



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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415.558.6378

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415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 27, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|----------------------|------------------------------|-------------------------|------------------------|
| Project Address: | 253 Sanchez St | Case No.: | 2012.1497V |
| Cross Street(s): | 15th and 16th Streets | Building Permit: | 201208278277 |
| Block / Lot No.: | 3558/029 | Applicant/Agent: | Fred Horsfield |
| Zoning District(s): | RTO / 40-X | Telephone: | 415-606-8655 |
| Area Plan: | Market/Octavia | E-Mail: | fth@pacbell.net |

PROJECT DESCRIPTION

The project is to convert a proposed one-story storage structure (approximately 20.5 feet deep by 25 feet wide) located at the rear of the property into a dwelling unit. The previously existing rear structure was approved for reconstruction as a storage structure under Building Permit Application No. 2008.05.02.1189, and was granted a rear yard variance under Case No. 2008.1177V. The project requires a new variance to allow conversion of the proposed storage structure into a dwelling unit located within the required rear yard. The project will not expand the footprint of the previously existing and approved structure.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 52 feet. The proposed dwelling unit is located entirely within the required rear yard at the rear of the lot; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **415-575-9079** Mail: adrian.putra@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1497V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On February 1, 2013, the Department issued the required Section 311 notification for this project (expires March 3, 2013).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

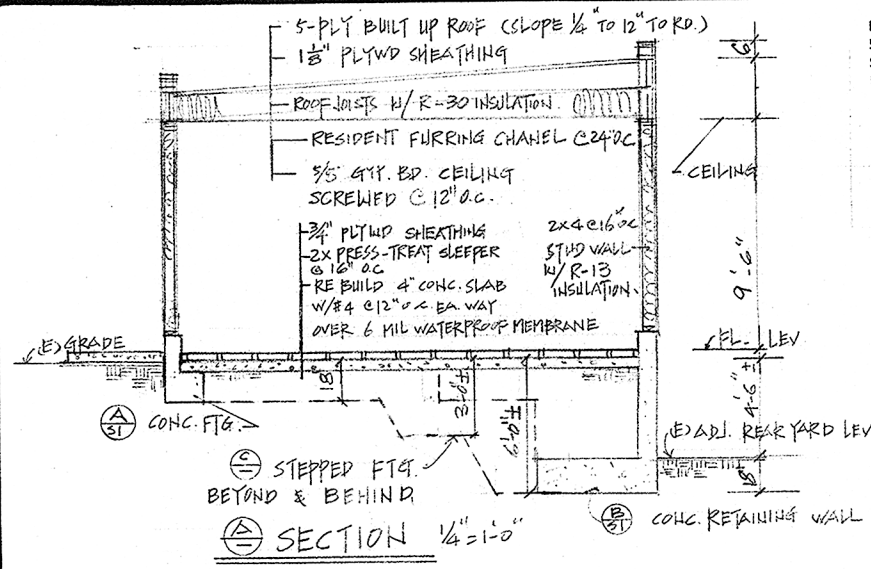
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

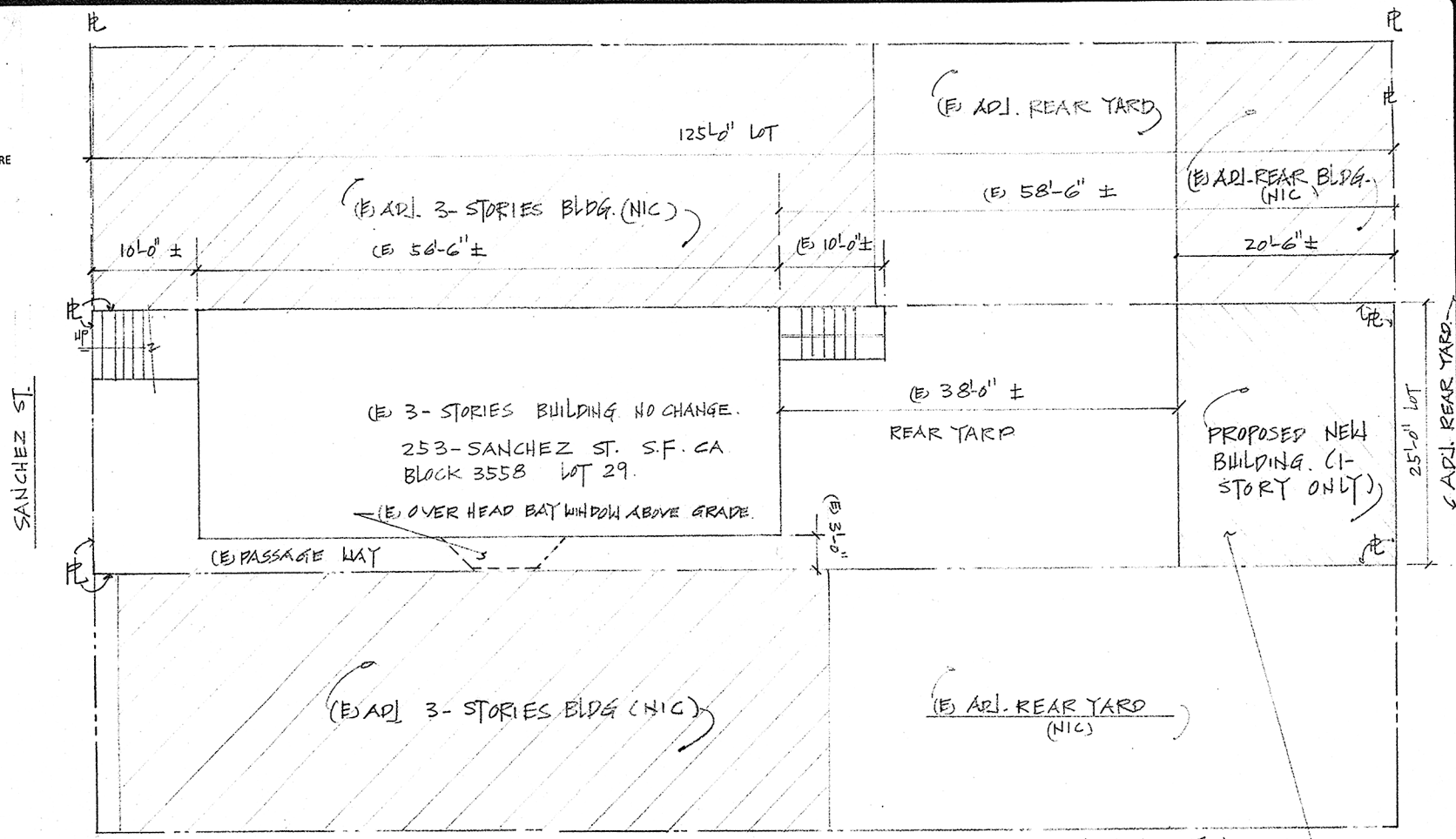
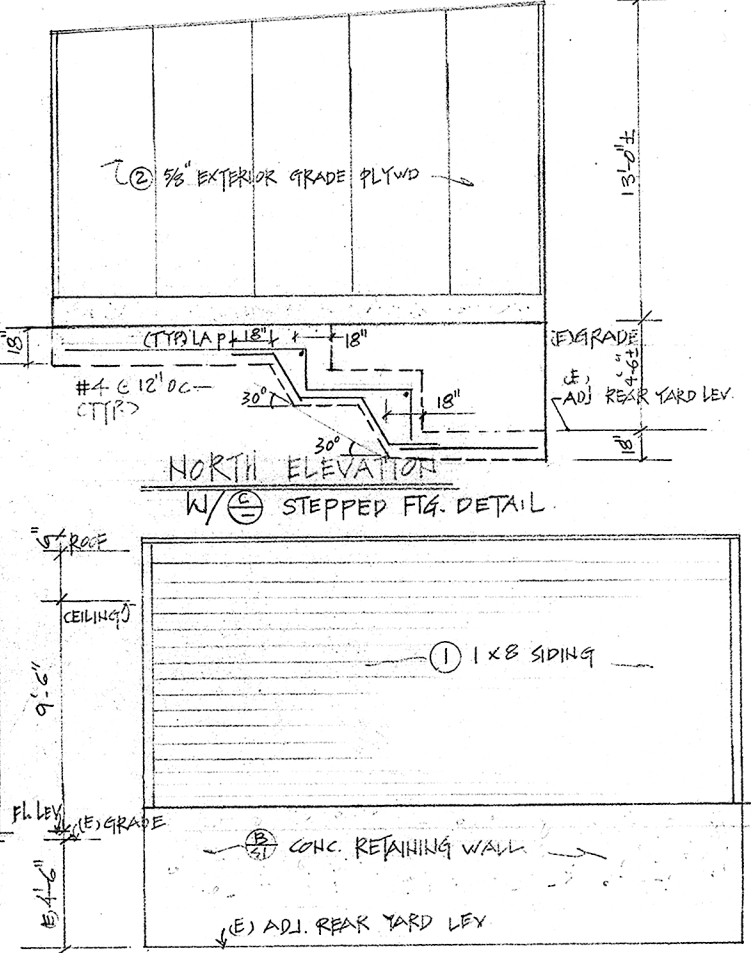
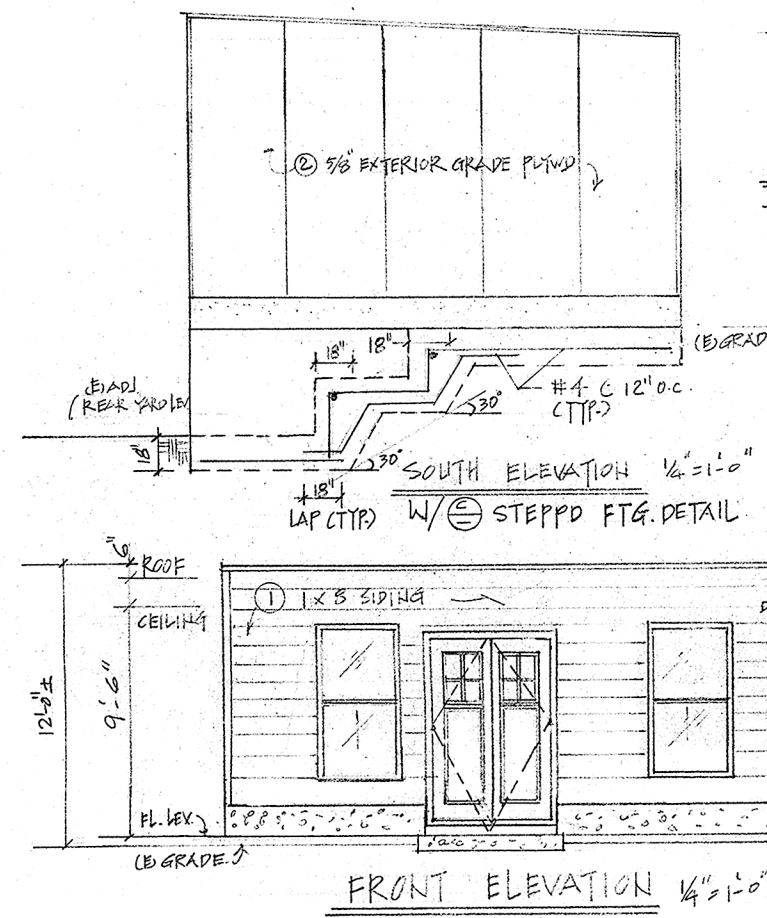
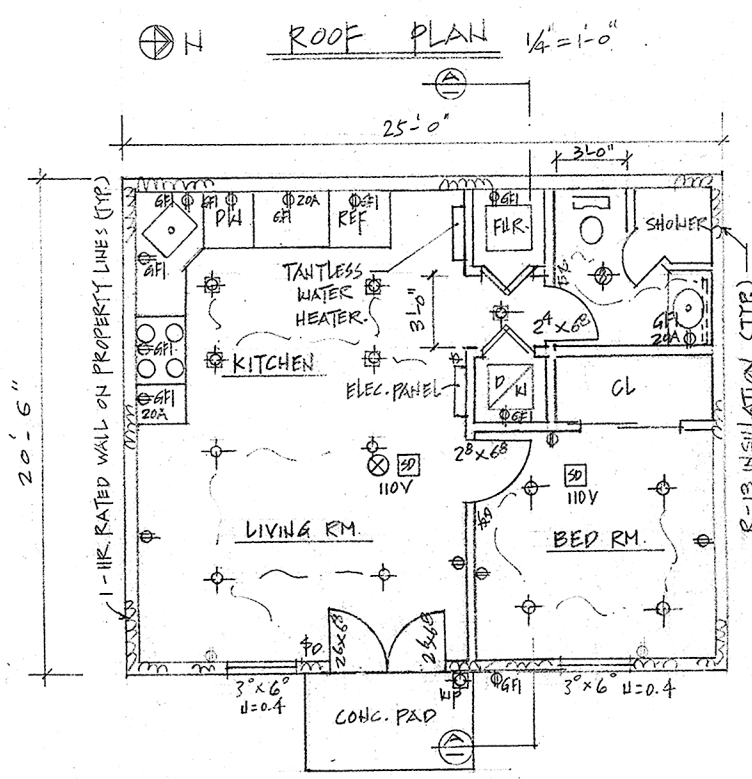
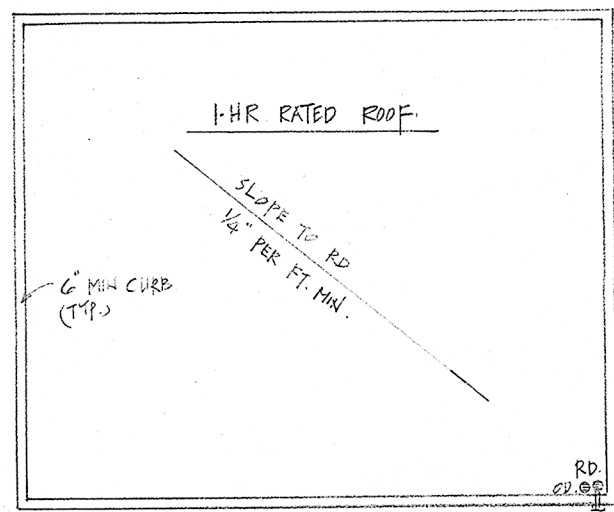
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

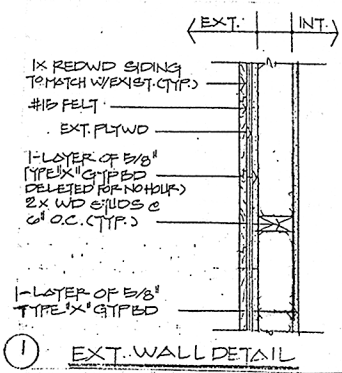
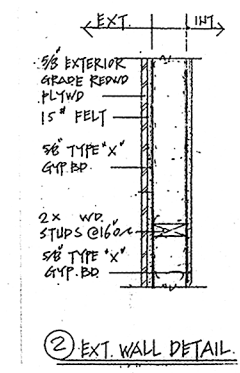
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



BUILT-UP ROOFING (TYPICAL):
 5-PLY TAR AND GRAVEL OVER 5/8" WATERPROOF PLYWOOD SHEATHING.
 SLOPE (1/4" PER FOOT MIN.) ROOF TO DRAIN (CONNECT TO SEWER).
 ROOF INSTALLATION SHALL BE AS PER APPROVED PRACTICE AND
 MANUFACTURER'S SPECIFICATION AND RECOMMENDATIONS. ROOFING
 CONTRACTOR SHALL SUBMIT NOTARIZED AFFIDAVIT OF INSTALLATION TO
 BUILDING INSPECTOR.
 ALL ROOF PENETRATIONS SUCH AS ROOF DRAINS, SKYLIGHTS, CHIMNEYS,
 EXHAUST FANS, VENT STACKS, ETC. SHALL BE PROPERLY FLASHED TO ASSURE
 WATER-TIGHTNESS. PROVIDE OVERFLOW DRAIN AS REQUIRED.
 SKYLIGHTS SHALL HAVE 4" MIN. CURB.



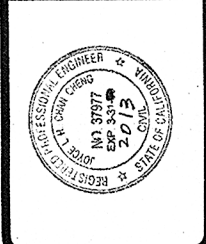
PROJECT INFORMATION
 CONSTRUCTION TYPE: 5N
 OCCUPANCY GROUP: R3
 SCOPE OF WORK:
 PROPOSED REBUILD EXISTING 1-STORY
 STRUCTURE AT EXISTING REAR YARD
 IN KIND, BUILDING USE AS A NEW
 UNIT.
 DRAWING INDEX:
 SHEET T1 - NOTES
 SHEET A1 - PLANS AND ELEVATION
 SHEET S1 - FRAMING PLAN
 FOUNDATION PLAN



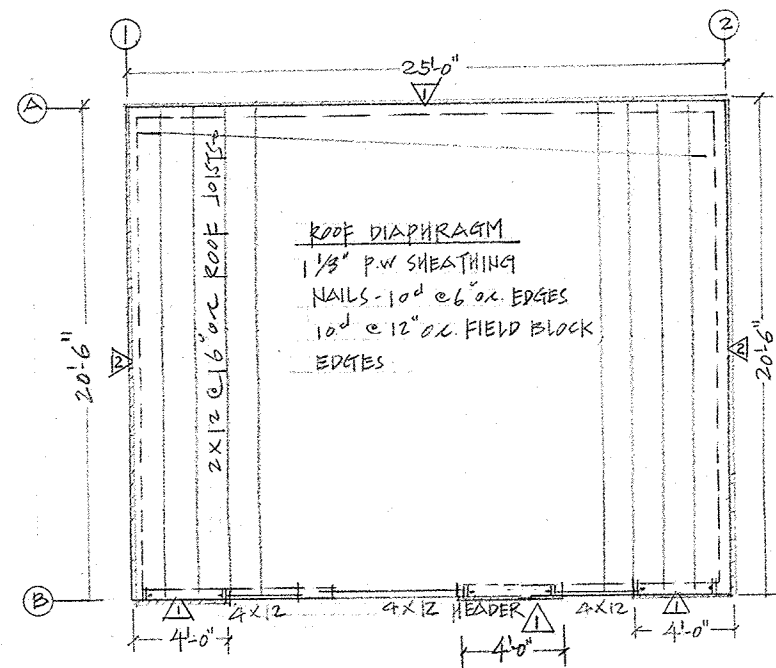
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FLOOR PLAN & ELEVATION
 REBUILD 1-STORY BUILDING AT REAR
 AT 253 - SANCHEZ ST. BLOCK-3555 LOT-29
 S.F. CA.

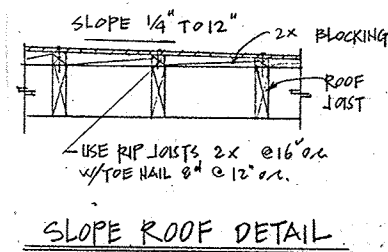
A & J Design Associates Inc.
 2328 Taraval Street
 San Francisco, CA 94116
 (415) 682-8883



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|----------------------|-------------------|
| DRAWN ANNA CHEUNG | CHECKED |
| DATE 11-21-07 | SCALE AS SHOWN |
| JOB NO. 2007-50 | SHEET A1 |
| OF 1 | SHEETS |



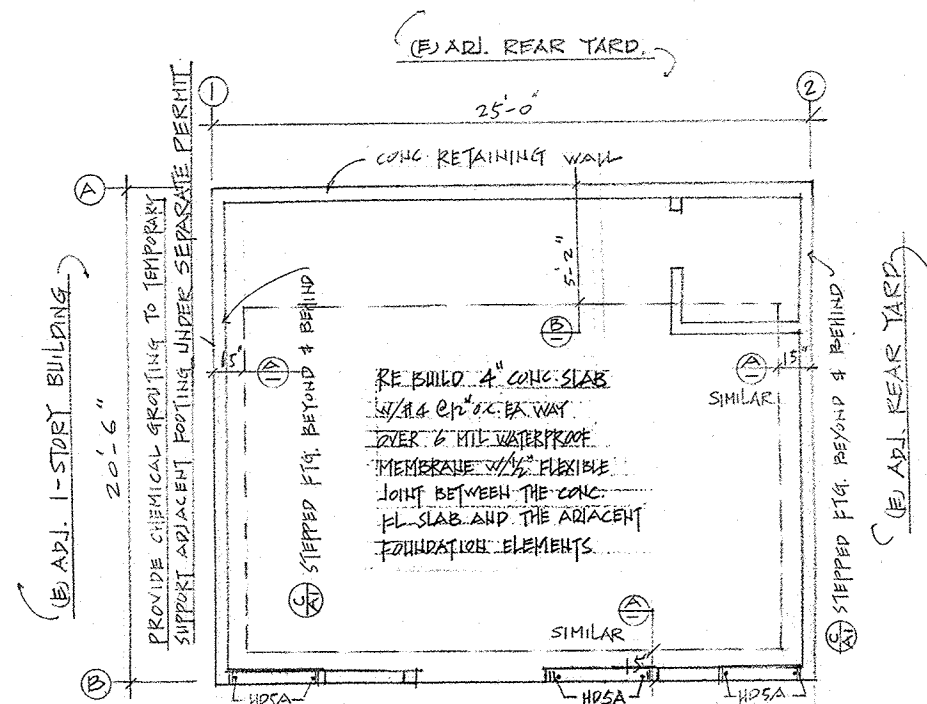
ROOF FRAMING PLAN
1/4" = 1'-0"



SLOPE ROOF DETAIL

SHEAR WALL PROVIDED

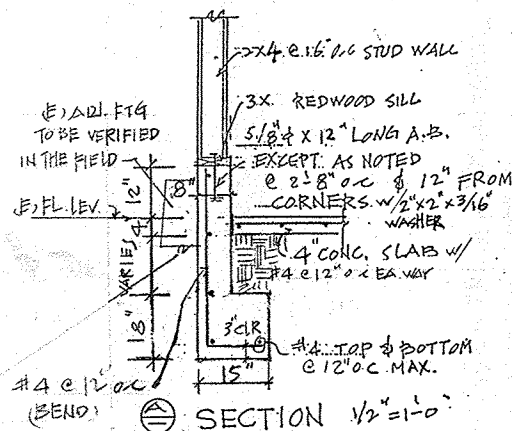
- 1 1" DROP SIDING ON 1/2" PLY WD. SHEATHING.
NAILS - 10d @ 6" O.C. EDGES. 12" O.C. FIELD BLOCK EDGES.
- 2 3/8" EXTERIOR GRADE RED WD. PLY WD.
NAILS - 10d @ 6" O.C. EDGES 12" O.C. FIELD BLOCK EDGES.



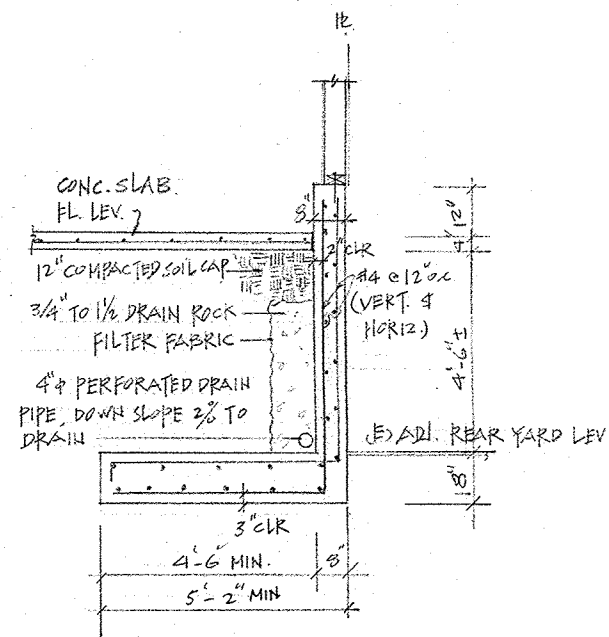
SHORING AND BRACINGS

IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACINGS, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY PRIOR TO AND DURING ALL CONSTRUCTION.

FOUNDATION PLAN
1/4" = 1'-0"



CHEMICAL GROUTING OF THE SOIL MASS BELOW THE FOUNDATION FTG. OF ADJ. BUILDING TO A DEPTH OF AT LEAST 2'-0" UNDER BOTTOM OF SUCH FOOTING. THE CHEMICAL GROUTING MUST BE DESIGNED AND PERFORMED BY A SPECIALTY CONTRACTOR EXPERIENCED IN THIS TYPE OF WORK. THE CHEMICAL GROUTING SHALL BE UNDER SEPARATE PERMIT W/ SPECIAL INSPECTION.



RETAINING WALL SECTION
1/2" = 1'-0"

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ROOF FRAMING & FOUNDATION PLAN
REBUILD 1-STORY BUILDING AT REAR
AT 253 - SANCHEZ ST. BLOCK 355B LOT - 29
S.F. CA.

A & J Design Associates Inc.
2328 Taraval Street
San Francisco, CA 94116
(415) 682-8683



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|---------------------|
| DRAWN ANNA CHENG |
| CHECKED |
| DATE 11-26-07 |
| SCALE AS SHOWN |
| JOB NO. 2007-50 |
| SHEET S1 |
| OF 1 SHEETS |