



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **August 13, 2012**, the Applicant named below filed Building Permit Application No. **2012.08.13.7279** (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Rachel Abraham-Pollard	Project Address:	156 Sproule Lane
Address:	1760 Mission Street	Cross Streets:	Clay Street
City, State:	San Francisco, CA 94103	Assessor's Block /Lot No.:	0222/162
Telephone:	(415) 692-0611	Zoning Districts:	RM-3 /65-A

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)
		<input type="checkbox"/> ALTERATION
		<input type="checkbox"/> FACADE ALTERATION(S)
		<input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED
BUILDING USE	Two family dwelling	No Change
FRONT SETBACK	None	No Change
SIDE SETBACKS	None	No Change
BUILDING DEPTH	Approx. 75'-0"	No Change
REAR YARD	5'-0"	No Change
HEIGHT OF BUILDING	29'-0"	Approx. 39 feet
NUMBER OF STORIES	3	4
NUMBER OF DWELLING UNITS	2	2
NUMBER OF OFF-STREET PARKING SPACES	2	2

PROJECT DESCRIPTION

The project proposes the construction of a one-story vertical addition (4th floor) with a roof deck above the third story, a two-story in-fill addition at the northeast corner of the building beneath the cantilevered 3rd floor, and new decks within the required rear yard that will replace existing decks. The new decks will be setback further from the rear property line than the existing decks but still require a rear yard variance pursuant to Planning Code Section 134, which will be noticed separately at a later date.

PLANNER'S NAME: **Kate Conner**
PHONE NUMBER: **(415) 575-6914**
EMAIL: **kate.conner@sfgov.org**

DATE OF THIS NOTICE:

EXPIRATION DATE:

NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any **general questions** concerning this **application review process** may be answered by the **Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m.** Please phone the Planner listed on the reverse of this sheet with **questions specific to this project.**

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. **Call the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org** for a facilitated discussion in a safe and collaborative environment through mediation. Community Boards acts as a neutral third party and has, on many occasions, helped parties reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the **Planning Department, 1660 Mission Street, 1st Floor**, or on-line at www.sfplanning.org). You must submit the application to the **Planning Information Center (PIC)** during the hours between **8:00 a.m. and 5:00 p.m.**, with all required materials, and a check, **for each Discretionary Review request payable to the Planning Department.** To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.** **Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the **Board of Appeals within 15 days** after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304.** For further information about appeals to the Board of Appeals, including their current fees, **contact the Board of Appeals at (415) 575-6880.**

DOCUMENT

I. ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE, CITY AND COUNTY CODES AND ORDANCES. ANY WORK FOUND IN THESE DRAWINGS NOT IN FORMANCE WITH ANY APPLICABLE CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF ANY RELATED WORK.

CODES USED:
2010 CALIFORNIA BUILDING CODE(CBC/UBC)
2010 CALIFORNIA PLUMBING CODE(CPC/JUPC)
2010 CALIFORNIA ELECTRICAL CODE(CEC/JUEC)
2010 CALIFORNIA MECHANICAL CODE(CMC/JUMC)
2010 CALIFORNIA FIRE CODE(CFC)
2010 CALIFORNIA ENERGY CODE(CEC/T-24)

II. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODE.

III. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

IV. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS.

V. ANY DEVIATION CAUSED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS SHALL BE BROUGHT TO THE ATTENTION TO ENGINEER/OWNER. ANY DISCREPANCY NOT REPORTED TO ENGINEER/OWNER WILL ABSOLVE ENGINEER/OWNER FROM ANY LIABILITY.

VI. TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE PROVIDED.

VII. DO NOT SCALE THESE DRAWINGS. DIMENSIONS SHOWN ON PLANS OR DETAILS SHALL TAKE PRECEDENCE OVER SCALES SHOWN. ALL INTERIORDIMENSIONS ARE MEASURED TO FINISHED SURFACES AND ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR SHEATHING, U.N.O.

VIII. ALL WRITTEN DOCUMENTS REFERRED TO HEREWITH GOVERNING THE CONSTRUCTION OF THIS PROJECT SHALL BE THE CURRENT EDITION OF SAID DOCUMENTS.

IX. THESE GENERAL NOTES SHALL PERTAIN TO THIS PROJECT AS APPLICABLE.ADDITIONALNOTES PERTAINING TO OTHER REQUIREMENTS MAY BE FOUND ON OTHER SHEETS.

PLANNING STANDARD CONDITIONS

I. CONSTRUCTION-RELATED ACTIVITIES SHALL BE LIMITED TO BETWEEN THE HOURS OF 7AM TO 6PM, MONDAY TO SATURDAY. NO CONSTRUCTION IS TO OCCUR ON SUNDAY OR FEDERAL HOLIDAYS. CONSTRUCTION EQUIPMENT NOISE LEVELS SHALL NOT EXCEED THE CITY'S MAXIMUM ALLOWABLE NOISE LEVELS.

2. REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT, CLEAN, AND HEALTHY CONDITION. THIS SHALL INCLUDE PRUNING, MOVING OF LAWNS, WEEDING, REMOVAL OF LITTER, FERTILIZING, REPLACEMENT OF PLANTS WHEN NECESSARY, AND THE REGULAR WATERING OF ALL PLANTINGS.

3. THE CONDITIONS HEREIN CONTAINED SHALL RUN WITH THE PROPERTY AND SHALL BE BINDING ON THE APPLICANT AND ALL HEIRS, EXECUTORS, ADMINISTRATORS, AND SUCCESSORS IN INTEREST TO THE REAL PROPERTY THAT IS THE SUBJECT OF THIS APPROVAL.

4. THE APPLICANT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY OF VALLEJO AND ITS AGENTS, OFFICERS, AND EMPLOYEES FROM ANY CLAIM, ACTION, OR PROCEEDING AGAINST THE CITY AND ITS AGENTS, OFFICERS AND EMPLOYEES TO ATTACK, SET ASIDE, VOID, OR ANNULL THIS APPROVAL BY THE CITY. THE CITY MAY ELECT, AT THIS DISCRETION, TO PARTICIPATE IN THE DEFENSE OF ANY ACTION.

5. SHOWER CONTROL VALVE SHALL LIMIT THE TEMPERATURE OF THE WATER 120 DEGREE MAX BY CPC 2007 SECTION 418.

6. THE SHOWER COMPARTMENT SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. THE REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO ITS CENTERLINE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE. SHOWER DOORS SHALL OPEN TO PROVIDE A MINIMUM OF 22 INCHES UNOBSTRUCTED EGRESS OPENING.

7. NEW SHOWER TO BE COVERED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE (I.E., CERAMIC TILE OR FIBERGLASS) INSTALLED OVER A MOISTURE RESISTANT UNDERLAYMENT.

8. NEW OUTLETS (INCLUDING RECEPTACLES, SWITCHES, LIGHTING, AND HARD-WIRED SMOKE DETECTORS) IN BEDRMS MUST BE ON CIRCUITS PROTECTED WITH A COMBINATION ARC-FAULT BREAKER. (2007 CEC 210.12)

GENERAL NOTES

1. Project has been designed in accordance with the 2010 California Building Code, CEC, CMC and CPC, and 2010 California Energy Code. Comply with City of San Francisco

2. Emergency Egress Windows: The sill height of at least one window in each bedroom will not exceed 44" above fin. fir, and it will have an escape opening w/a minimum net clear opening of 5.7square feet (except at the grade – floor where it can be 5 square feet);minimum net clear opening height of 24"; and a minimum net clear opening width of 20", all as per CBC 1026.2, 1026.2.1 & 1026.3 Typical.

3. All drywall to be 5/8" type "X" thick. Install corner beads at all outside corners. Fasten drywall to framing with drywall screws. Provide a smooth finish at all walls. UO.N. All joints to be taped and sanded so that there is no distinguishable transition. Contractor shall deliver all new walls perfectly even. The owner's and architect's criteria will be the sole measure for approval of the finished work.

4. 1 Hour Construction: Provide 5/8" type "X" G.W.B. at walls and ceilings between residence and garage, mechanical room and residence.

5. Provide Solid blocking as necessary for all wall mounted shelves fixtures and fittings. See interior elevation, where applicable

6. Tempered glazing is required as per UBC 2406.3. Glazing to be tempered includes but is not limited to: glazing that is less than 18" above finish floor, within 24" radius of doors; Glass door and panels of shower and bathtub enclosures and adjacent glazed openings within 60" above a standing surface and drain inlet shall be fully tempered.

7. Batt insulation to have R value as per title 24 Report from CF-1R, typical

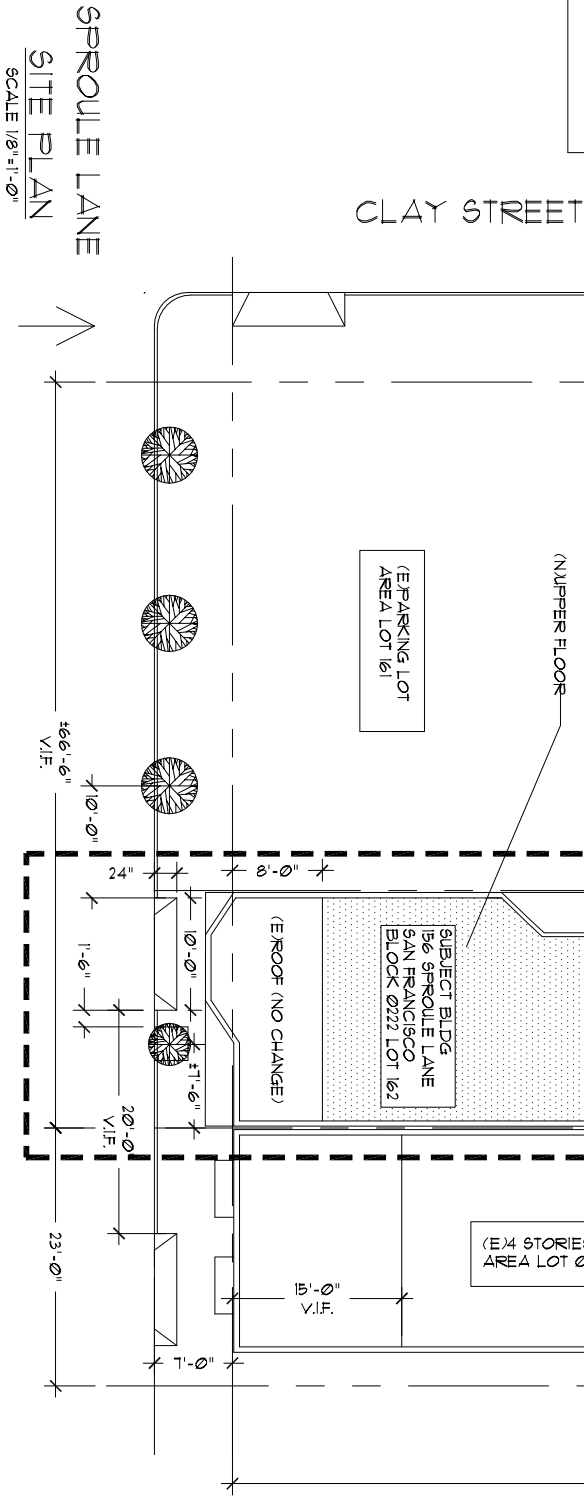
8. All plumbing is design/build by the Plumbing contractor and is to meet required codes and T-24 requirements. Low flow plumbing fixtures & fittings will be used in all bathrooms, etc. Toilets to have a max. allowable flush of 1.28 gal. When there are fixtures @ three levels, cost iron or other approved non-plastic materials for drain, waste, & vents is to be used.

9. Shower & shower/tub combinations to have pressure balance mixing valves or thermostatic volves as per UPC section 420.0

10. Provide ceramic tile or stone finish at all shower and tub w/ shower area to a minimum height of 70 " above the drain inlet over a moisture resistant underlayment, typical Verify with interior elevation, if applicable.

11. No dishwashing machine shall be directly connected to a drainage system of food disposer without an approval.

12. All stairways to be min. 36" in width with a maximum rise of 7.75" and a minimum run of 10". Stairways with 4 or more treads to have a continuous handrail at one side extending from bottom riser to top riser, per CBC 1009. Handrails to have 1 1/2" to 2" grippable cross section, no sharp corner, height of 34"-38" above nosing and will return to walls or terminate at newel post, per CBC 1012.



PROPERTY DATA		SCOPE OF WORK	
● HOUSE OWNER:	PAUL	1. VERTICAL ADDITION ONE MORE FLOOR AT THE ROOF LEVEL	
● ADDRESSES:	156 SPROULE LANE, SAN FRANCISCO	2. PROVIDE (N)ROOF DECK AT ROOF LEVEL	
● OCCUPANCY GROUP:	R-3	3. REMODEL (E)SECOND & THIRD FLOOR	
● CONSTRUCTION TYPE:	V-N	DRAWING INDEX	
● LOT SIZES:	1680 SF	A1 GENERAL NOTES	
● BUILDING AREA		A2 (E) FLOOR PLANS	
(E)GROUND FLOOR AREA	1460 SF	A3 (N)PROPOSED FLOOR PLANS	
(E)THIRD FLOOR AREA	1340 SF	A4 (N)PROPOSED FLOOR PLANS	
(N)PROPOSED UPPER FLOOR AREA + ROOF DECK =	5000 + 460 = 9609SF	A5 EXISTING ELEVATION FRONT VIEW	
(N)PROPOSED THIRD FLOOR AREA + DECK =	1340 SF + 94 SF = 1434 SF	A6 (N) ELEVATION FRONT VIEW	
(N)PROPOSED SECOND FLOOR AREA + DECK =	1340 SF + 94 SF = 1434 SF	A7 CROSS-SECTION OF BLDG	
		A8 CROSS-SECTION VIEW	

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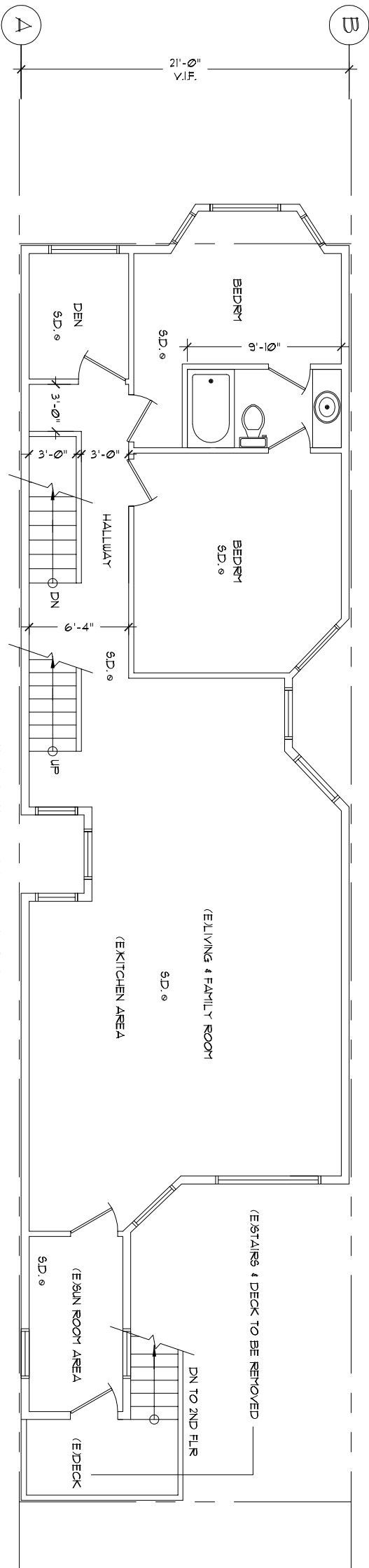
BLOCK 0222 LOT 162
156-158 SPROULE LANE
SAN FRANCISCO, CA

Date:	MAY 2012
Dwg Size:	24x36
Scale:	A.N.

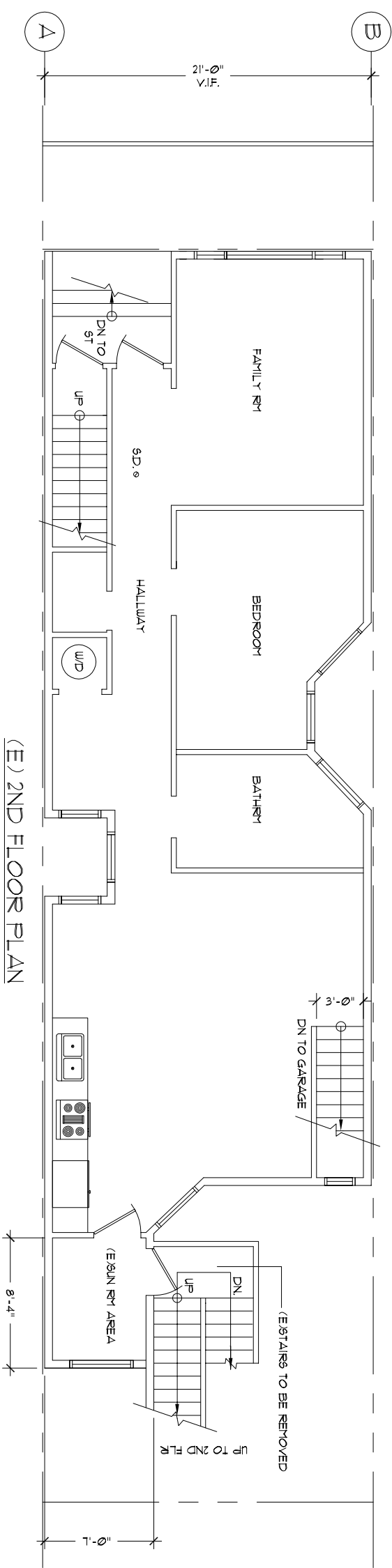
GENERAL NOTES

SHEET

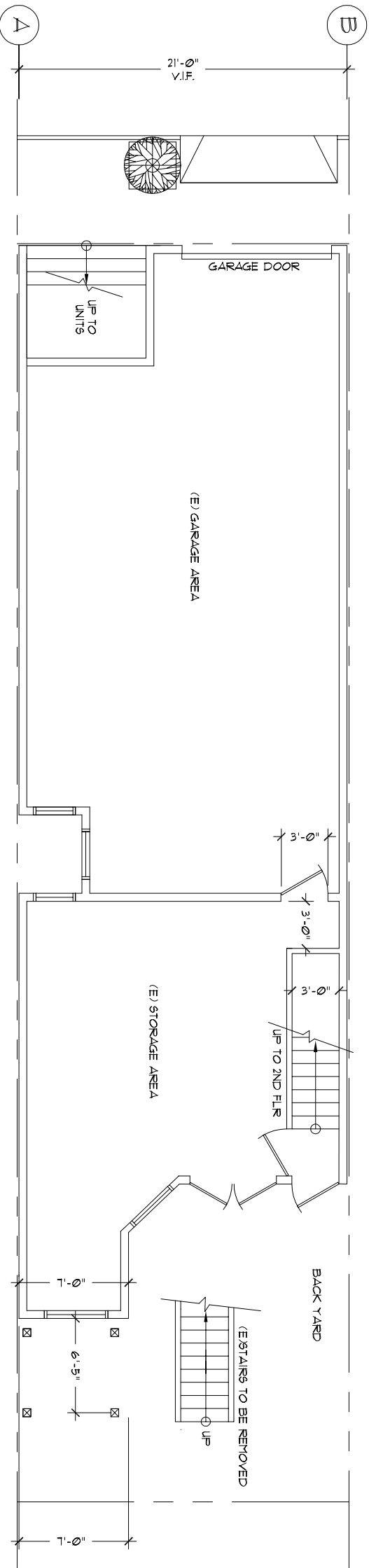
A-1



(E) THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"



(E) 2ND FLOOR PLAN
SCALE 1/4" = 1'-0"



(E) GARAGE PLAN
SCALE 1/4" = 1'-0"



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BLOCK 0222 LOT 162
156-158 SPROULE LANE
SAN FRANCISCO, CA

Date: MAY 2012
Dwg Size: 24x36
Scale: A.N.

(E) FLOOR PLAN

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BLOCK 0222 LOT 162
156-158 SPROULE LANE
SAN FRANCISCO, CA

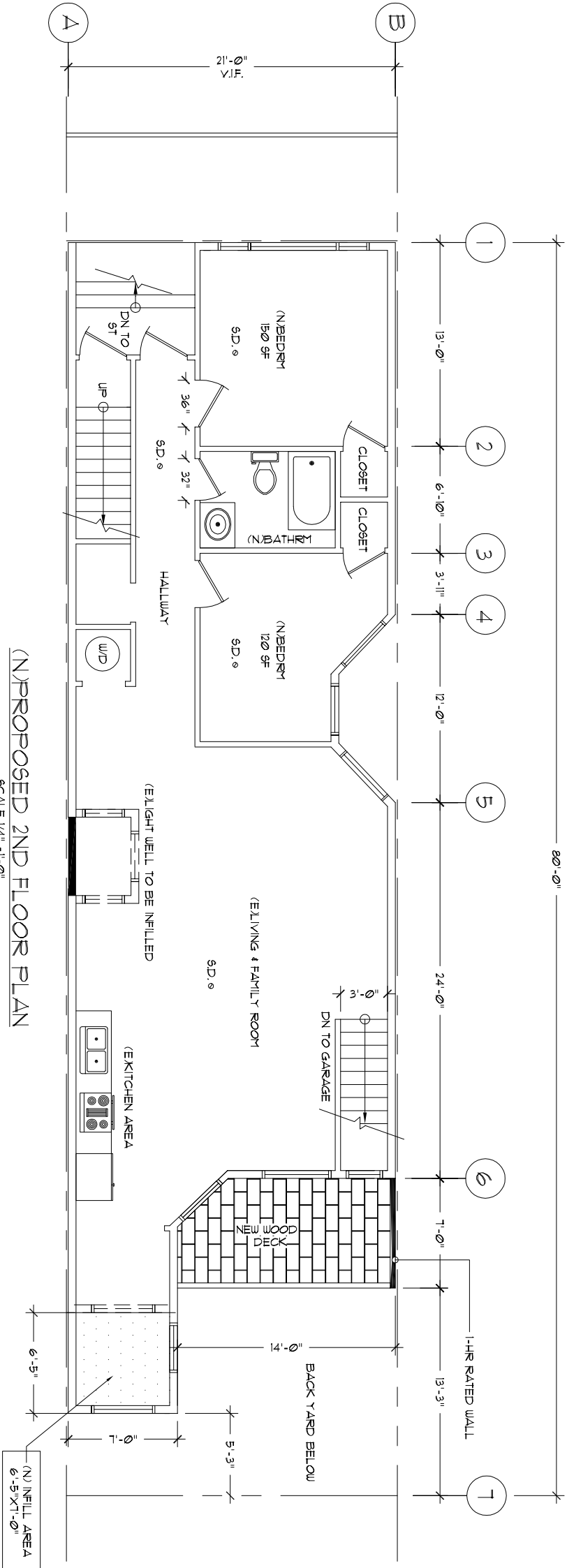
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NEW PROPOSED
FLOOR PLAN

SHEET

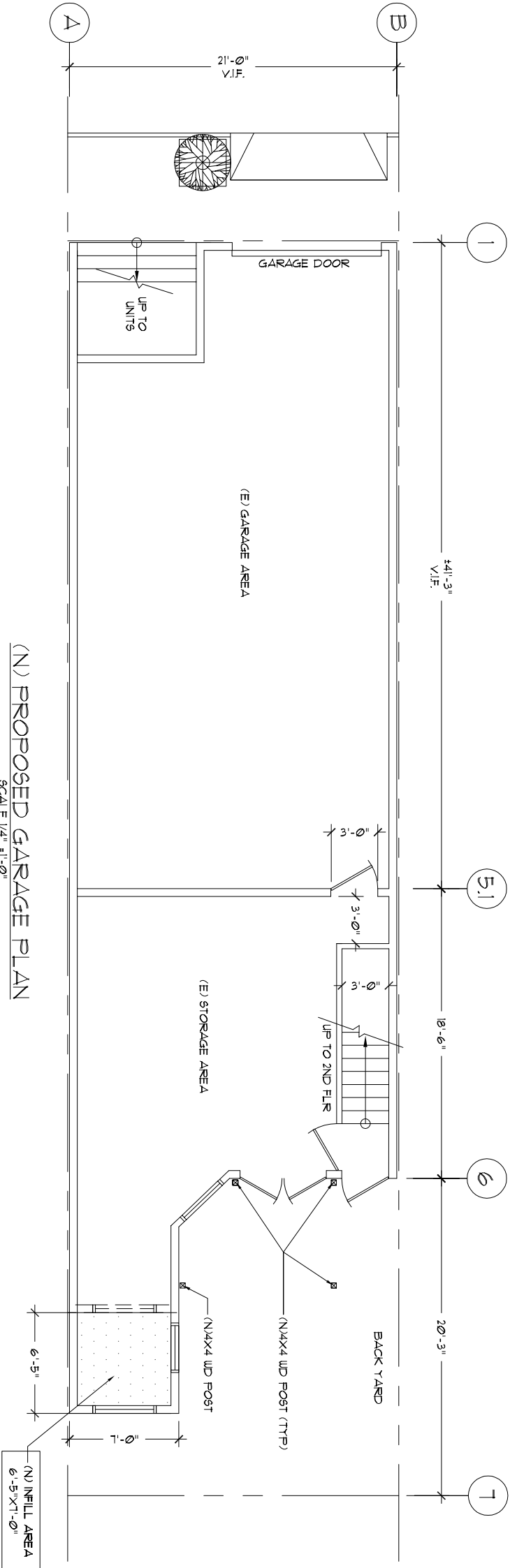
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OF 3 SHEET



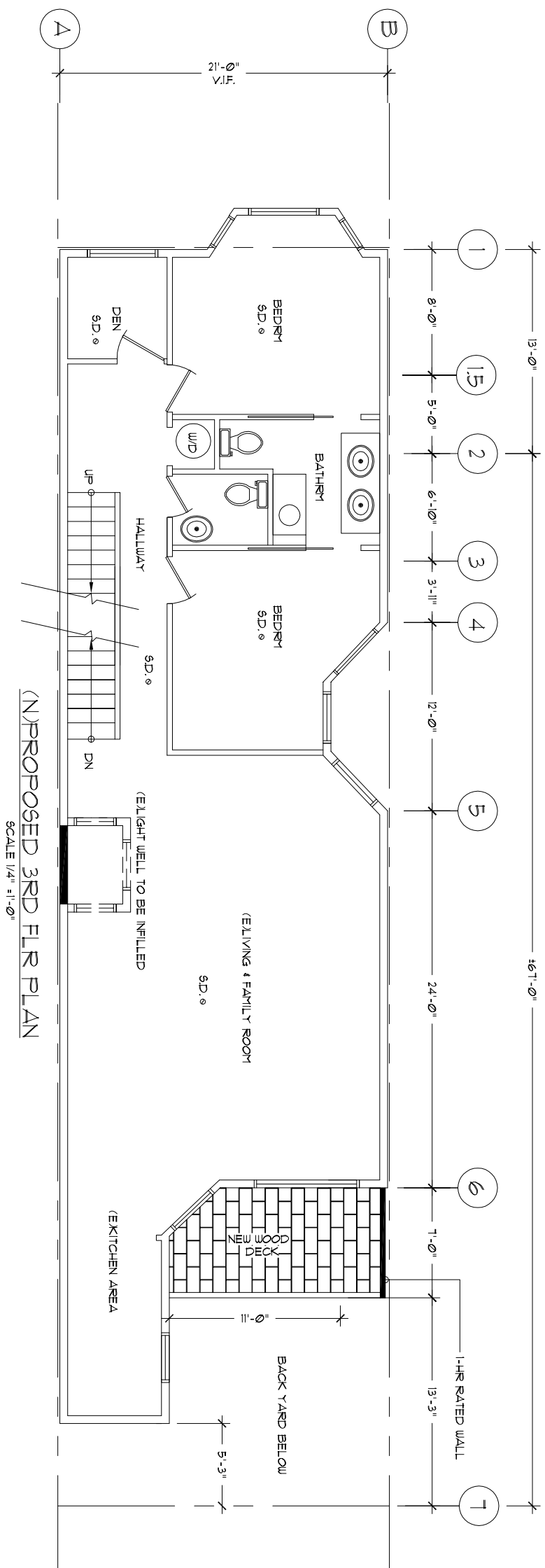
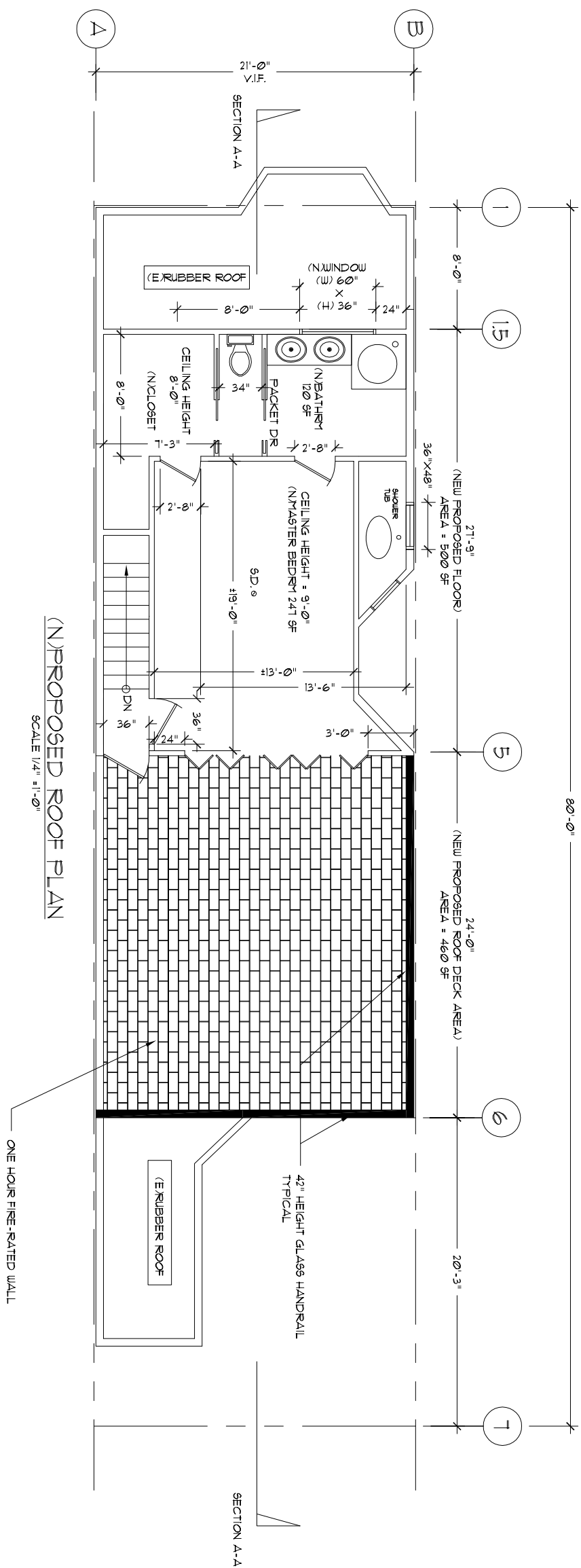
NPROPOSED 2ND FLOOR PLAN

SCALE 1/4" = 1'-0"



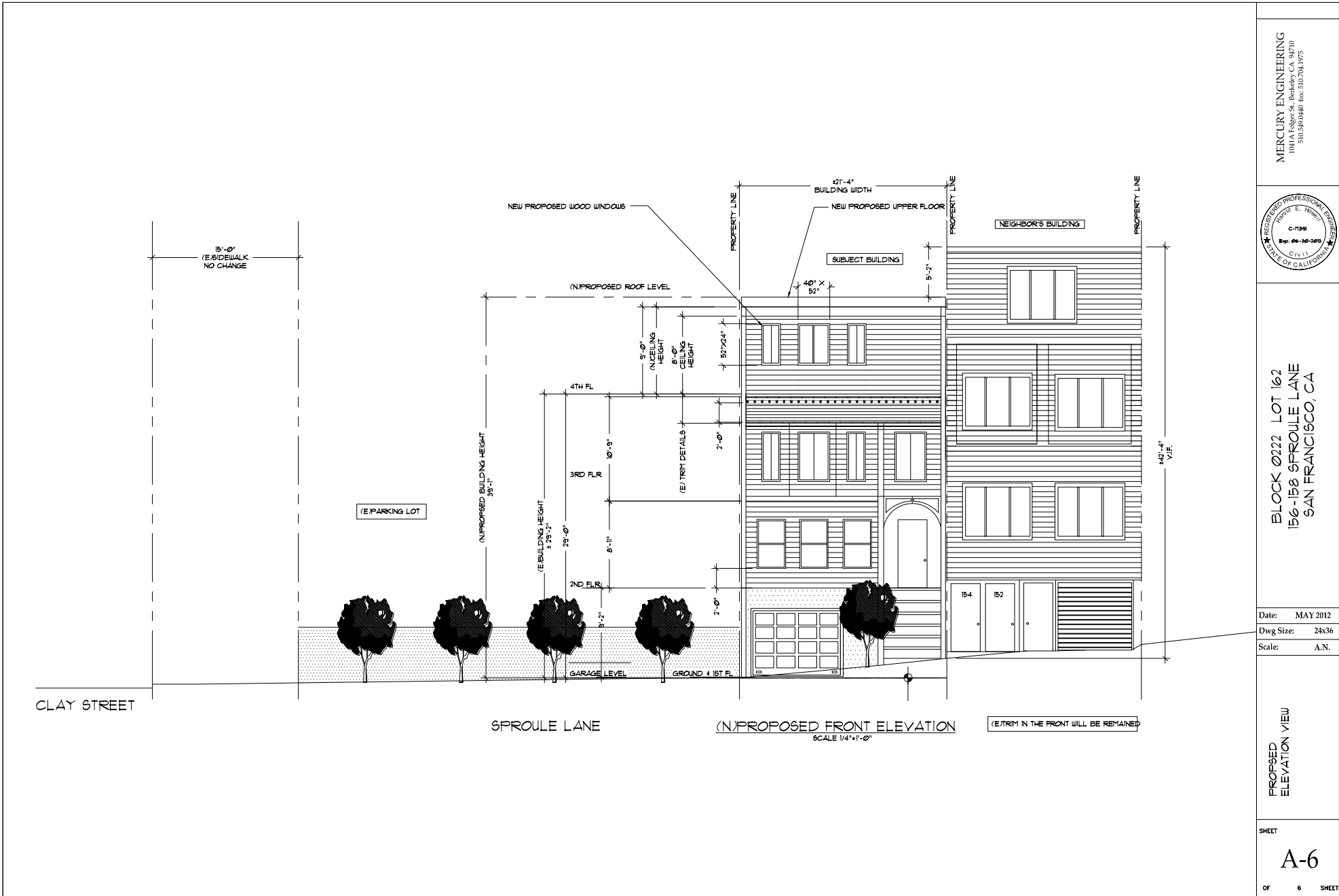
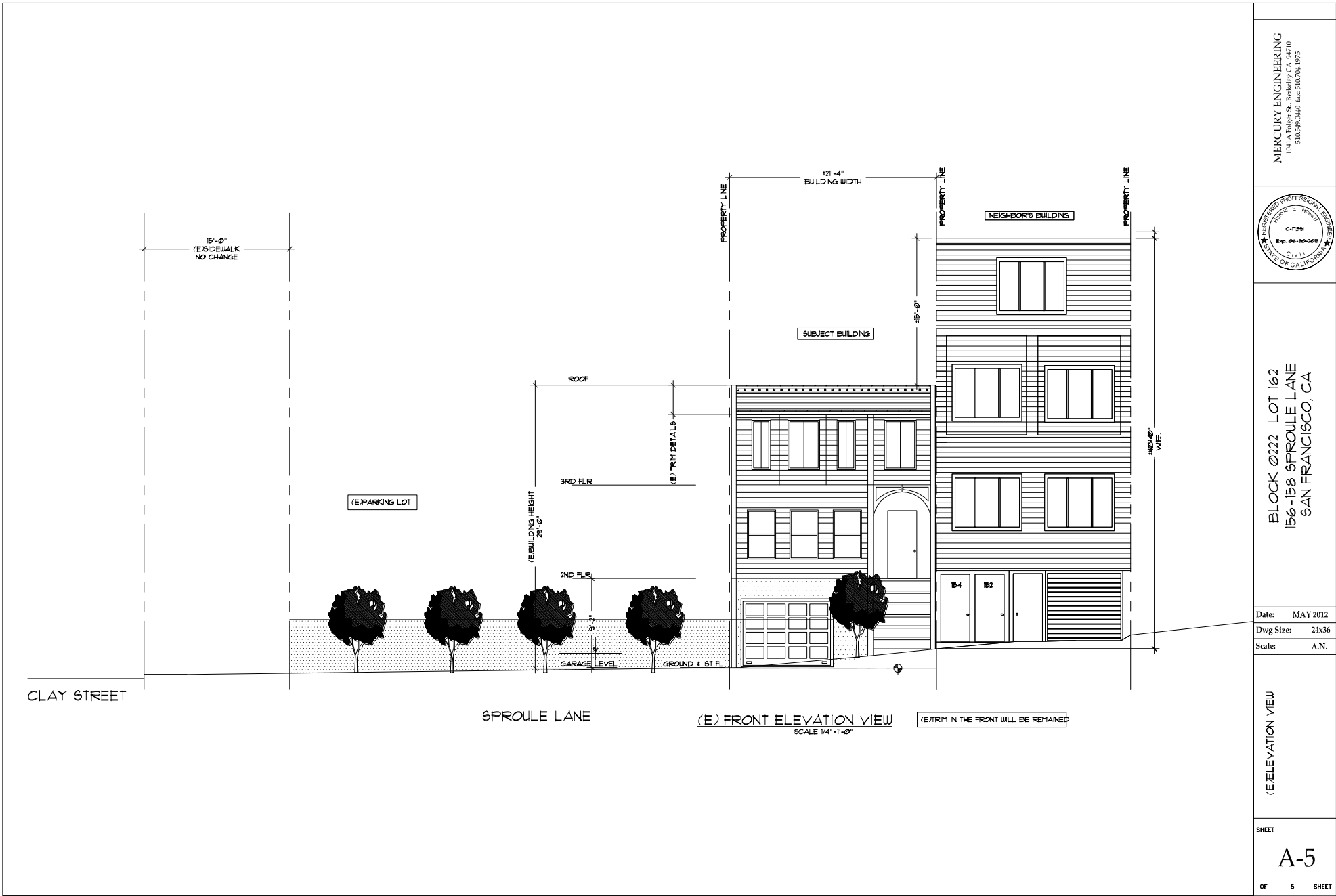
(N) PROPOSED GARAGE PLAN

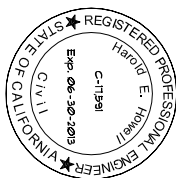
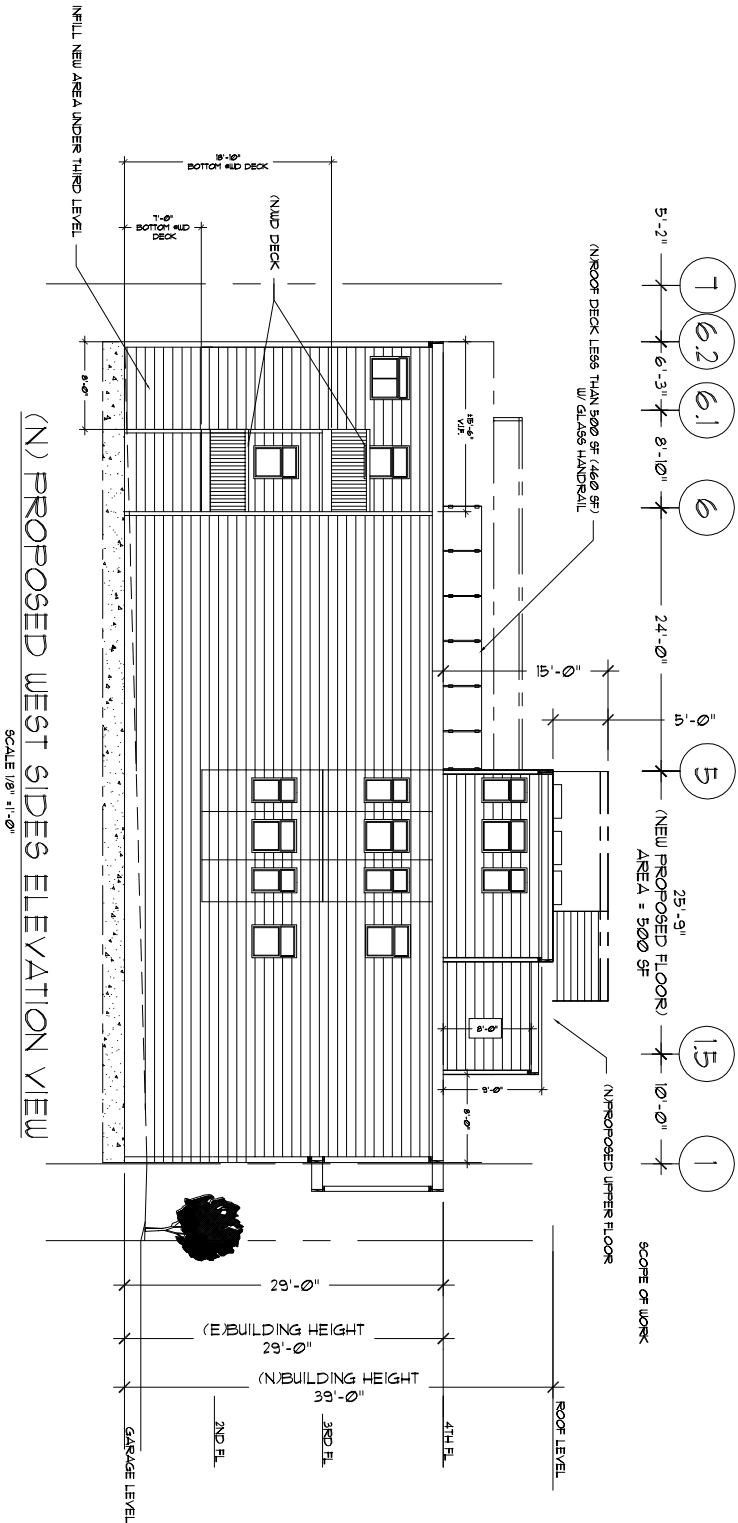
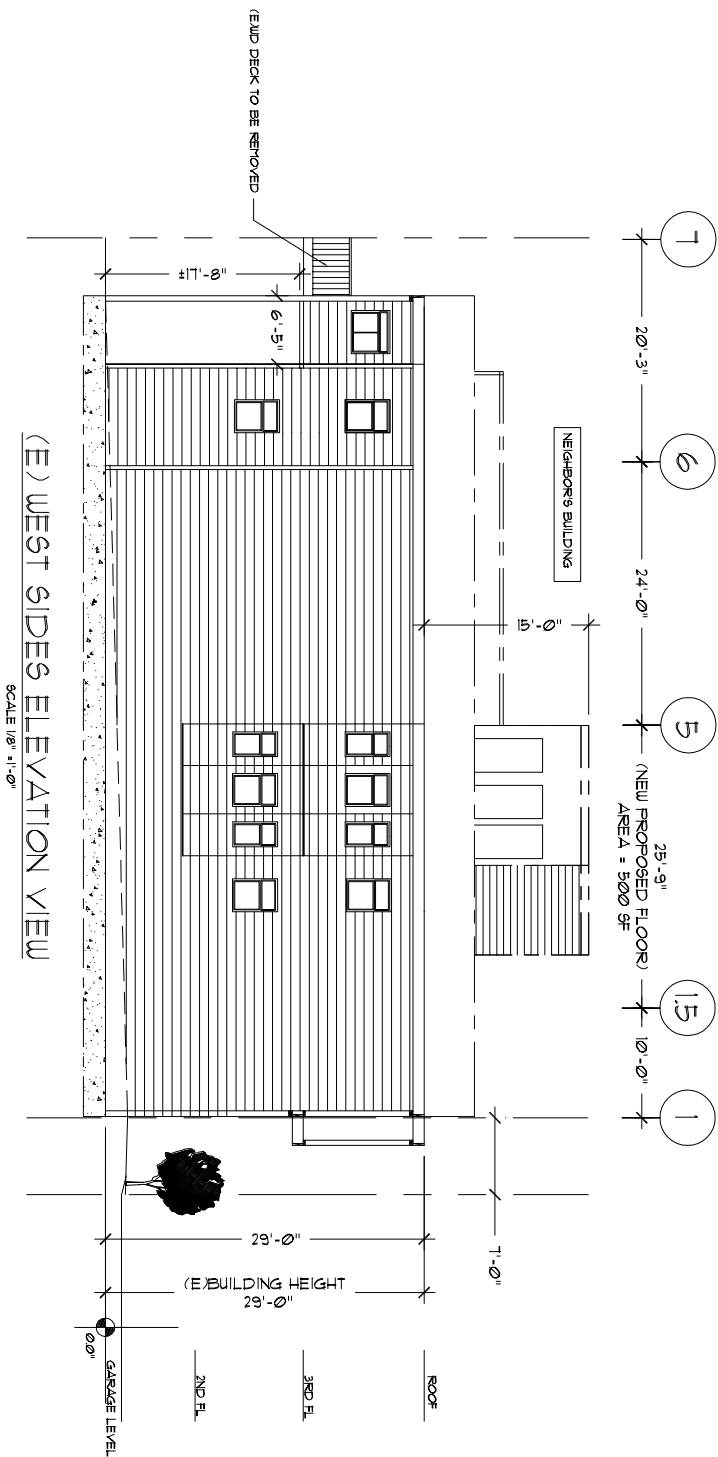
SCALE 1/4" = 1'-0"



BLOCK 0222 LOT 162
156-158 SPROULE LANE
SAN FRANCISCO, CA

Date:	MAY 2012
Dwg Size:	24x36
Scale:	A.N.





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BLOCK 0222 LOT 162
156-158 SPROULE LANE
SAN FRANCISCO, CA

Date: MAY 2012
Dwg Size: 24x36
Scale: A.N.

(E) & (N) PROPOSED
ELEVATION VIEW

SHEET

A-8

OF 8 SHEET