



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6378**

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Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2013**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Side Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>161 Edgewood Drive</b>	Case No.:	<b>2012.1432V</b>
Cross Street(s):	<b>Belmont Avenue</b>	Building Permit:	<b>2012.09.27.0780</b>
Block /Lot No.:	<b>2641/007</b>	Applicant/Agent:	<b>Bryan Fox</b>
Zoning District(s):	<b>RH-1(D)/ 40-X</b>	Telephone:	<b>(415) 596-4640</b>
Area Plan:	<b>N/A</b>	E-Mail:	<a href="mailto:bryan@five-design.com">bryan@five-design.com</a>
PROJECT DESCRIPTION			
<p>The proposal is to replace the front planter area with a new single-car garage within the side yard of the single-family dwelling. The garage will measure approximately 10 feet tall by 16 feet wide by 20 feet deep. A patio and entrance stairs are proposed above the garage.</p> <p>PER SECTION 133 OF THE PLANNING CODE the subject property is required to maintain two side yards of 3 feet each. The proposed garage would encroach 3 feet into the north side yard.</p>			
ADDITIONAL INFORMATION			
<b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b>			
Planner: <b>Sharon Lai</b>		Telephone: <b>(415) 575-9087</b>	E-Mail: <a href="mailto:sharno.w.lai@sfgov.org">sharno.w.lai@sfgov.org</a>
<b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2012.1432V.pdf">http://sf-planning.org/ftp/files/notice/2012.1432V.pdf</a>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property.

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS				GENERAL NOTES		PROJECT INFORMATION		RENOVATIONS TO THE KESSLER / EGRIE RESIDENCE 161 EDGEWOOD AVENUE SAN FRANCISCO, CALIFORNIA 94117	
<div><div><div>ADJ ALUM ARCH ASPH</div><div>BD BDLG BLK BLKG BM B.O. BU</div><div>CLG CLR CNTL CONC CONT CTR</div><div>DBL DF DIM DN DP DS DWG</div><div>(E) EA ELEC ELEV EQ EXP EXT</div><div>FDN FF FIN FL FOC FOP FOS FOP FURN</div><div>GA GALV GND GYP BD</div><div>HB HC HDR HR STL HVAC HW</div><div>ICPV INSUL INT</div><div>LAM LT</div><div>MANUF MAX MC MECH MEMB MIN MTL</div></div><div><div>ADJUSTABLE ALUMINUM ARCHITECTURE ASPHALT</div><div>BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM OF BUILT-UP</div><div>CEILING CLEAR CONTROL CONCRETE CONTINUOUS CENTER</div><div>DOUBLE DOUGLAS FIR DIMENSION DOWN DOUBLE POLE DOWNSPOUT DRAWING</div><div>EXISTING EAST EACH ELECTRICAL ELEVATION EQUAL EXPOSED EXTERIOR</div><div>FOUNDATION FINISH FLOOR FINISH FLOOR FACE OF CONCRETE FACE OF FINISH FACE OF STUD FACE OF PLYWOOD FURNACE</div><div>GAUGE GALVANIZED GROUND GYPSUM BOARD</div><div>HOSE BIB HOLLOW CORE HEADER HOT-ROLLED STEEL HEATING, VENTILATING, AND AIR CONDITIONING HOT WATER HEATER</div><div>INTEGRAL COLOR PLASTER VENEER INSULATION INTERIOR</div><div>LAMINATE LIGHT</div><div>MANUFACTURER MAXIMUM MEDICINE CHEST MECHANICAL MEMBRANE MINIMUM METAL</div></div><div><div>(N) NIC NO OR #</div><div>O/ OC OD OFCI OFOI OPNG</div><div>PL PLYWD PT PT</div><div>R RA RDWD REF REG REQ RET RM</div><div>S SA SAD SED SF SHT SHTG SKD</div><div>SLD SMD SP SPD SQ SS SSD</div><div>STD T&amp;G</div><div>TO TOFF TOP TOS TOW TP TR TYP UON</div><div>VERT VIF</div><div>W W/ W/O WC WD WIND WP</div><div>NEW NOT IN CONTRACT NUMBER</div><div>OVER ON CENTER OUTER DIAMETER OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED, OWNER INSTALLED OPENING</div><div>PLATE PLYWOOD PRESSURE TREATED POINT</div><div>RADIUS RETURN AIR REDWOOD REFERENCE REGISTER REQUIRED RETURN ROOM</div><div>SOUTH SUPPLY AIR SEE ARCHITECTURAL DRAWING SEE ELECTRICAL DRAWING SEE LIGHTING DRAWING SEE MECHANICAL DRAWING SINGLE POLE SEE PLUMBING DRAWING SQUARE SINGLE SHELF SEE STRUCTURAL DRAWING STANDARD</div><div>TONGUE AND GROOVE</div><div>TOP OF TOP OF FINISH FLR TOP OF PLATE TOP OF SLAB TOP OF WALL TOILET PAPER HOLDER TOWEL RACK TYPICAL</div><div>UNLESS OTHERWISE NOTED</div><div>VERTICAL VERIFY IN FIELD</div><div>WEST WITH WITHOUT WATER CLOSET WOOD WINDOW WATERPROOF</div></div></div> <td colspan="2"><div>1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS, THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL PLUMBING AND MECHANICAL CODE, LATEST ADOPTED EDITION (2010) OF THE CALIFORNIA BUILDING CODE, AND ALL APPLICABLE LOCAL AND STATE LAWS AND ORDINANCES. NOTHING ON THE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</div><div>2. ALL CONDITIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMILAR TO THOSE SHOWN OR IMPLIED OR SHALL MATCH EXISTING CONDITIONS.</div><div>3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR NEW OR EXISTING BUILDINGS. REFER TO SPECIFIC REGULATIONS AND MANDATORY FEATURES AND DEVICES AS NOTED IN THE ENERGY PERFORMANCE CALCULATIONS INCLUDED ELSEWHERE IN THESE DOCUMENTS.</div><div>4. THE CONTRACTOR SHALL COMPLETE AND PERFORM ALL WORK IN A GOOD, PROFESSIONAL MANNER AT A LEVEL, QUALITY, AND TOLERANCE CONSISTENT WITH THE STANDARDS OF THE CONSTRUCTION INDUSTRY. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL INTENT OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.</div><div>5. ALL PLAN NOTES IMPLY THE WORDS "THE CONTRACTOR SHALL . . . ." OR "THE CONTRACTOR SHALL INSTALL . . . ." WHICH EVER IS APPLICABLE. ITEMS LABELED "EXISTING," "EXTG.," OR "(E)" ARE EXISTING AND SHALL REMAIN. ALL OTHER ITEMS AND NOTES NOT LABELED OR IDENTIFIED AS EXISTING SHALL BE CONSIDERED NEW AND SHALL BE PROVIDED BY THE CONTRACTOR.</div><div>6. ALL DIMENSIONS TAKE PRECEDENT OVER SCALE. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS WITH THE INTENT OF DETERMINING EXACT PLACEMENT OR LOCATION OF PARTICULAR ASSEMBLIES. ALL DIMENSIONS ARE TO BE FACE OF FINISH UNLESS OTHERWISE NOTED.</div><div>7. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. REPORT ANY DISCREPANCIES TO DESIGNER FOR RESOLUTION. DISCREPANCIES BETWEEN DESIGNERS'S, ENGINEER'S OR MANUFACTURER'S CONSTRUCTION DETAILS SHALL BE RESOLVED TO SATISFY THE MOST STRINGENT REQUIREMENT.</div><div>8. CONTRACTOR TO MAINTAIN ALL PROPER WORKER'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT DURATION OF CONSTRUCTION.</div></td> <td colspan="2"><div>PROJECT ADDRESS161 EDGEWOOD AVENUE SAN FRANCISCO, CA 94117</div><div>ZONINGRH-(D) RESIDENTIAL, SINGLE FAMILY HOME</div><div>BLOCK / LOT2641 / 007</div><div>OCCUPANCYR3</div><div>CONSTRUCTION TYPEEXISTING: V B NEW: V B</div><div>APPLICABLE CODES2010 CALIFORNIA BUILDING CODE 2010 CALIFORNIA MECHANICAL CODE 2010 CALIFORNIA FIRE CODE 2010 CALIFORNIA PLUMBING CODE 2010 CALIFORNIA ELECTRIC CODE 2010 ENERGY CODE</div><div>PROJECT DESCRIPTIONCONSTRUCT NEW GARAGE AND BAY WINDOW AT BASEMENT BELOW (E) FIRST FLOOR BAY. RECONSTRUCT FRONT ENTRY STAIR AND RETAINING WALLS. 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SITE LOCATION				PROJECT NORTH		SHEET INDEX			
						ARCHITECTURAL A0.1 COVER SHEET A0.2 EXISTING / PROPOSED SITE PLAN A2.1 EXISTING AND PROPOSED BASEMENT FLOOR PLAN A2.2 EXISTING AND PROPOSED FIRST FLOOR PLAN A2.3 EXISTING AND PROPOSED SECOND FLOOR PLAN A4.1 EXISTING FRONT ELEVATION A4.2 PROPOSED FRONT ELEVATION A4.3 EXISTING SOUTH ELEVATION A4.4 PROPOSED SOUTH ELEVATION A4.5 EXISTING NORTH ELEVATION A4.6 PROPOSED NORTH ELEVATION A5.1 EXISTING BUILDING SECTION A5.2 PROPOSED BUILDING SECTION			
SYMBOLS						PROJECT DIRECTORY			
<div><div><div><div>EXISTING WALL</div><div>NEW WALL</div><div>NEW CONCRETE CONSTRUCTION</div><div>WALL REMOVED</div><div>UNDERGROUND DRAIN LINE</div><div>LINE BELOW OR HIDDEN LINE</div><div>LINE ABOVE</div><div>CENTER LINE</div><div>PROPERTY LINE</div><div>DIMENSION TO FACE OF FINISH [ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.]</div><div>DIMENSION TO CENTERLINE</div></div><div><div><div><div>WINDOW NO. A</div><div>WINDOW SYMBOL</div></div><div><div><div>DOOR NO. 10</div><div>DOOR SYMBOL</div></div><div><div><div>DWG INDEX 18 SHT INDEX A7.2</div><div>DETAIL MARKER</div></div><div><div><div>DWG INDEX 1 SHT INDEX A6.1 2 3 4</div><div>ELEVATION MARKER</div></div><div><div><div>DWG INDEX 18 SHT INDEX A7.2</div><div>SECTION MARKER</div></div><div><div><div>REVISION MARKER</div></div><div><div><div>DATUM POINT</div></div></div></div></div></div></div></div></div></div></div></div>				<div>OWNER:GENERAL CONTRACTOR:  LISA KESSLER AND GLENN EGRIE 161 EDGEWOOD AVENUE SAN FRANCISCO, CA 94117  TEL.  DESIGNER:STRUCTURAL ENGINEER:  FIVE DESIGN BRYAN FOX / CLAIRE BEASLEY 651 B SCOTT STREET SAN FRANCISCO, CA 94117  TEL. (415) 931-9124 Fax (415) 334-3335</div>					

five

651 B Scott Street  
San Francisco, CA 94117

415.931.9124 V  
415.354.3335 F

12/4/12

SITE REVISION

9/20/12

SITE PERMIT

ISSUED

DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE

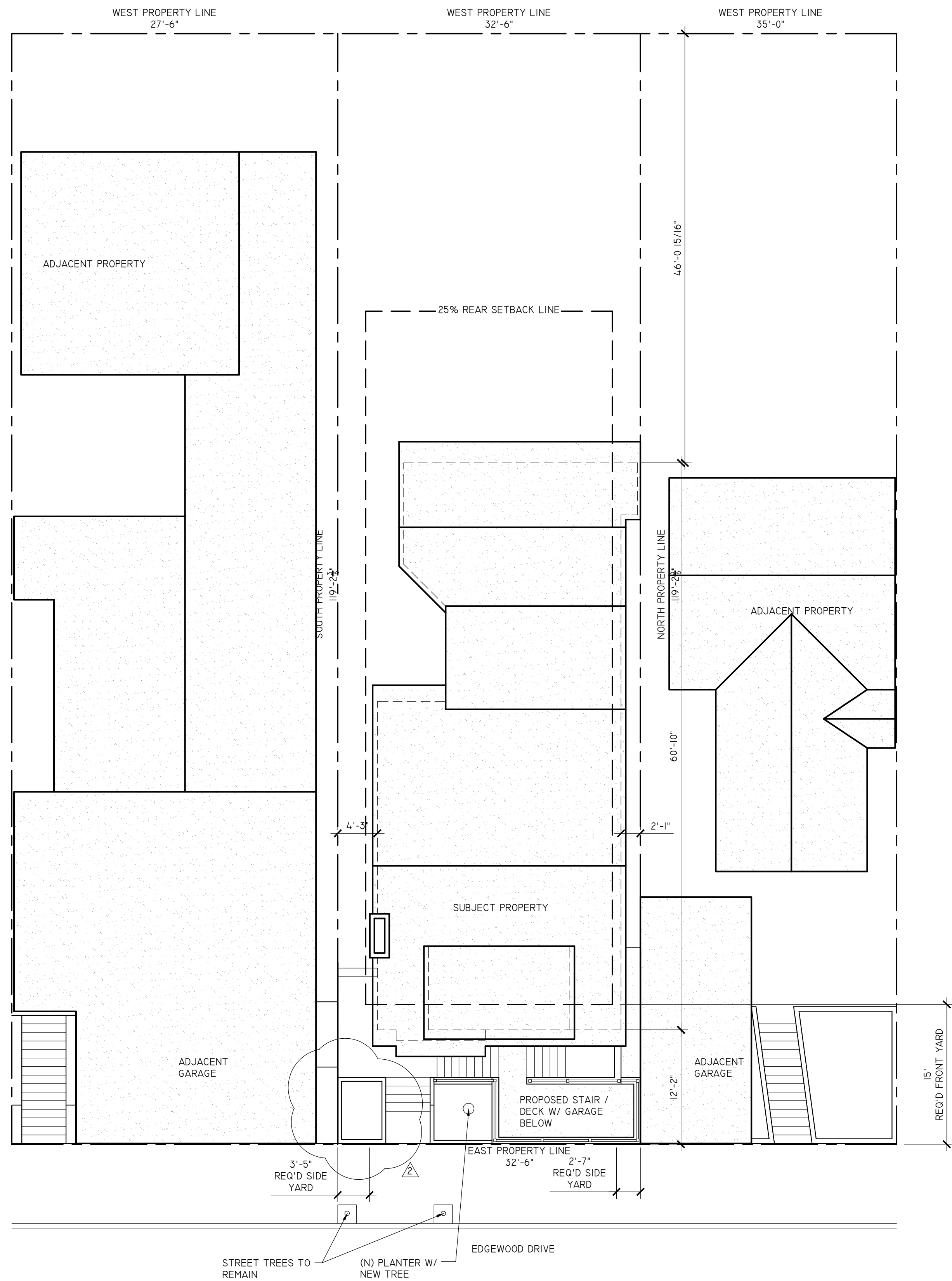
COVER SHEET  
PLOT PLAN

By DP

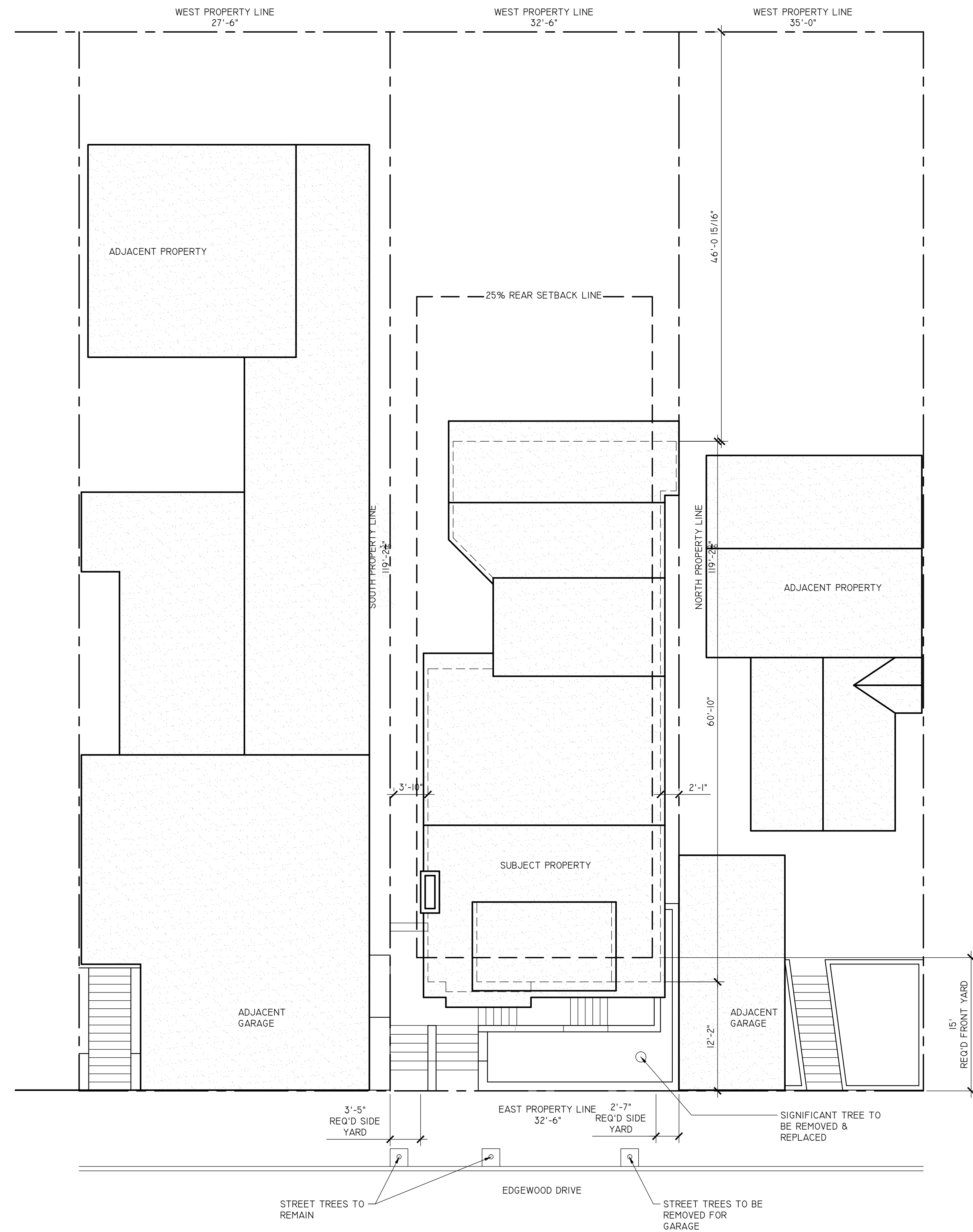
SCALE NO SCALE

DRAWING No.

A0.1



2 | PROPOSED PLOT PLAN  
A0.2 | 1/8" = 1'-0"



1 | EXISTING PLOT PLAN  
A0.2 | 1/8" = 1'-0"

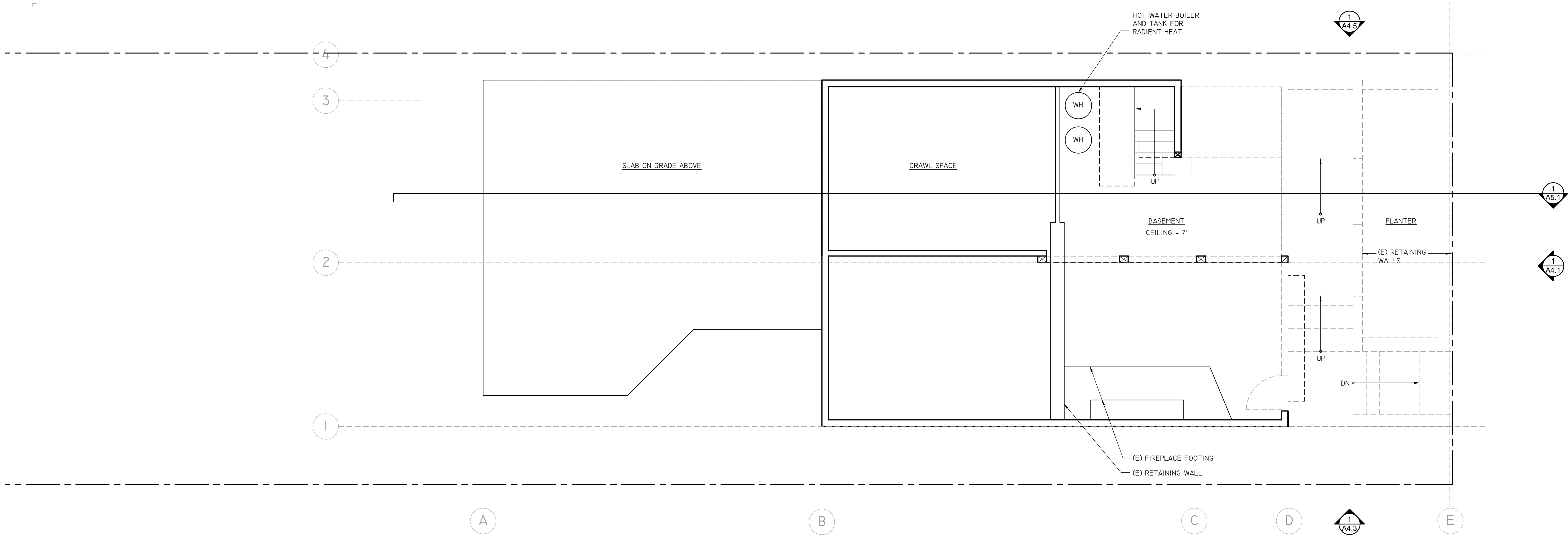
12/20/12	SITE REVISION
12/31/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

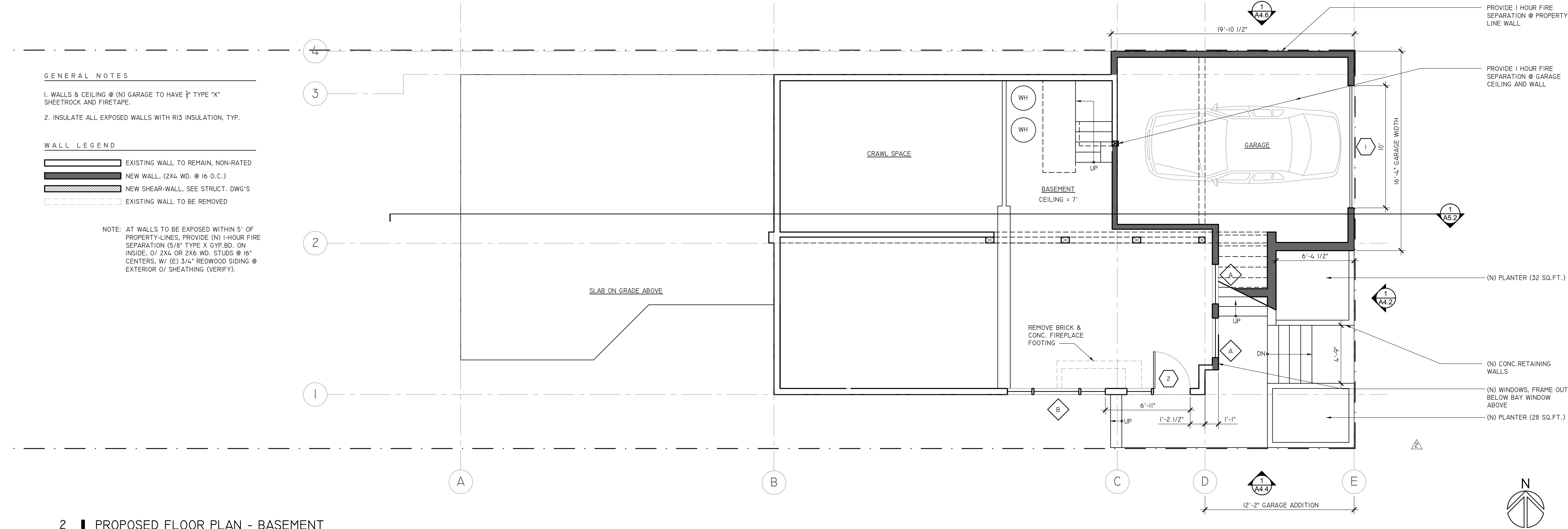
DRAWING TITLE  
EXISTING &  
PROPOSED  
PLOT PLANS

BY DP  
SCALE 1/8" = 1'-0"  
DRAWING No.

A0.2



1 | EXISTING / DEMO FLOOR PLAN - BASEMENT  
A2.1 | 1/4" = 1'-0"



2 | PROPOSED FLOOR PLAN - BASEMENT  
A2.1 | 1/4" = 1'-0"

GENERAL NOTES

1. WALLS & CEILING @ (N) GARAGE TO HAVE 5/8" TYPE "X" SHEETROCK AND FIRETAPE.
2. INSULATE ALL EXPOSED WALLS WITH R13 INSULATION, TYP.

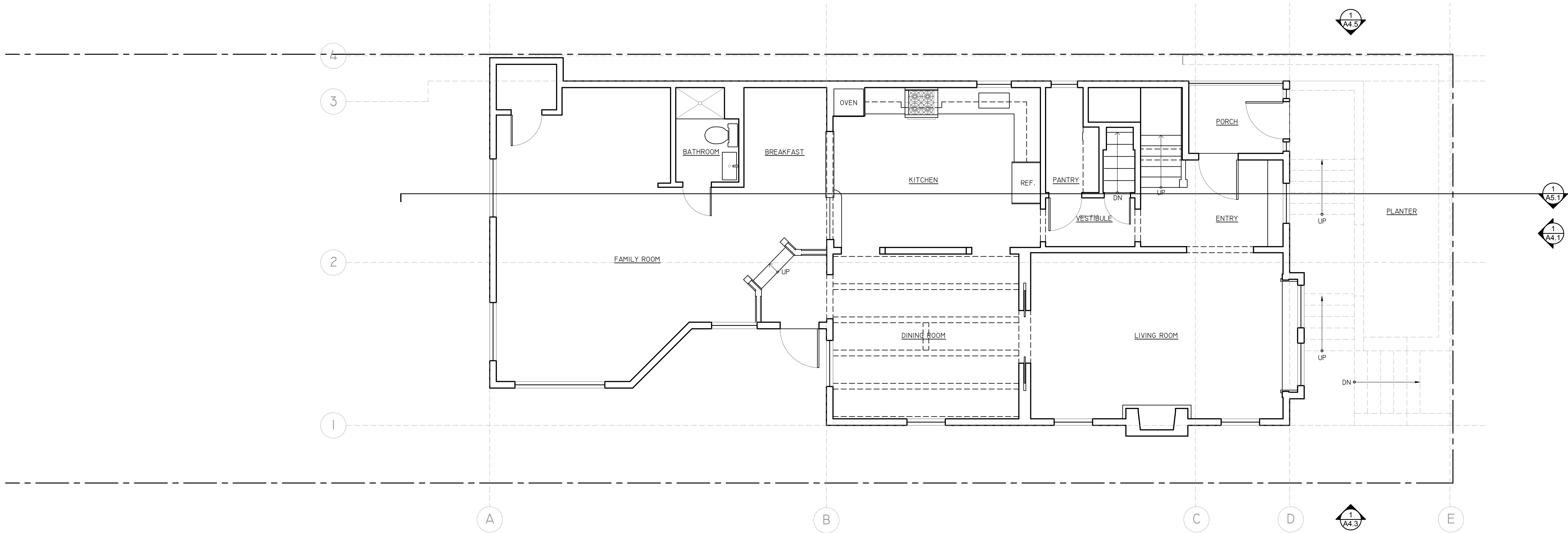
WALL LEGEND

- EXISTING WALL TO REMAIN, NON-RATED
- NEW WALL, (2X4 WD. @ 16 O.C.)
- NEW SHEAR-WALL, SEE STRUCT. DWG'S
- EXISTING WALL TO BE REMOVED

NOTE: AT WALLS TO BE EXPOSED WITHIN 5' OF PROPERTY-LINES, PROVIDE (N) 1-HOUR FIRE SEPARATION (5/8" TYPE "X" GYP BD. ON INSIDE, O/ 2X4 OR 2X6 WD. STUDS @ 16" CENTERS, W/ (E) 3/4" REDWOOD SIDING @ EXTERIOR O/ SHEATHING (VERIFY).

12/20/12	SITE REVISION
12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION





1 | EXISTING / DEMO FLOOR PLAN - FIRST FLOOR  
- A2.2 | 1/4" = 1'-0"

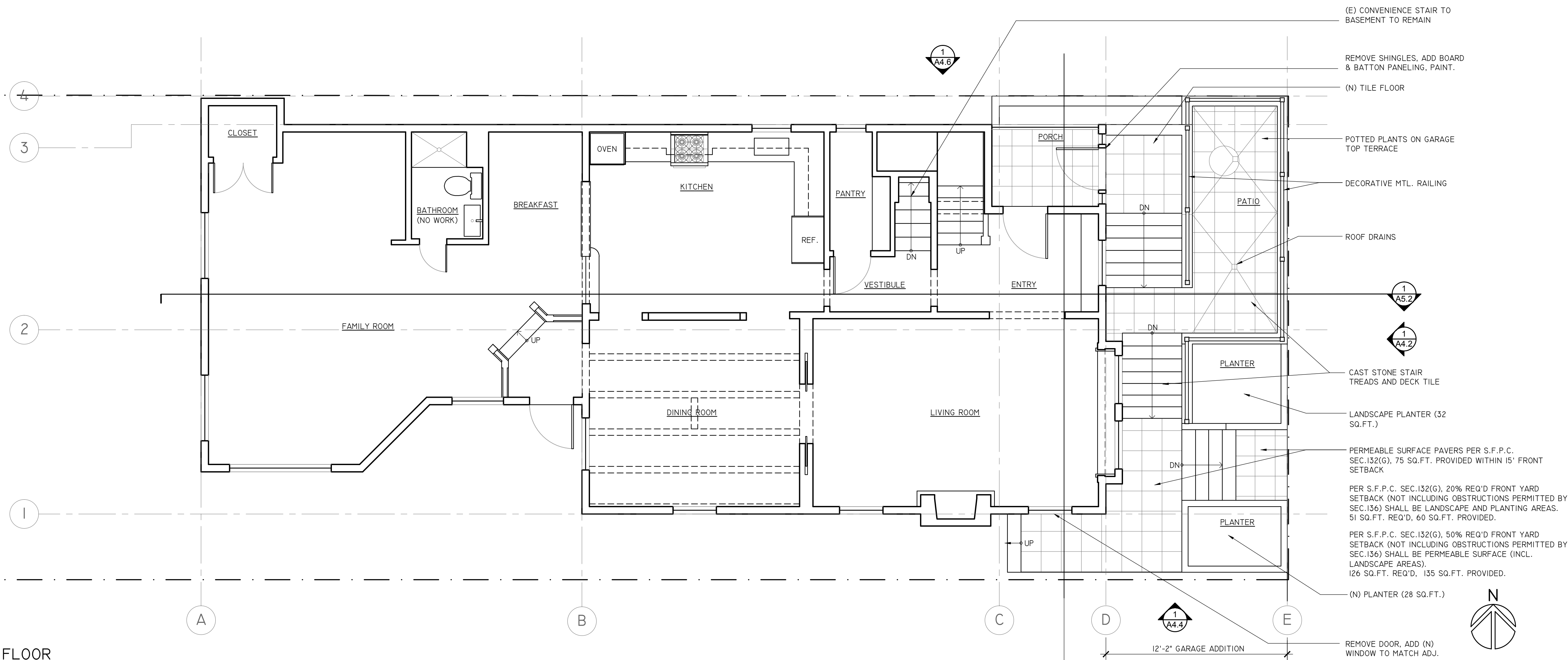
GENERAL NOTES

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2. INSULATE ALL EXPOSED WALLS WITH R13 INSULATION, TYP.

WALL LEGEND

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- NEW WALL, (2X4 WD. @ 16 O.C.)
- NEW SHEAR-WALL, SEE STRUCT. DWG'S
- EXISTING WALL TO BE REMOVED

NOTE: AT WALLS TO BE EXPOSED WITHIN 5' OF PROPERTY-LINES, PROVIDE (N) 1-HOUR FIRE SEPARATION (5/8" TYPE X GYP.BD. ON INSIDE, 0/ 2X4 OR 2X6 WD. STUDS @ 16" CENTERS, W/ (E) 3/4" REDWOOD SIDING @ EXTERIOR O/ SHEATHING (VERIFY)).



2 | PROPOSED FLOOR PLAN - FIRST FLOOR

five

651 B Scott Street  
San Francisco, CA 94117

415.931.9124 V  
415.354.3335 F

12/20/12	SITE REVISION
12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE

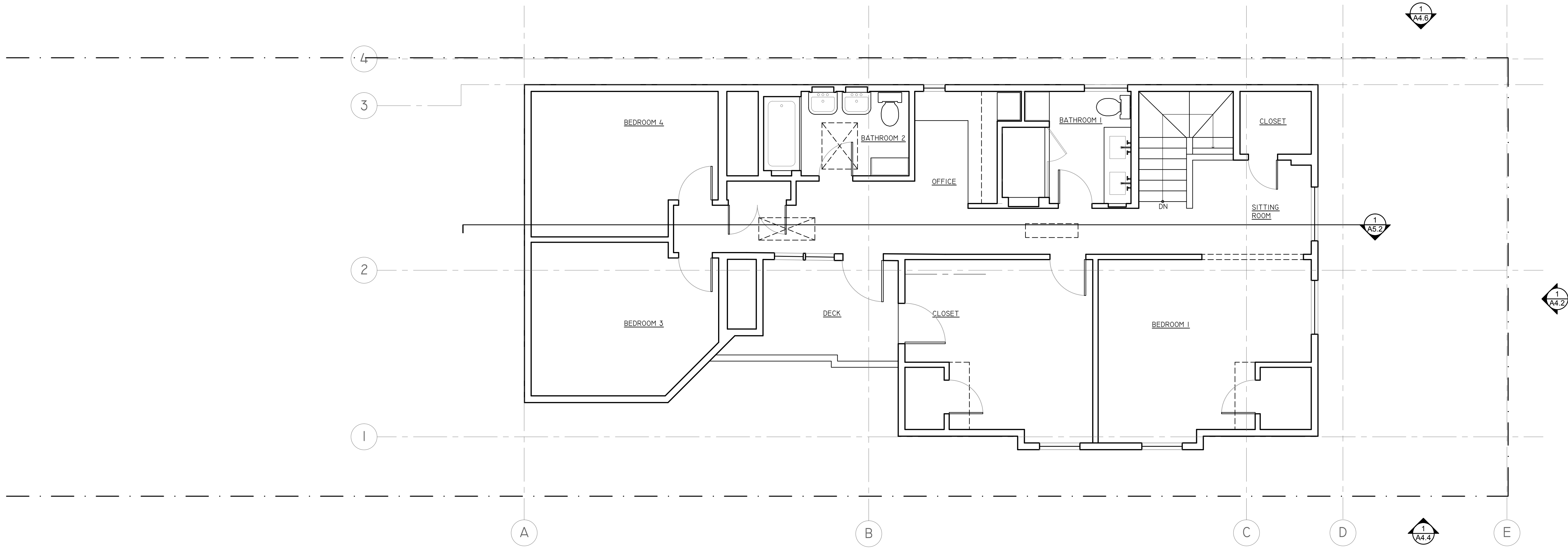
EXISTING &  
PROPOSED  
FLOOR PLANS

BY BF

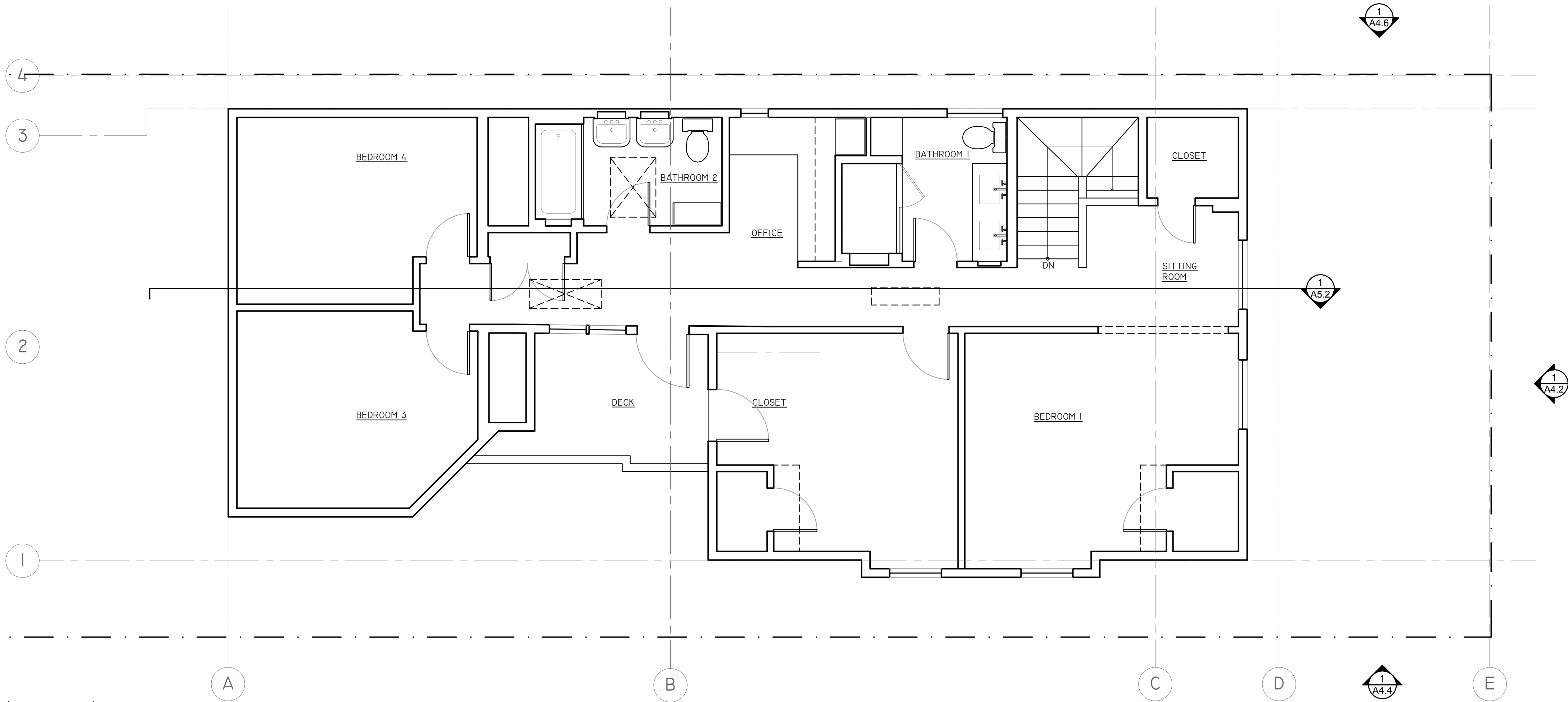
SCALE 1/4"=1'-0"

DRAWING No.

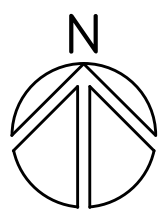
A2.2



1 | EXISTING FLOOR PLAN - TOP FLOOR  
A2.3 | 1/4" = 1'-0"



2 | PROPOSED FLOOR PLAN - TOP FLOOR (NO WORK)  
A2.3 | 1/4" = 1'-0"



12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE  
EXISTING &  
PROPOSED  
FLOOR PLANS

BY BF  
SCALE 1/4"=1'-0"  
DRAWING NO.

A2.3



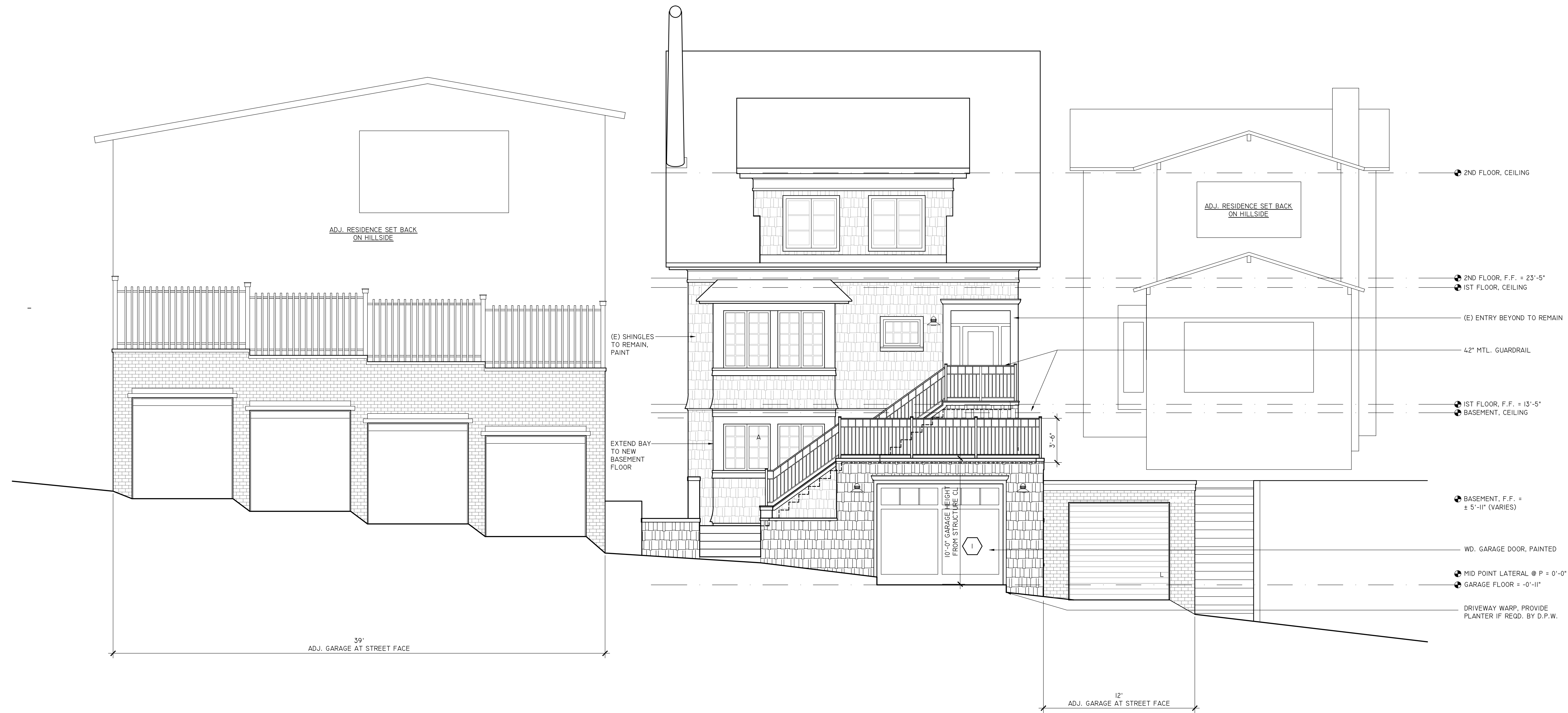


12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE	
EXISTING FRONT ELEVATION	
BY	BF
SCALE	1/4" = 1'-0"
DRAWING NO.	

A4.1



12/20/12	SITE REVISION
12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE  
  
PROPOSED  
FRONT  
ELEVATION

BY BF  
SCALE 1/4" = 1'-0"  
DRAWING No.

A4.2

12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE  
  
EXISTING  
SOUTH  
ELEVATION

BY BF  
SCALE 1/4" = 1'-0"

DRAWING No.

A4.3



1 EXISTING SOUTH ELEVATION  
A4.3 1/4" = 1'-0"

12/20/12	SITE REVISION
12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE

PROPOSED  
SOUTH  
ELEVATION

BY BF

SCALE 1/4" = 1'-0"

DRAWING NO.

A4.4



1 | PROPOSED SOUTH ELEVATION  
A4.4 | 1/4" = 1'-0"

12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE  
  
EXISTING  
NORTH  
ELEVATION

BY BF  
SCALE 1/4" = 1'-0"

DRAWING NO.  
  
A4.5



1 | EXISTING NORTH ELEVATION  
A4.5 | 1/4" = 1'-0"

12/20/12	SITE REVISION
12/3/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE

PROPOSED  
NORTH  
ELEVATION

BY BF


SCALE 1/4" = 1'-0"

DRAWING NO.

A4.6



1 | PROPOSED NORTH ELEVATION  
A4.6 | 1/4" = 1'-0"

12/20/12	SITE REVISION 
11/19/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE

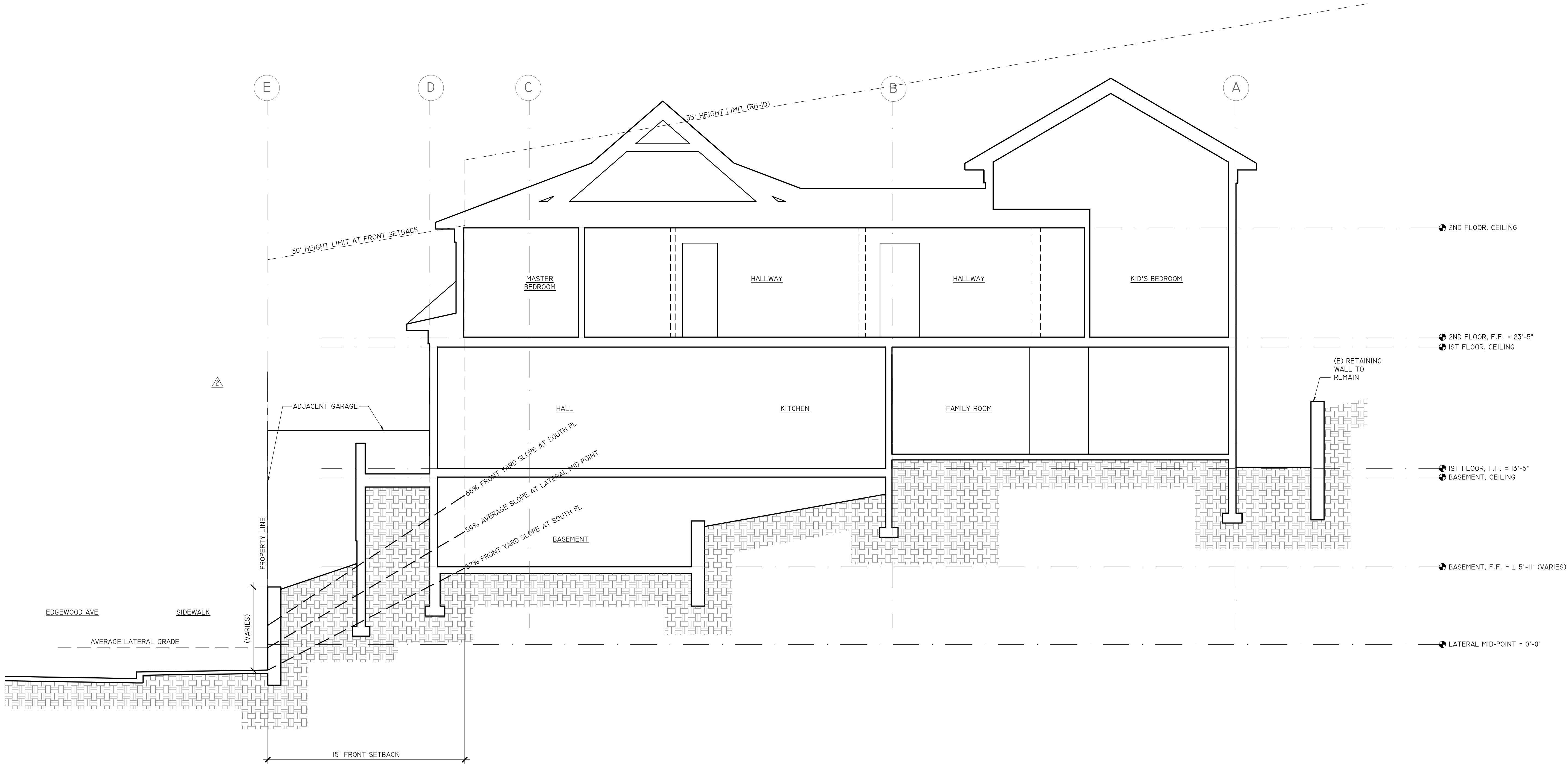
SECTIONS

BY BF

SCALE 1/4" = 1'-0"

DRAWING NO.

A5.1



I | EXISTING LONG SECTION  
A5.1 | 1/4" = 1'-0"



12/20/12	SITE REVISION
11/19/12	SITE REVISION
9/20/12	SITE PERMIT
ISSUED	DESCRIPTION

THE KESSLER / EGRIE RESIDENCE  
161 EDGEWOOD AVENUE  
SAN FRANCISCO, CA 94117

DRAWING TITLE

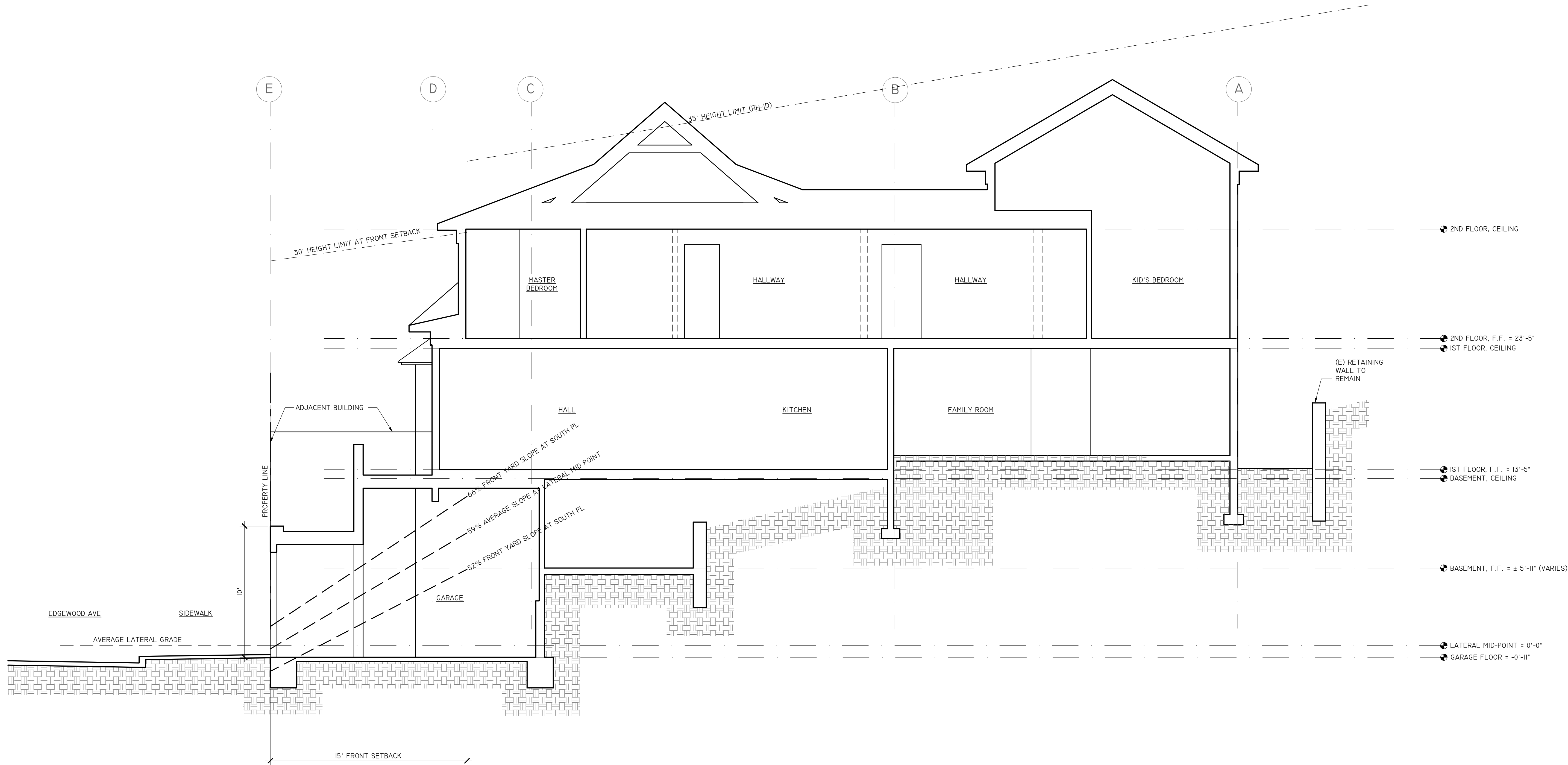
SECTIONS

BY BF

SCALE 1/4" = 1'-0"

DRAWING No.

A5.2



I | PROPOSED LONG SECTION  
A5.2 1/4" = 1'-0"