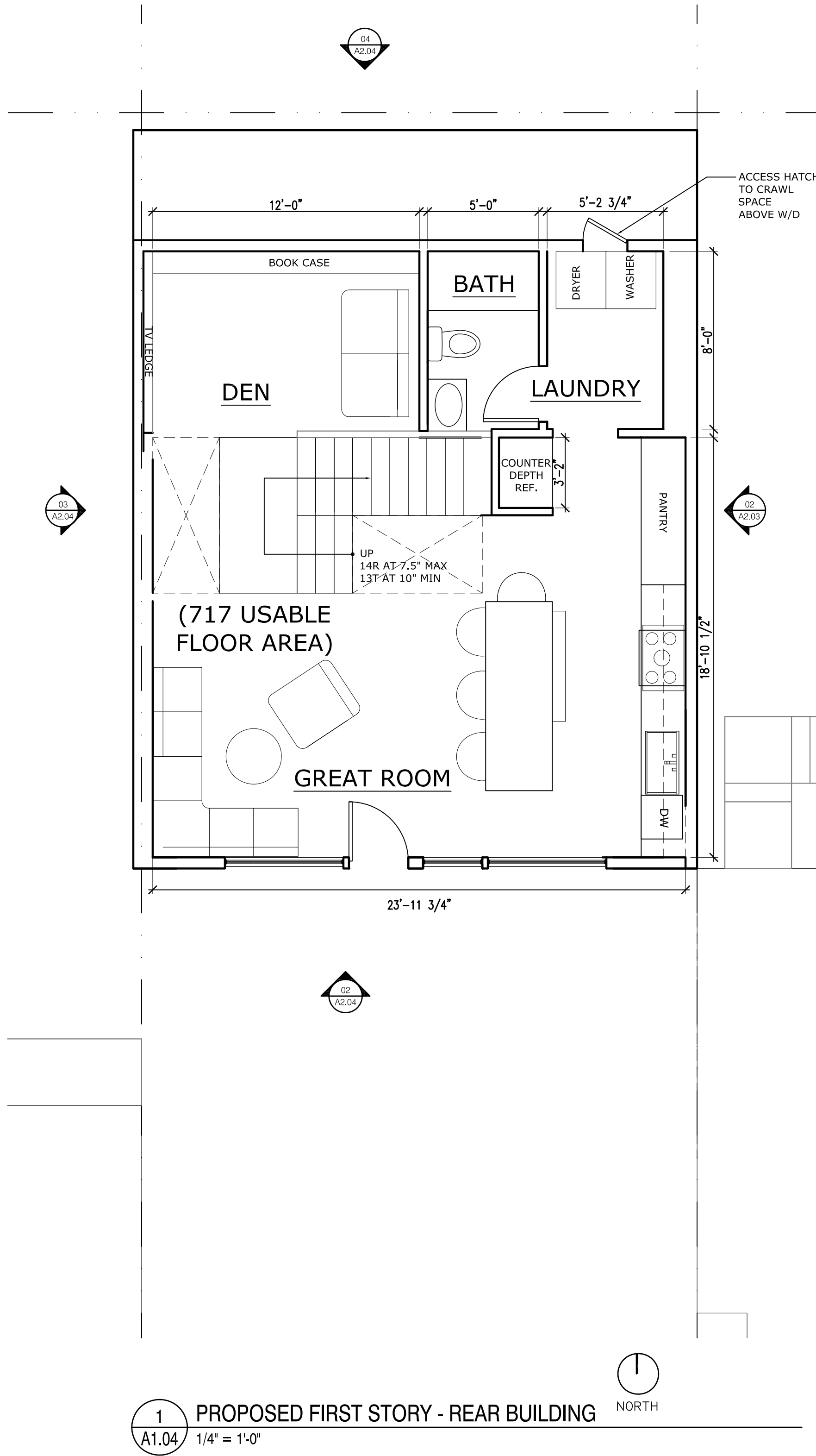
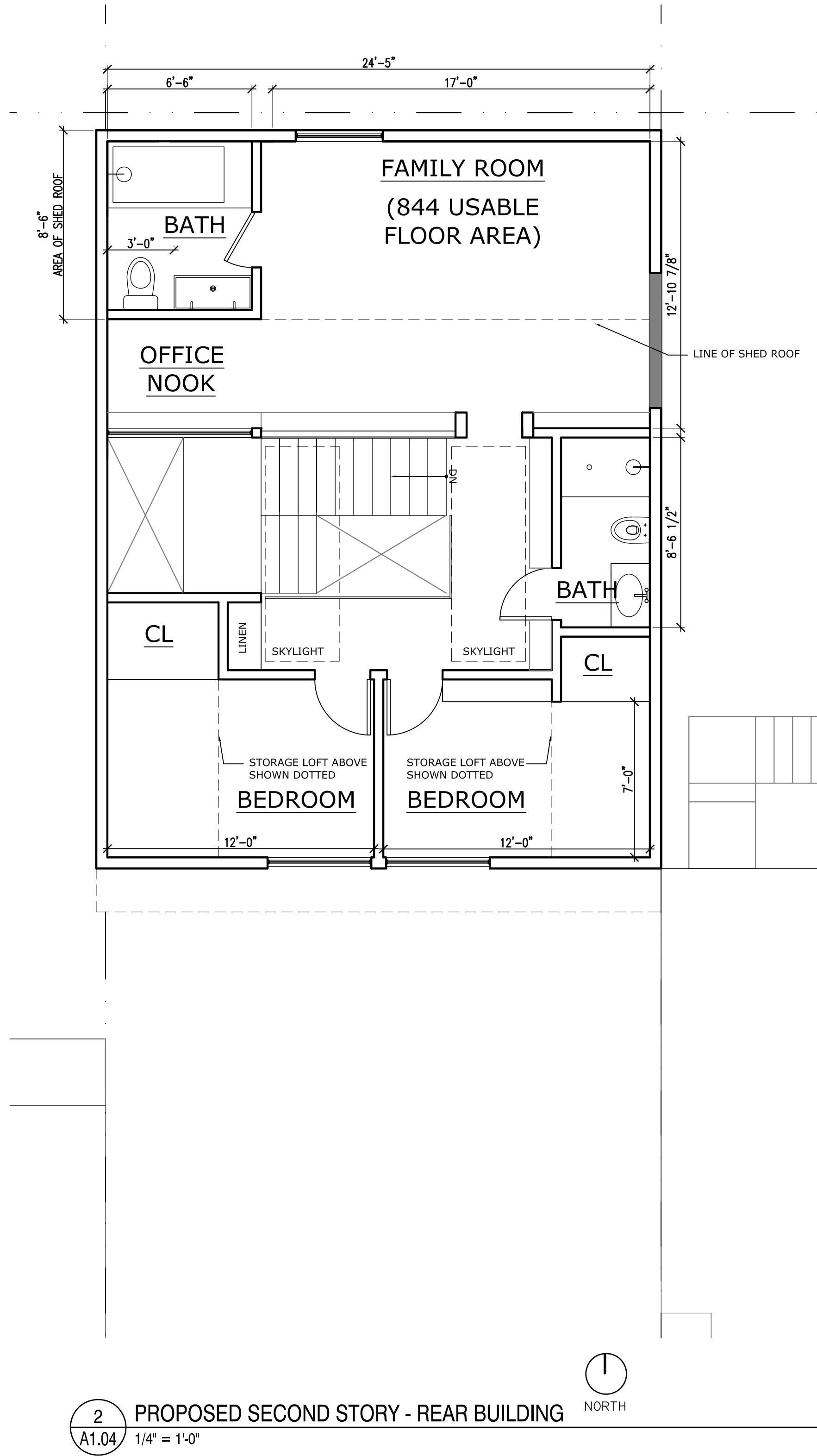
Block 5721 Lot 077

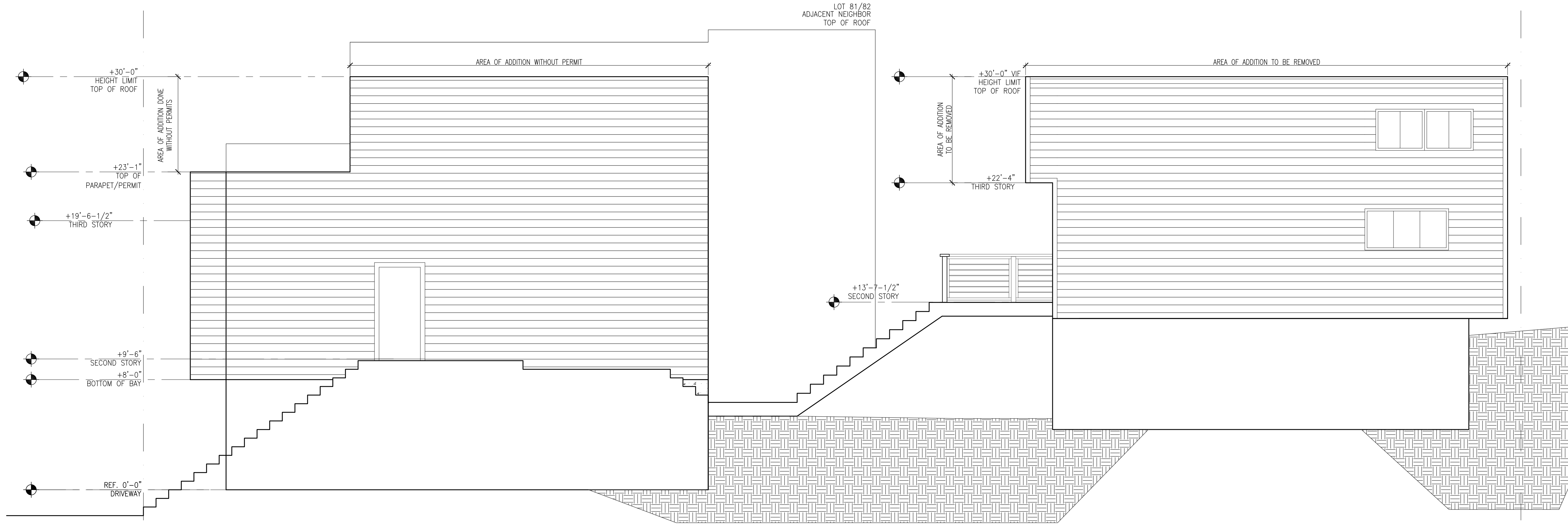
REVIEW	Date
VARIANCE REV.	09.01.14

Scale
AS NOTED

Sheet Title
PROPOSED
FLOORPLAN
REAR
BUILDING
Sheet Number

A1.04





2 EXISTING EAST ELEVATION - FRONT AND REAR BUILDING
A2.01 1/4" = 1'-0"



1 EXISTING RICHLAND ST ELEVATION
A2.01 1/4" = 1'-0"

red dot studio
ARCHITECTURE AND DESIGN
1045 17th St. Suite 202
San Francisco, CA 94107

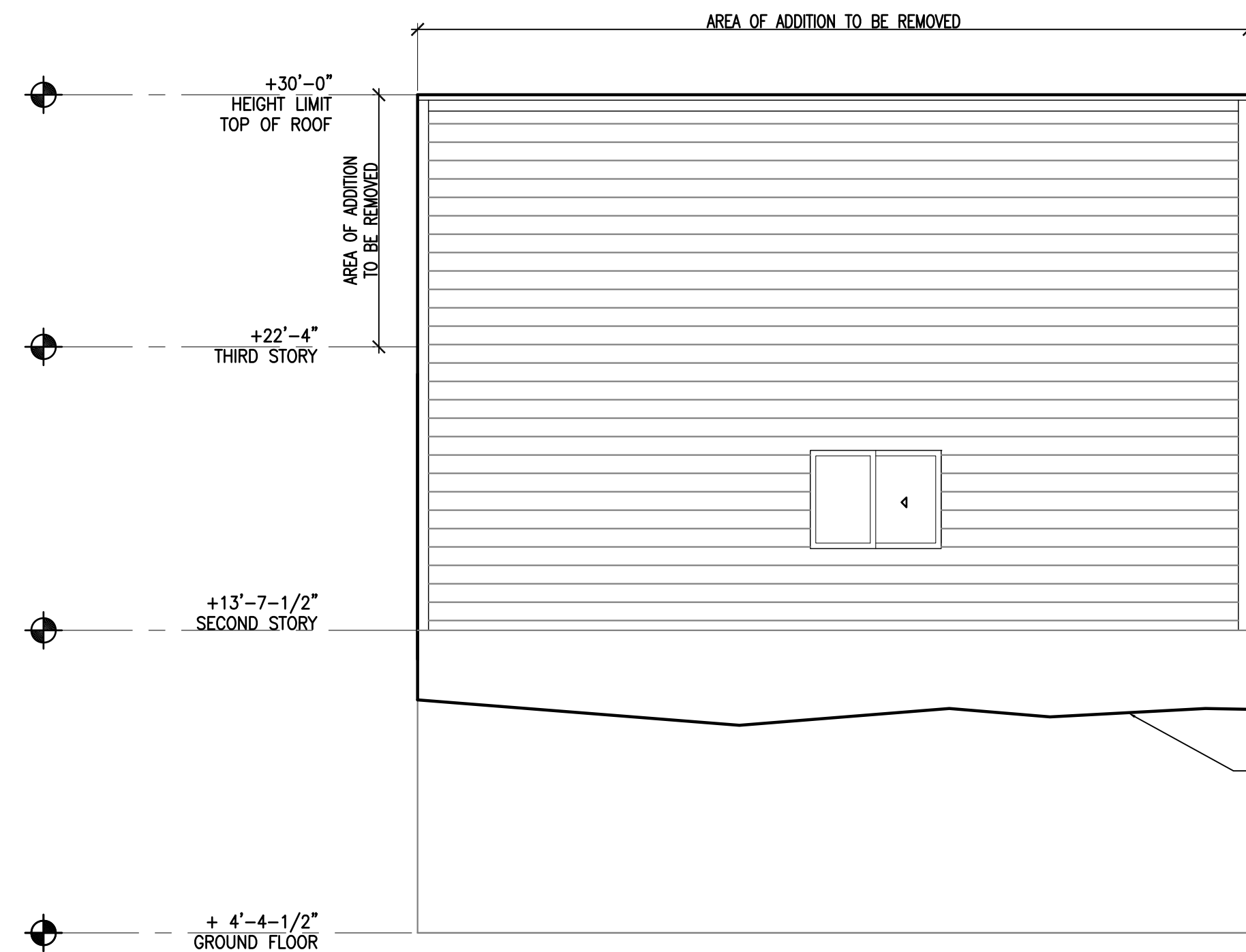
MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14

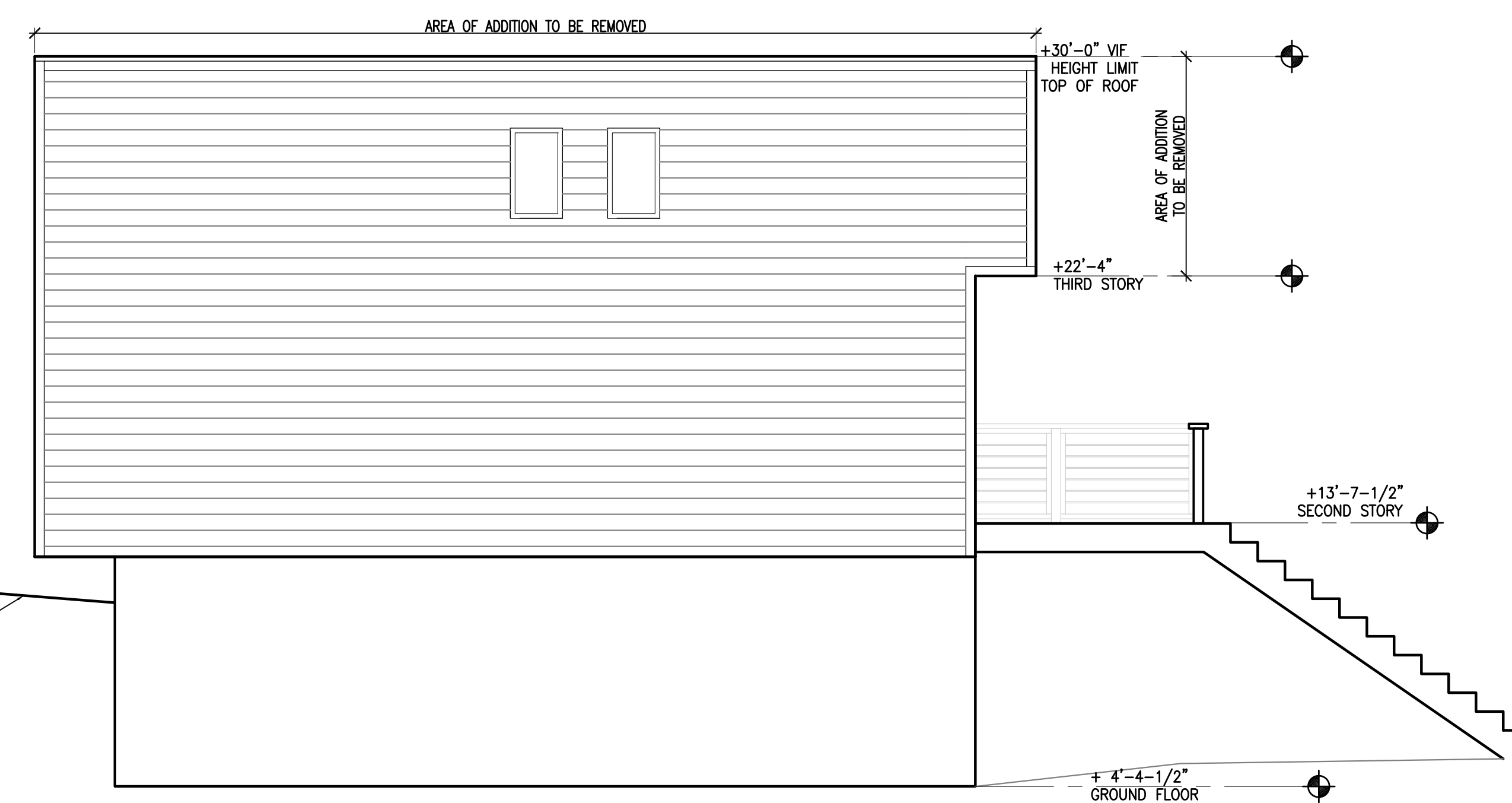
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Sheet Title
EXISTING
ELEVATIONS

Sheet Number
A2.01



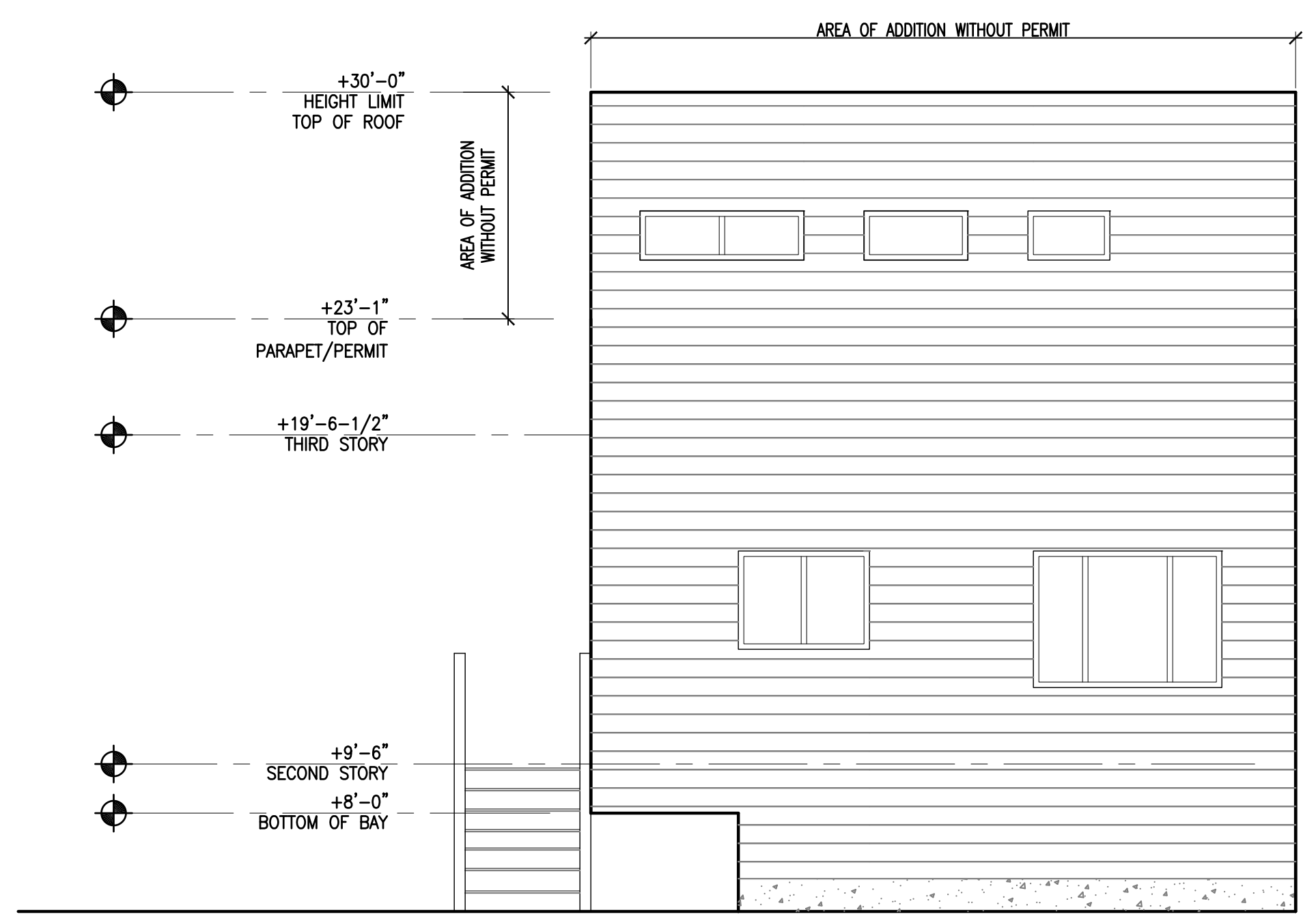
4 EXISTING NORTH ELEVATION - REAR BUILDING
A2.02 1/4" = 1'-0"



3 EXISTING WEST ELEVATION - REAR BUILDING
A2.02 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION - REAR BUILDING
A2.02 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION - FRONT BUILDING
A2.02 1/4" = 1'-0"

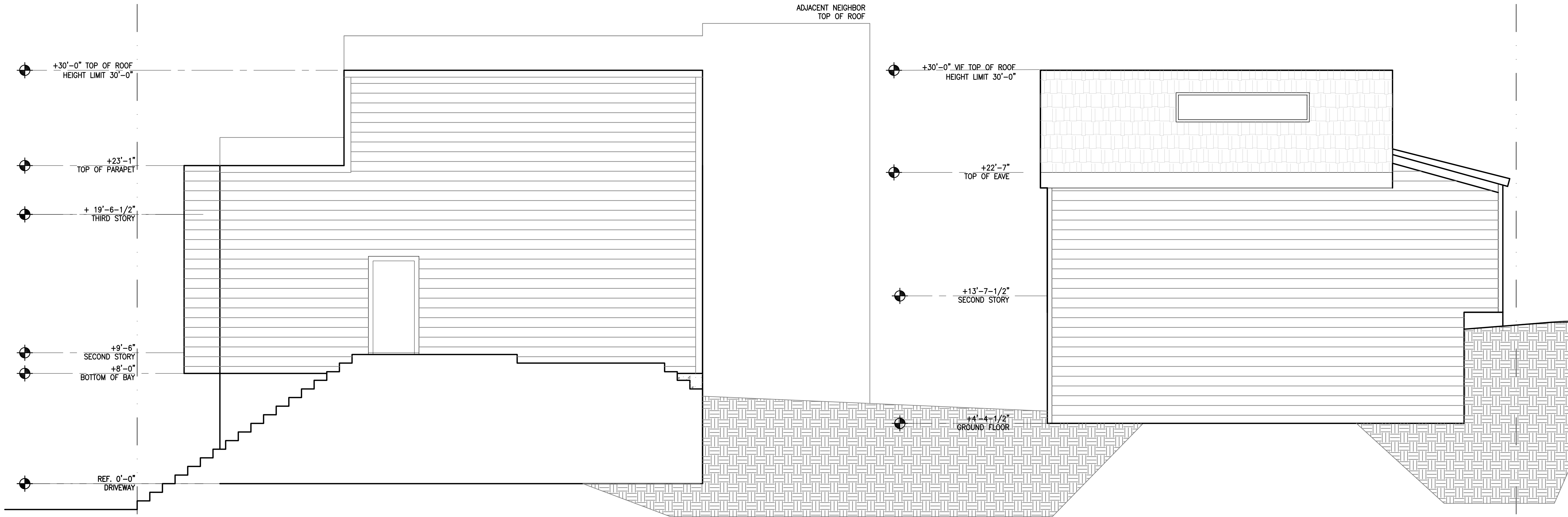
MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14

Scale
AS NOTED

Sheet Title
EXISTING
ELEVATIONS

Sheet Number
A2.02



2
A2.03
PROPOSED EAST ELEVATION - FRONT AND REAR BUILDING
1/4" = 1'-0"



1
A2.03
PROPOSED RICHLAND ST ELEVATION
1/4" = 1'-0"

REVIEW	Date
VARIANCE REV.	09.04.14

Scale
AS NOTED

Sheet Title

PROPOSED
ELEVATIONS

Sheet Number

A2.03

MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14

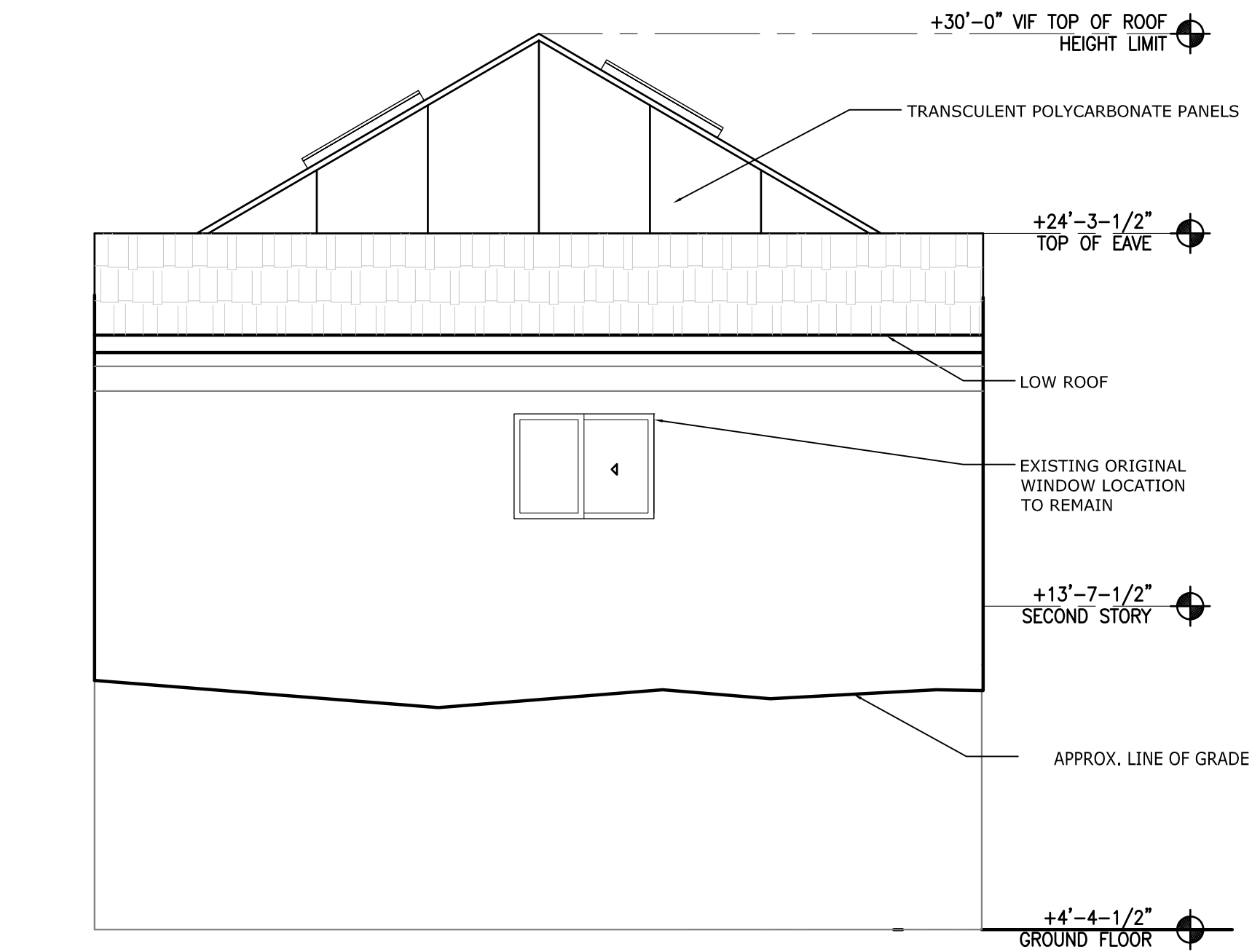
Scale
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Sheet Title

PROPOSED
ELEVATIONS

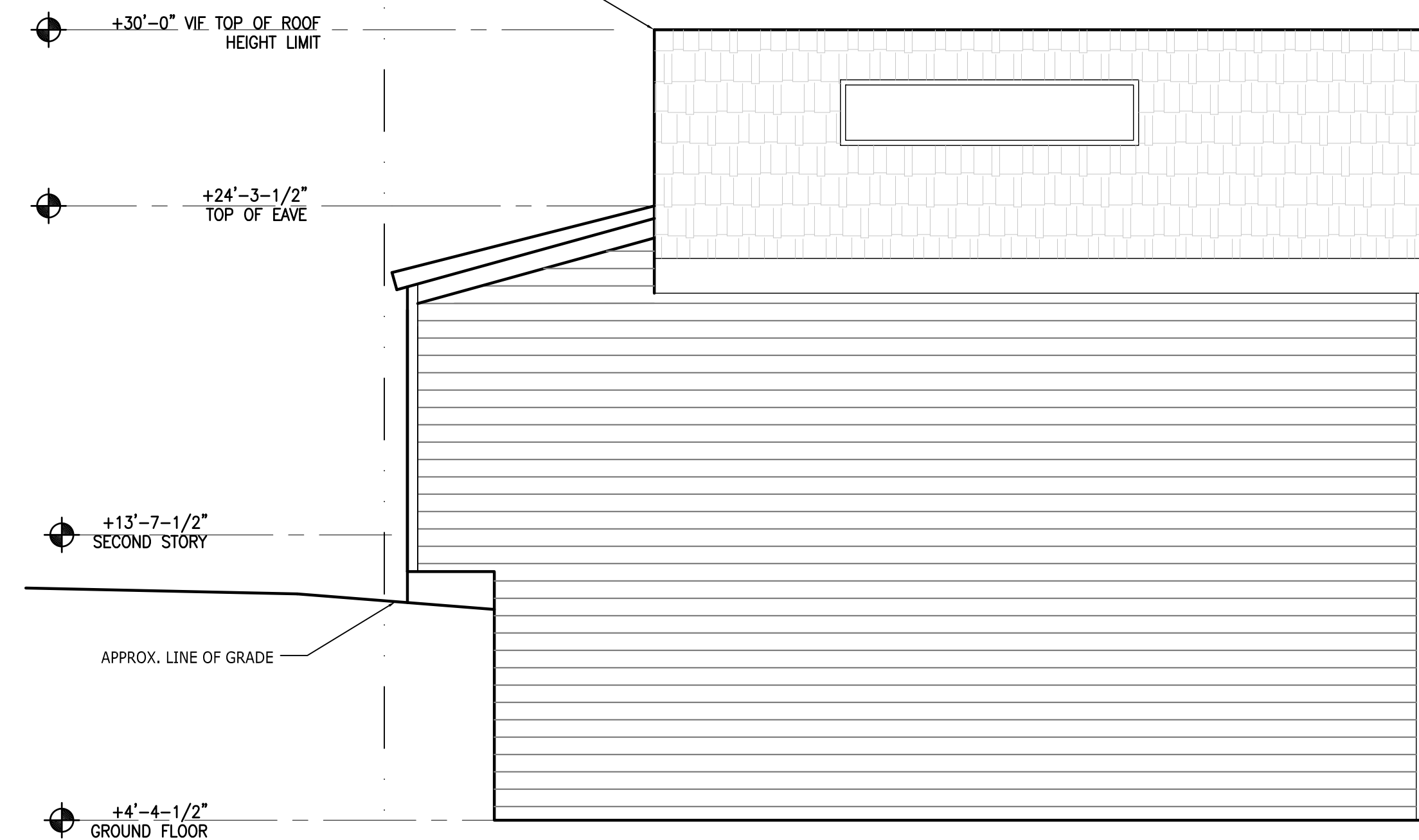
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A2.04

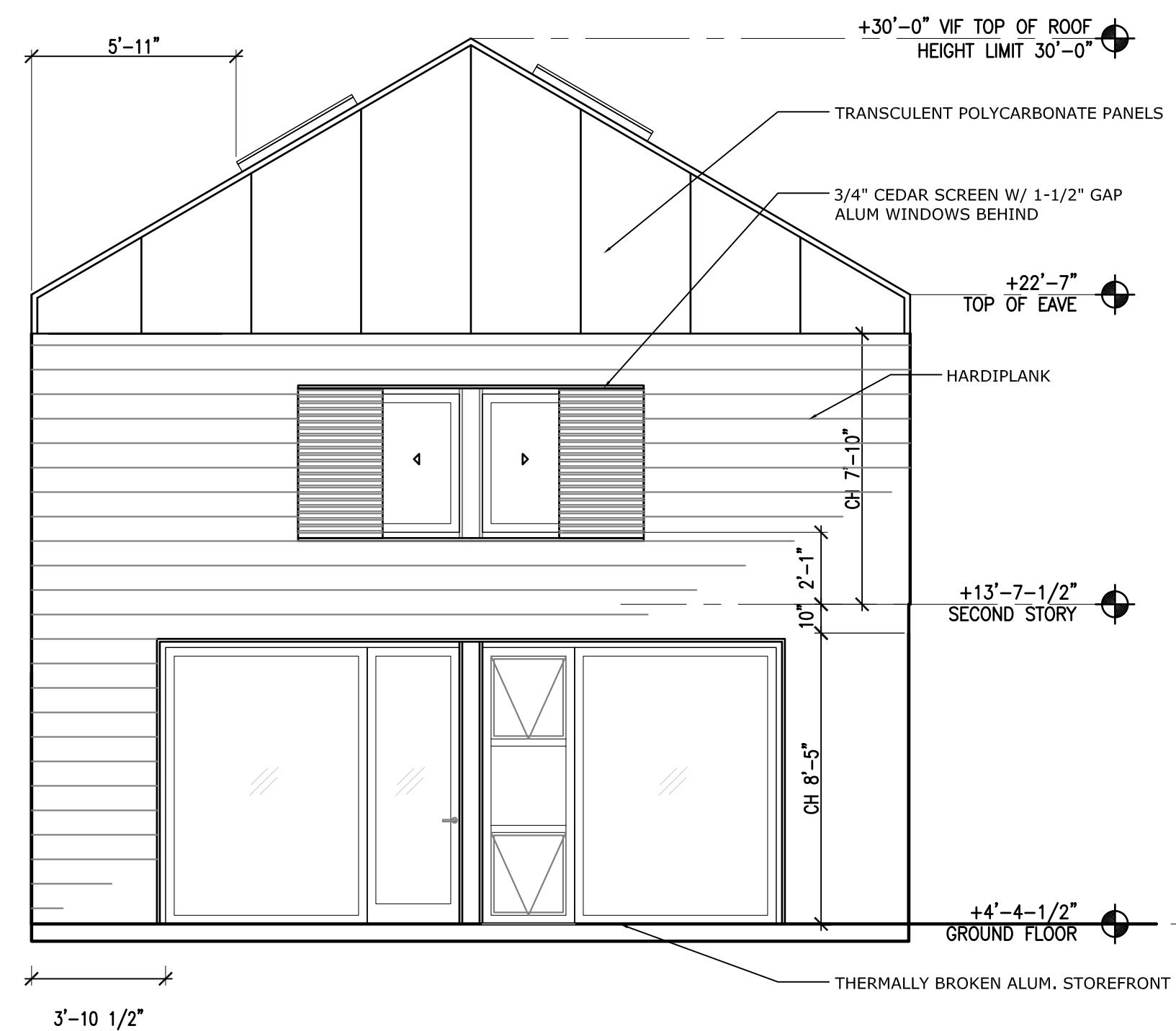


4 PROPOSED NORTH ELEVATION - REAR BUILDING
A2.04 1/4" = 1'-0"

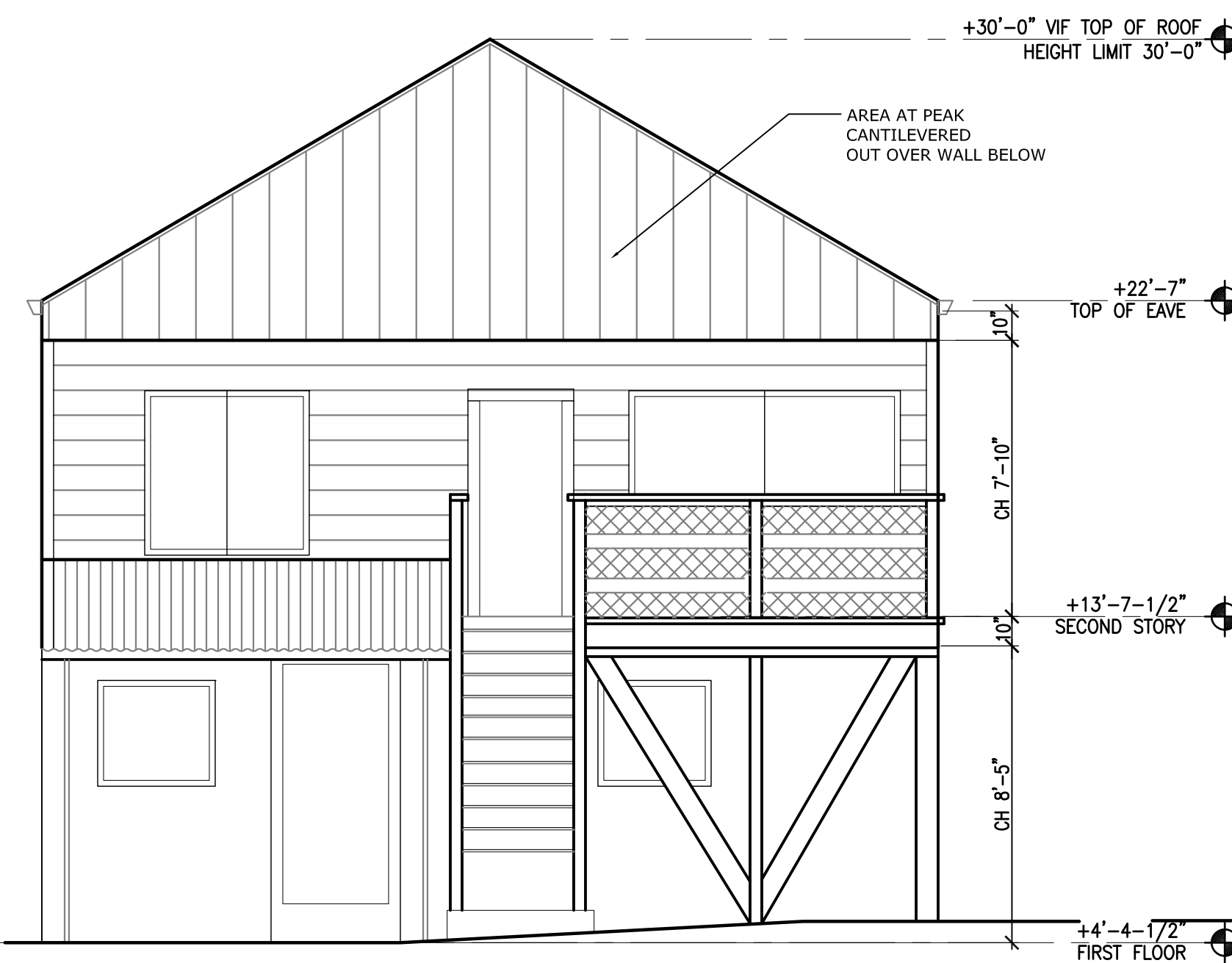
SURVEYOR TO BE RETAINED DURING
CONSTRUCTION TO SHOOT TOP OF ROOF
ELEVATION. CONTRACTOR TO PROVIDE MARKED
STORY POLE TO REMAIN FOR THE DURATION OF
CONSTRUCTION. NEW CONSTRUCTION TO BE
AT OR BELOW EXISTING ROOF LEVEL.



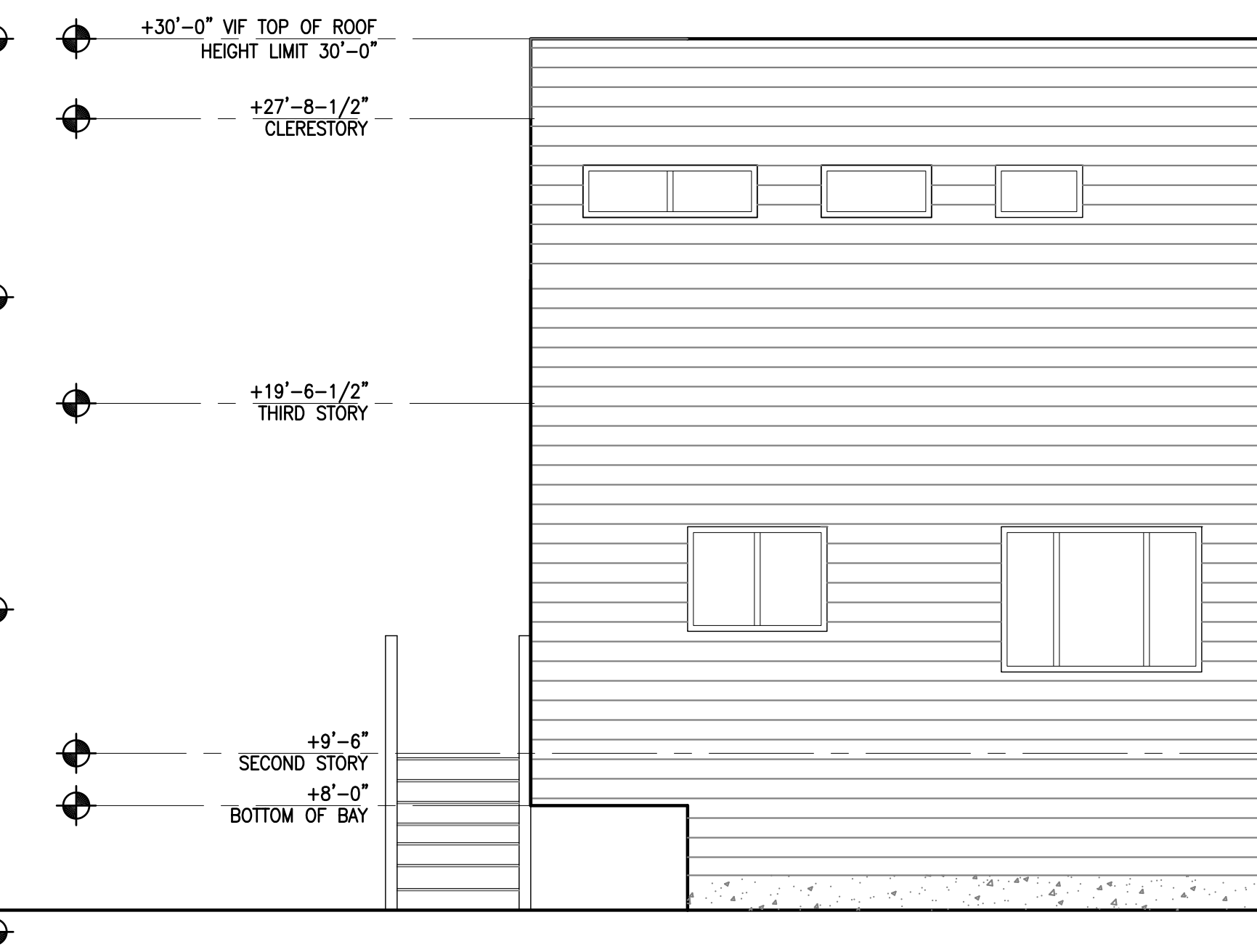
3 PROPOSED WEST ELEVATION - REAR BUILDING
A2.04 1/4" = 1'-0"



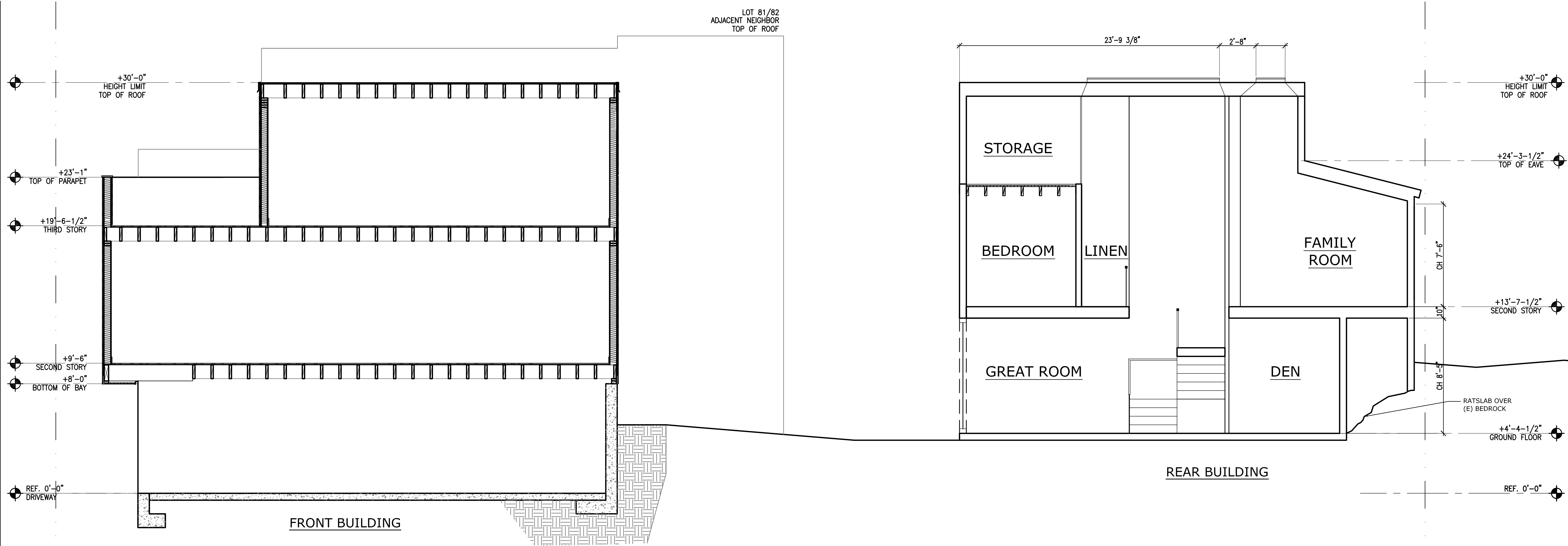
2B PROPOSED SOUTH ELEVATION - REAR BUILDING
A2.04 1/4" = 1'-0"



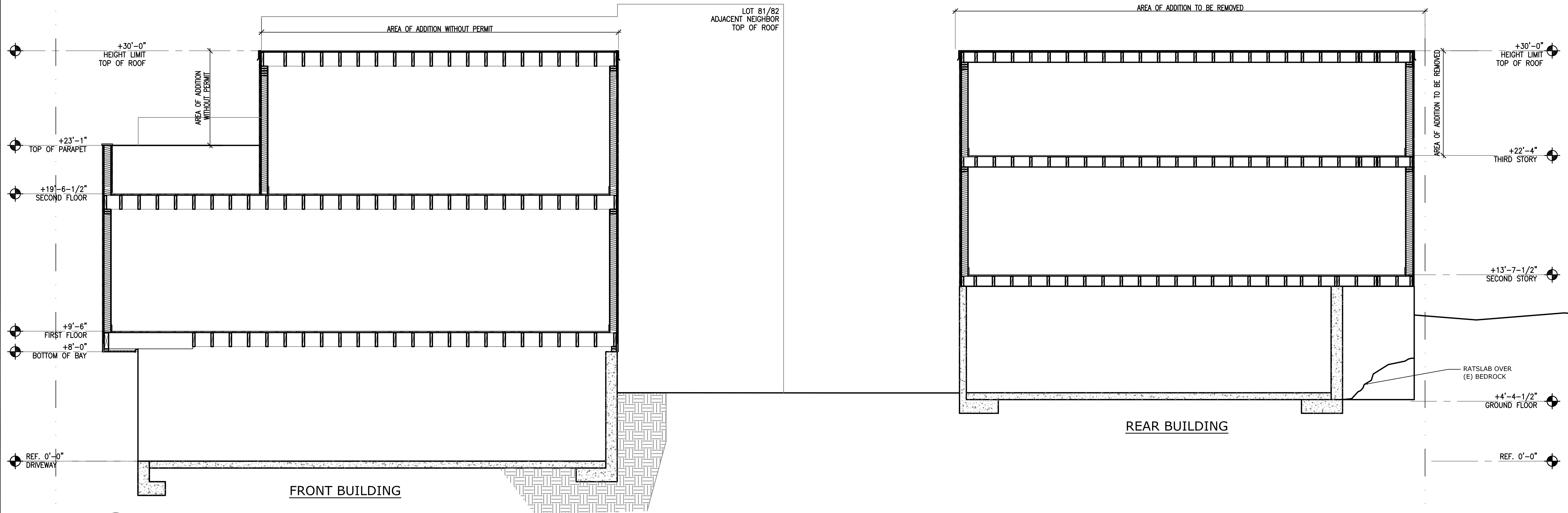
2A HISTORIC SOUTH ELEVATION - REAR BUILDING
A2.04 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION - FRONT BUILDING
A2.04 1/4" = 1'-0"



2 PROPOSED LONGITUDNAL SECTION
A3.01 1/4" = 1'-0"



1 EXISTING LONGITUDNAL SECTION
A3.01 1/4" = 1'-0"

MC HUGH RESIDENCE
349 RICHLAND AVE
San Francisco, CA 94110
Block 5721 Lot 077

REVIEW	Date
VARIANCE REV.	09.01.14

Scale
AS NOTED

Sheet Title
EXISTING
AND
PROPOSED
SITE SECTION
Sheet Number

A3.01