



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



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## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 27, 2013**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Street Frontage**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>1015 Pierce Street</b>	Case No.:	<b>2012.1393V</b>
Cross Street(s):	<b>Golden Gate/ Turk</b>	Building Permit:	<b>N/A</b>
Block /Lot No.:	<b>0753/003</b>	Applicant/Agent:	<b>Michael Harris</b>
Zoning District(s):	<b>RM-1/ 40-X</b>	Telephone:	<b>(415) 243-8272</b>
Area Plan:	<b>N/A</b>	E-Mail:	<a href="mailto:mharris@mbh-arch.com">mharris@mbh-arch.com</a>
PROJECT DESCRIPTION			
<p>The proposal is to expand the width each of the two existing garage doors (one is 8 feet wide and the other is 9 feet 8 inches wide) along the Elm Street frontage of the four-story, 25-unit apartment building to 12 feet each.</p> <p>PER SECTION 144(b)(1) OF THE PLANNING CODE no more than one-third of the width of the ground story along a street lot line shall be devoted to off-street parking entrances, and where two entrances are provided, there shall be a minimum separation between the entrances of six feet. Also, entrances to off-street parking shall be located at least six feet from a lot corner at the intersection of two streets. The proposed widened garage doors would occupy approximately 70 percent of the width of the 34 foot 7 inch wide Elm Street frontage, would provide a separation between the entrances of 3 feet, 6 inches, and would be approximately two feet from the lot corner at the intersection of Elm and Pierce Streets; therefore, a variance is required.</p>			
ADDITIONAL INFORMATION			
<b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b>			
Planner:	<b>Sharon Lai</b>	Telephone:	<b>(415) 575-9087</b>
		E-Mail:	<a href="mailto:sharon.w.lai@sfgov.org">sharon.w.lai@sfgov.org</a>
<b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2012.1393V.pdf">http://sf-planning.org/ftp/files/notice/2012.1393V.pdf</a>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**



GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE **2010** CBC, 2010 CMC, 2010 CPC, 2010 CFC, 2010 NEC AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

2. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

3. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.

4. DIMENSIONS ARE TO FACE OF STUD OR CONCRETE IN PLAN UNLESS OTHERWISE NOTED.

5. DIMENSIONS ARE TO TOP OF PLATE OR TOP OF SUBFLOOR IN SECTION OR ELEVATION UNLESS OTHERWISE NOTED.

6. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

7. VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE.

8. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

9. VERIFY BOTH EXISTING AND FINISH GRADES WITH CIVIL AND LANDSCAPE DRAWINGS.

10. VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL AND MECHANICAL / ELECTRICAL DRAWINGS BEFORE THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

11. COORDINATE ALL DETAILS WITH SHEAR WALLS AND ENCASED STRUCTURAL POSTS AS REQUIRED BY THE STRUCTURAL DRAWINGS.

12. INSTALL BATT INSULATION BETWEEN STUDS AND JOISTS AT ALL EXTERIOR WALLS, CEILINGS, AND FLOORS EXCEPT WHERE SHOWN ON THE DRAWINGS.

13. WINDOW SIZES AND DOOR HEAD HEIGHTS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.

14. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED ON THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.

15. ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

16. SEALANT, CAULKING, AND FLASHING, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.

17. ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC., SHALL BE FULLY VENTILATED.

18. VERIFY THE BUILDING LOCATION AND PAD ELEVATIONS WITH CIVIL DRAWINGS BEFORE PROCEEDING WITH THE WORK.

19. DOORS, WINDOWS, KEYING, LIGHTING, AND NUMBERING SHALL COMPLY WITH THE STATE AND LOCAL BUILDING SECURITY ORDINANCES.

20. PROVIDE WOOD BACKING FOR ALL TOWEL BARS, SHELF BRACKETS, ETC.

21. MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:

A. MINIMUM ROOF / CEILING INSULATION R-30; CONCRETE SLAB INSULATION NOT REQUIRED.

B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-19, USE R-19 WHERE POSSIBLE. ALL INSULATION TO MEET CEC QUALITY STANDARDS.

C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-19; CONCRETE SLAB INSULATION NOT REQUIRED.

D. INFILTRATION CONTROL:

1. DOORS AND WINDOWS WEATHERSTRIPPED.

2. EXHAUST SYSTEMS DAMPERED.

3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.

4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.

E. DUCTS CONSTRUCTED AND INSTALLED PER UMC.

F. SPACE CONDITIONING EQUIPMENT SIZING: REVIEW CALCS IN ENERGY REPORT.

G. SET-BACK THERMOSTAT REQUIRED ON ALL HEATING AND COOLING SYSTEMS.

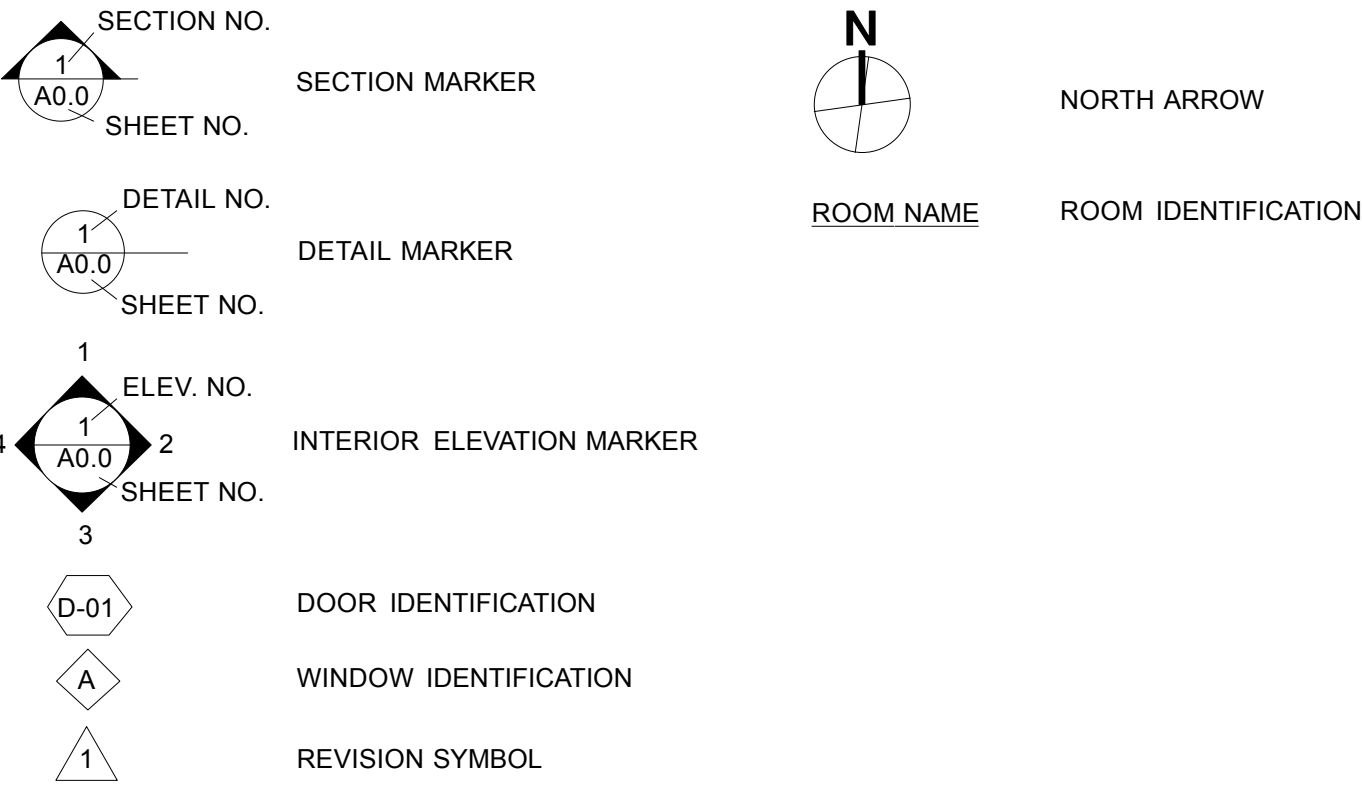
H. WATER HEATER BLANKET INSULATION (R-12 MIN.), FIRST 20 FEET OF PIPES CLOSEST TO TANK INSULATED (R-3 MIN.).

I. HVAC EQUIPMENT, WATER HEATERS, SHOWER HEADS, AND FAUCETS MUST BE CEC CERTIFIED.

J. ALL WINDOWS TO BE DOUBLE GLAZED EXCEPT AS NOTED. CONFIRM WITH DRAWINGS AND OWNER.

K. LIGHTING - 40 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS PER2007T24 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT.

L. ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLE SWITCHES OR ELECTRICAL BASES ON EXTERIOR WALLS.



ARCHITECTURE		A	B
A0.00	TITLE SHEET + PROJECT NOTES + SITE PLAN	X	
A0.01	SITE PICTURES	X	
A2.10	EXISTING + PROPOSED PLANS/ELEVATIONS	X	

A. VARIANCE PERMIT - 08.15.2012

OWNER

MONTGOMERY PARTNERS  
100 SHORELINE HW, SUITE 160A  
MILL VALLEY, CA

ARCHITECT

MICHAEL HARRIS ARCHITECTURE  
101 SOUTH PARK  
SAN FRANCISCO, CA 94107  
415.243.8272

	EXISTING	PROPOSED
BUILDING OCCUPANCY:	R-2	R-2
TYPE OF CONSTRUCTION:	VB	VB
LOT #:	003	003
BLOCK #:	0753	0753
ZONING:	RM-1	RM-1

101 SOUTH PARK  
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CA 94107

415 243 8272  
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14 PROJECT SYMBOLS

19 PROJECT INDEX

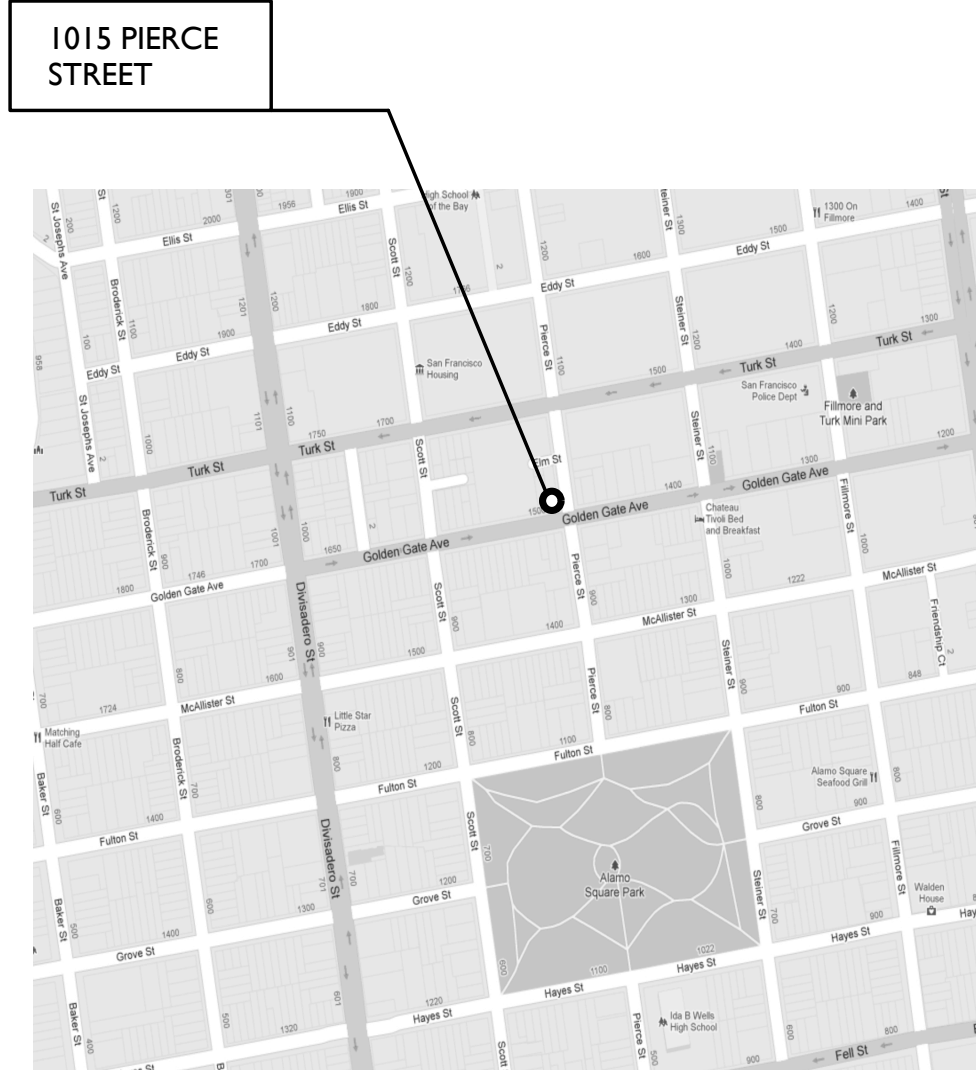
24 PROJECT DIRECTORY

A VARIANCE TO REPLACE AND ENLARGE EXISTING GARAGE DOORS @ ELM STREET FROM 8'-0" & 10'-0" TO 12'-0"

3 SCOPE OF WORK

	EXISTING	PROPOSED
BUILDING OCCUPANCY	R-2	R-2
TYPE OF CONSTRUCTION	V B	V B
LOT #	0753	0753
BLOCK #	003	003
LOT SF	3101 SF	3101 SF
HEIGHT	40-X	40-X
ZONING	RM-1	RM-1
HISTORICAL (SF PLNG DPT)	B	B

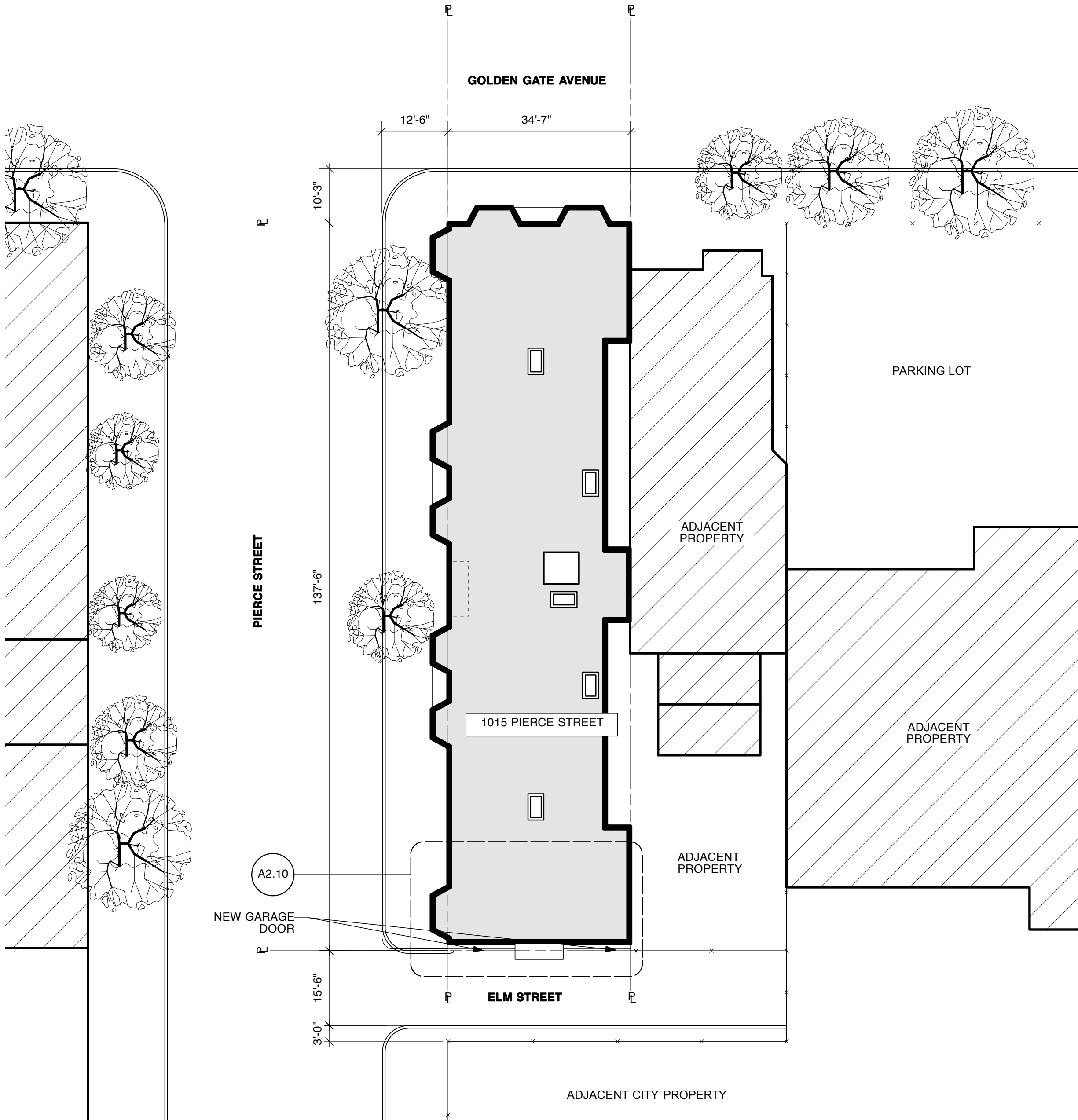
2 PROJECT DATA



7 PROJECT LOCATION  
N.T.S.



1 PROJECT PICTURE  
N.T.S.



11 SITE PLAN  
1/16"=1'-0"

1015 PIERCE STREET

TITLE SHEET  
SITE PLAN  
PROJECT INFO

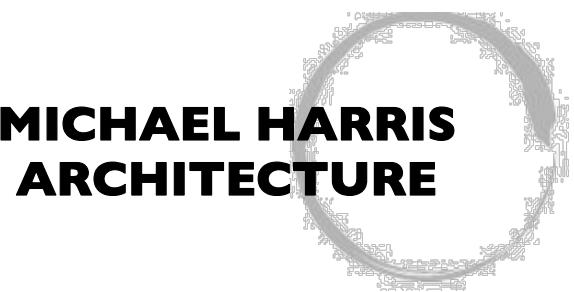
PROJECT REFERENCE PIERCE STREET VARIANCE  
DRAWN BY MICHAEL HARRIS ARCHITECTURE  
DATE 15 OCTOBER 2012

PLANNING DEPT #2  
PRELIM. BID  
BID SET  
CONSTRUCTION SET  
BLDG. PERMIT RESUB  
REVISION

A0.00







**MICHAEL HARRIS  
ARCHITECTURE**

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SAN FRANCISCO  
CA 94107

2 [E] PICTURES @ PIERCE STREET  
3/16" = 1'0"



1015 PIERCE STREET

PICTURES



PROJECT REFERENCE PIERCE STREET VARIANCE  
DRAWN BY MICHAEL HARRIS ARCHITECTURE  
DATE 15 OCTOBER 2012  
PLANNING DEPT #2  
PRELIM. BID  
BID SET  
CONSTRUCTION SET  
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REVISION

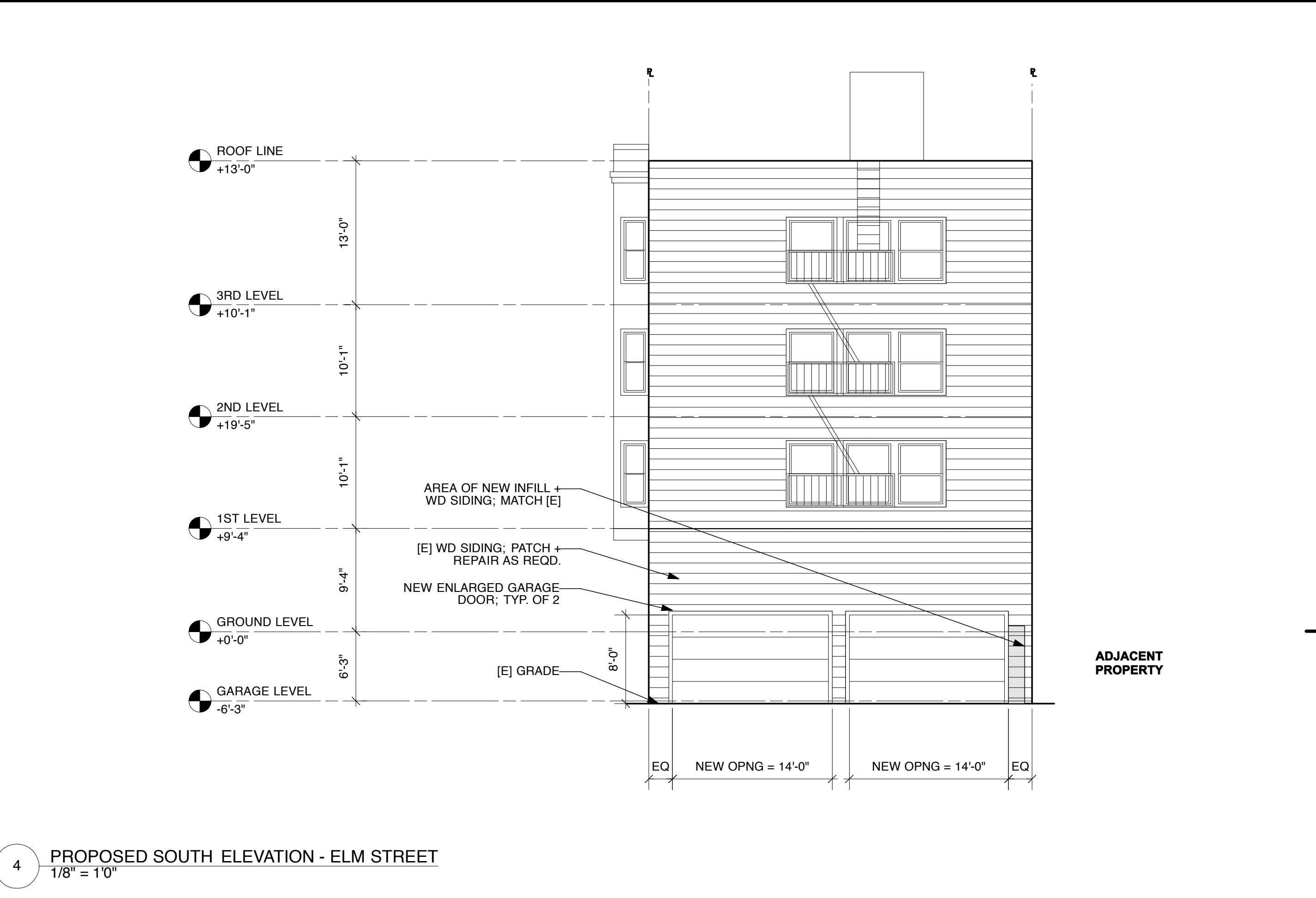
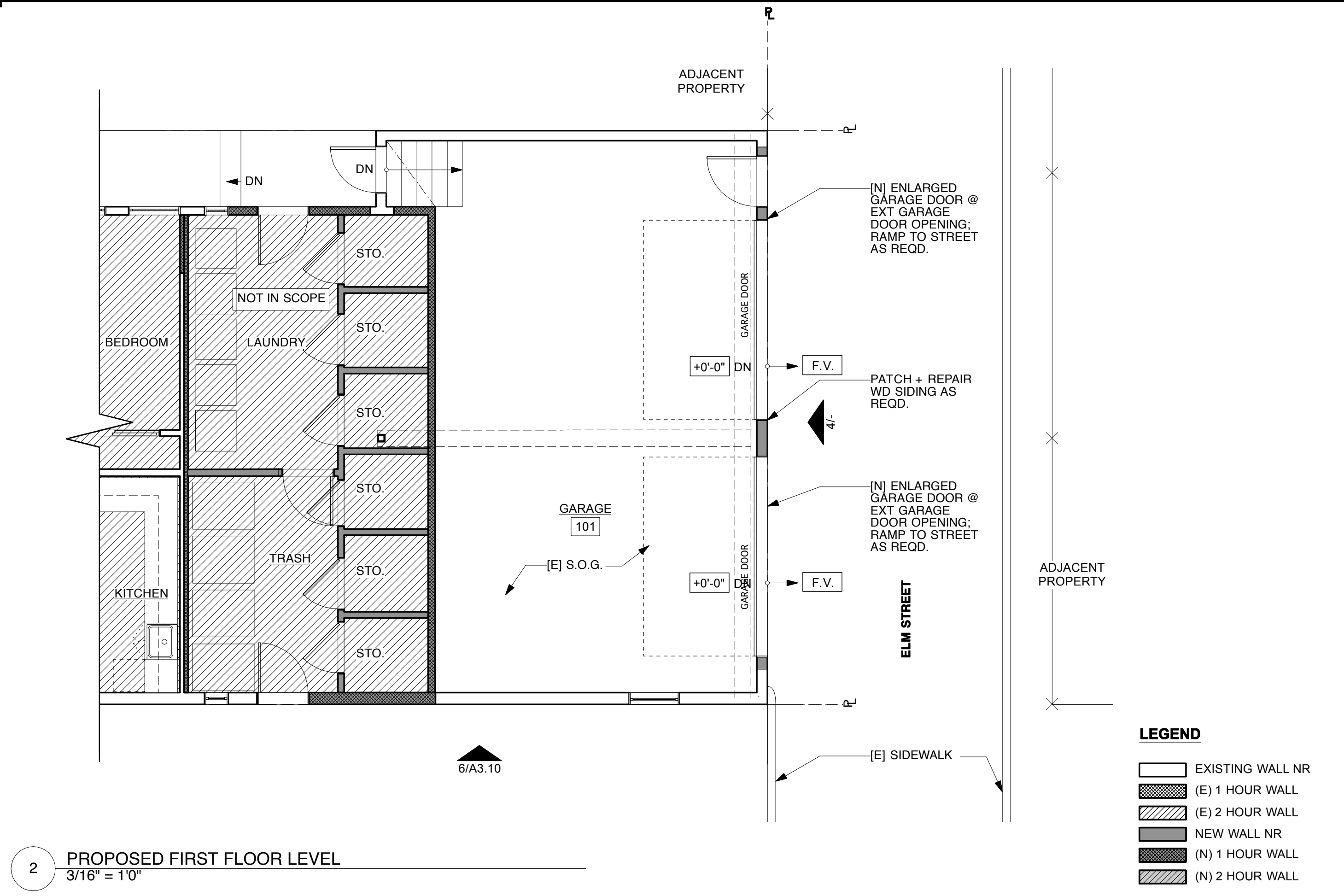
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N



1 [E] PICTURES @ ELM STREET W/ GARAGE DOORS TO BE REPLACED  
NTS

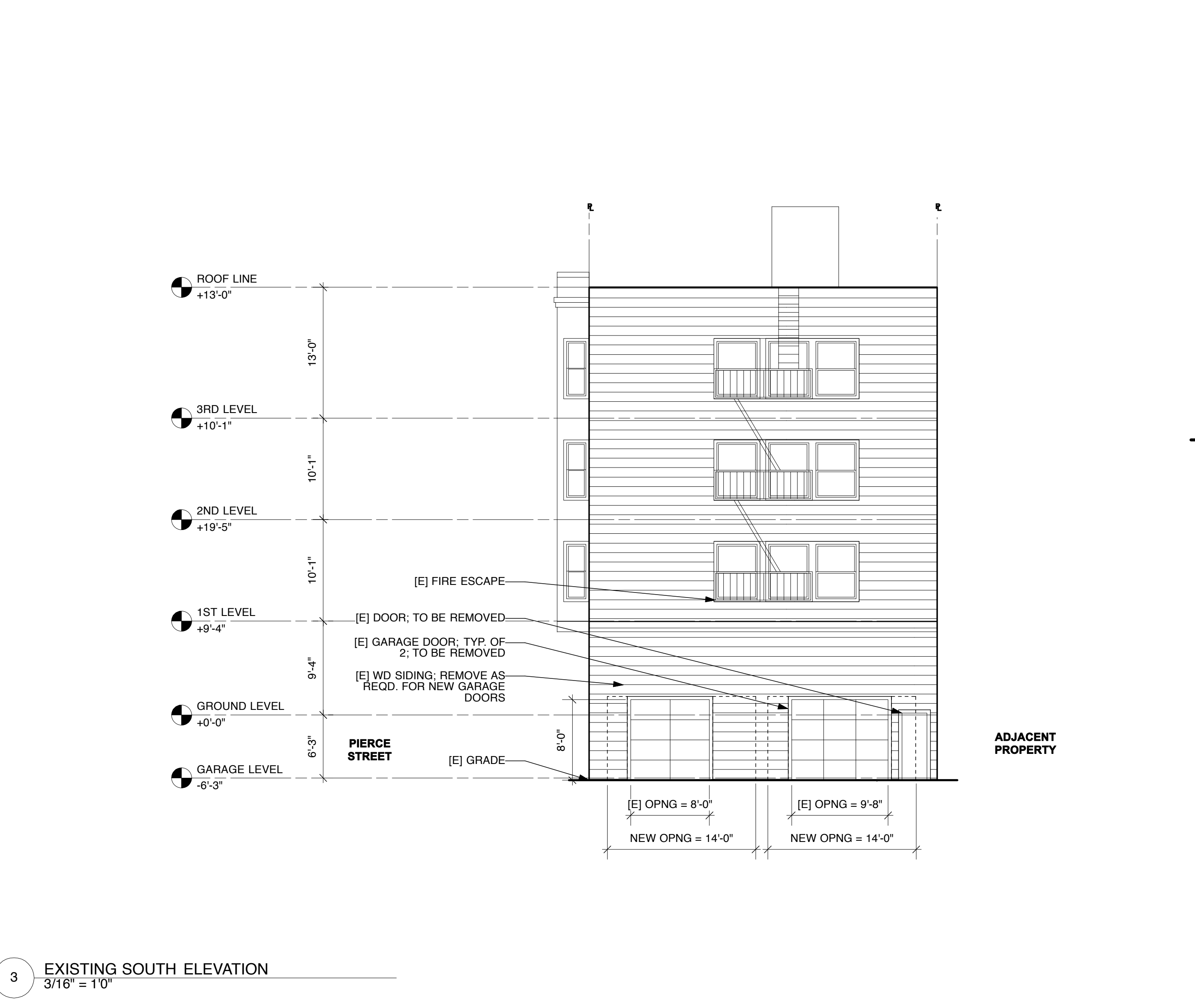
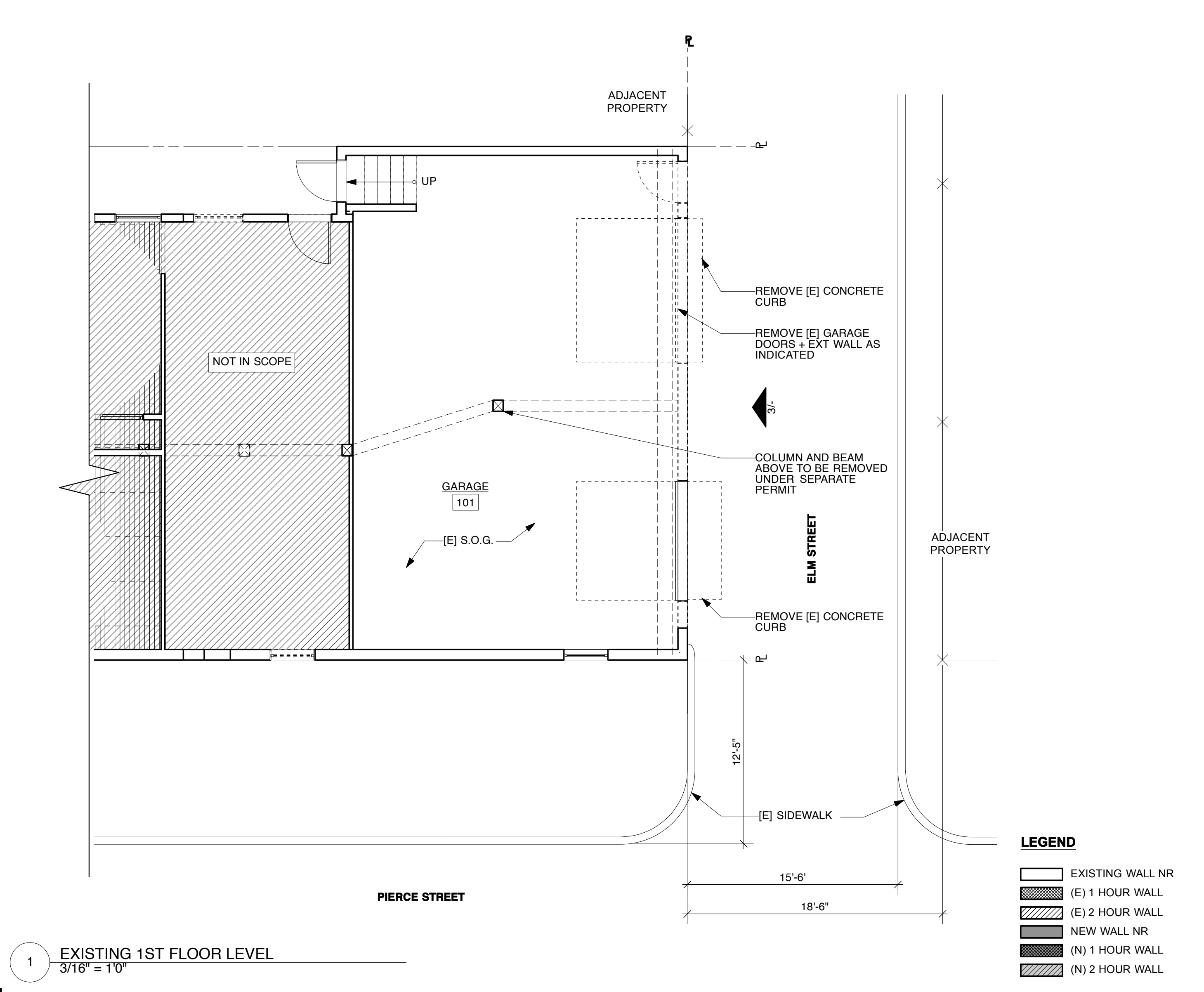




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1015 PIERCE STREET

PROPOSED ELEVATION  
EXISTING ELEVATION  
PROPOSED PLAN  
EXISTING PLAN

PROJECT REFERENCE PIERCE STREET VARIANCE  
DRAWN BY MICHAEL HARRIS ARCHITECTURE  
DATE 15 OCTOBER 2012

PLANNING DEPT #2 \_\_\_\_\_  
PRELIM. BID \_\_\_\_\_  
BID SET \_\_\_\_\_  
CONSTRUCTION SET \_\_\_\_\_  
BLDG. PERMIT RESUB \_\_\_\_\_  
REVISION \_\_\_\_\_

**A2.10**

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