



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6378**

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Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 27, 2013**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>608 Haight Street</b> Cross Street(s): <b>Pierce Street &amp; Steiner Street</b> Block /Lot Nos.: <b>0847 / 009</b> Zoning District(s): <b>RH-3 / 40-X</b> Area Plan: <b>N/A</b>	Case No.: <b>2012.1390V</b> Building Permit: <b>2011.11.01.8043</b> Applicant (agent): <b>Lauren Repeta</b> Telephone: <b>(415) 748-0839</b> E-Mail: <b>LAUREN@RRDESIGNSTUDIOS.COM</b>

### PROJECT DESCRIPTION

The proposal is the removal and replacement of existing decks and exit stairs at the rear of the three-story, three-family dwelling. The proposed rear decks and exit stairs (approximately 22' wide by 9'-6" deep by 24' above grade) will be set back approximately 3 feet from the west side property line, about the east side property line, and set back 4 inches from the north rear property line.

**SECTION 134 OF THE PLANNING CODE** requires a rear yard of 21'-6" for the subject property. The replacement rear deck and exit stairs will extend entirely into the required rear yard; therefore, a variance is required.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: [sharon.m.young@sfgov.org](mailto:sharon.m.young@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1390V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

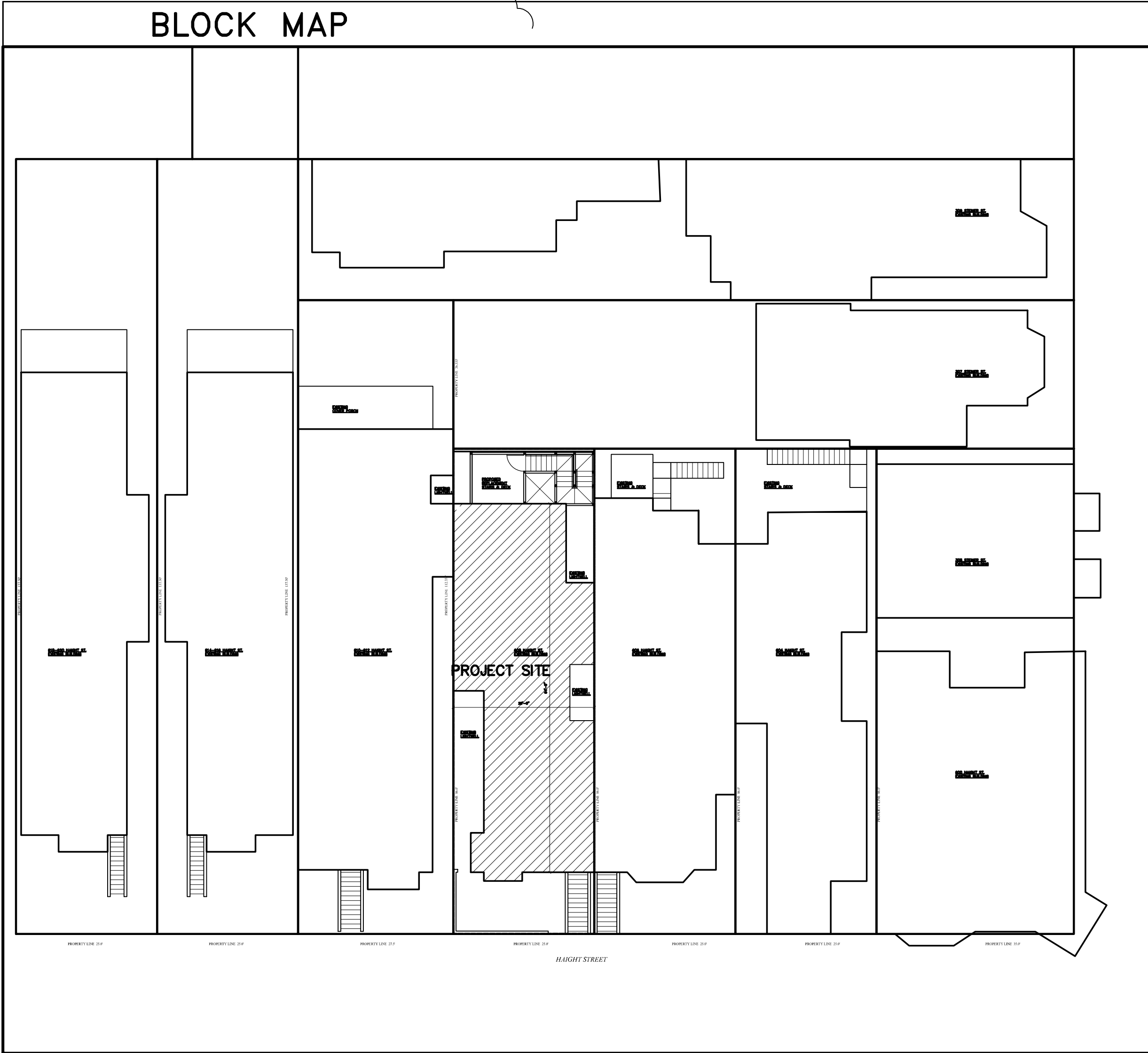
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

MOYCE - HAIGHT ST., SF



# EXTERIOR STAIR/DECK REPLACEMENT FOR: MOYCE RESIDENTIAL BLDG.

608 HAIGHT STREET  
SAN FRANCISCO, CALIFORNIA 94117

BLOCK: 0847 LOT: 009

## PROJECT DATA

BUILDING:	(E) THREE STORY 3-UNIT BUILDING	APPLICABLE CODES:	ALL WORK SHALL BE IN COMPLIANCE WITH:
CONSTRUCTION TYPE:	D (WOOD FRAME)		
BLOCK:	0847		1. The 2010 San Francisco Building Code consists of the 2010 California Building Code, the 2010 California Residential Code, and the 2010 California Green Building Standards Code, with San Francisco Amendments
LOT:	009		2. The 2010 San Francisco Electrical Code consists of the 2010 California Electrical Code with San Francisco Amendments
ZONING:	RH-3		3. The 2010 San Francisco Energy Code consists of the 2010 California Energy Code, which is essentially the same as the 2008 California Energy Code, with no local amendments
HEIGHT & BULK:	40-X		4. The 2007 San Francisco Housing Code
SETBACKS:	NONE		5. The 2010 San Francisco Mechanical Code consists of the 2010 California Mechanical Code with San Francisco Amendments
USE:	RESIDENTIAL		6. The 2010 San Francisco Plumbing Code consists of the 2010 California Plumbing Code with San Francisco Amendments
YEAR BUILT:	1895		
TOTAL LOT AREA:	2,150 S.F.		
EXISTING BUILDING AREA:	3,600 S.F.		
PROJECT DESCRIPTION:	REPLACE EXISTING STAIRS/LANDINGS/DECKS AT THE REAR YARD.		

## NOTES

1. VERIFICATION OF SCOPE OF WORK: BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND ACCURACY OF THE SCOPE OF WORK AND SHALL INDICATE TO THE ARCHITECT ANY DISCREPANCIES IN A TIMELY MANNER.
2. PRE-CONSTRUCTION MEETING: BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL MEET AT THE PROJECT SITE WITH THE OWNER IN ORDER TO REVIEW THE SCOPE OF WORK.
3. COORDINATION OF WORK: THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TRADES AND ALL WORK INCLUDING BUT NOT LIMITED TO : ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL.
4. WHERE UL, GA, OR UBC CONSTRUCTION ASSEMBLIES ARE DESIGNATED, THE COMPONENTS AND INSTALLATION DETAILS MUST CONFORM IN EVERY DETAIL OF THE DESIGN NUMBER SPECIFIED.
5. DO NOT DISTURB ADJACENT OCCUPIED AREAS. KEEP STAIRS AND EXIT PATHS CLEAR AND CLEAN AT ALL TIMES.
6. PERMITS: THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE REGULATORY AGENCIES.
7. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, TO CENTERLINES OF COLUMNS AND OTHER GRID POINTS & TO CENTERLINES OF DOORS AND OTHER SCHEDULED OPENINGS UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO BE EXACT WITHIN 1/4" ALONG FULL HEIGHT AND ALONG FULL WIDTH OF WALLS. CONTRACTOR SHALL NOT ADJUST ANY DIMENSIONS MARKED "CLEAR" OR "CLR" WITHOUT WRITTEN INSTRUCTIONS.
9. OFFSET STUDS WHERE REQUIRED TO ALIGN FINISH MATERIALS OR EXISTING FINISHES. (IF APPLICABLE)
10. ALL DIMENSIONS AND ELEVATIONS SHOWN RELATING TO EXISTING CONSTRUCTION ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ACTUAL DIMENSIONS.
11. "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, U.O.N.
12. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
13. RECORD DRAWINGS: DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATION OF ITEMS AND/OR DEVIATIONS FROM THE DRAWINGS SHALL BE INDICATED IN THE RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND SUBMIT TO OWNER UPON COMPLETION OF WORK.
14. CONTRACTOR TO VERIFY EXISTING ELECTRICAL SERVICE GROUNDING AND BONDING. IF REQUIRED BY THE CITY, PROVIDE AN 8-FOOT DRIVEN GROUNDING ROD, 10-FOOT OF BURIED METAL PIPE OR UFER GROUND, BOND GROUNDING CONDUCTOR TO METAL, WATER, AND GAS SERVICE PIPES WITH APPROVED CLAMPS.
15. PROJECT CONSTRUCTION WILL BE REQUIRED TO ADHERE TO APPROPRIATE STANDARDS FOR RESIDENTIAL AND CIRCULATION AREAS WITH ATTENDANT DRAINAGE AND LANDSCAPING, EMPHASIZING STORM WATER BEST MANAGEMENT PRACTICES INTENDED TO ACHIEVE CONFORMANCE WITH THE FEDERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM ESTABLISHED BY THE CLEAN WATER ACT.
16. CONSTRUCTION HOURS WILL BE LIMITED IN ACCORDANCE WITH THE SAN FRANCISCO MUNICIPAL CODE, AND NOTES TO THIS EFFECT SHALL BE POSTED ON THE COVER SHEET OF THE CONSTRUCTION PLANS AND ON ALL ALL-WEATHER NOTICE BOARD (FORMAT AND CONTENT SPECIFIED BY CITY) CONSPICUOUSLY PLACED ADJACENT TO THE MOST VISIBLE RIGHT-OF-WAY FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AS FOLLOWS:

MONDAY-SUNDAY, 7 A.M. TO 8 P.M.

## DIRECTORY

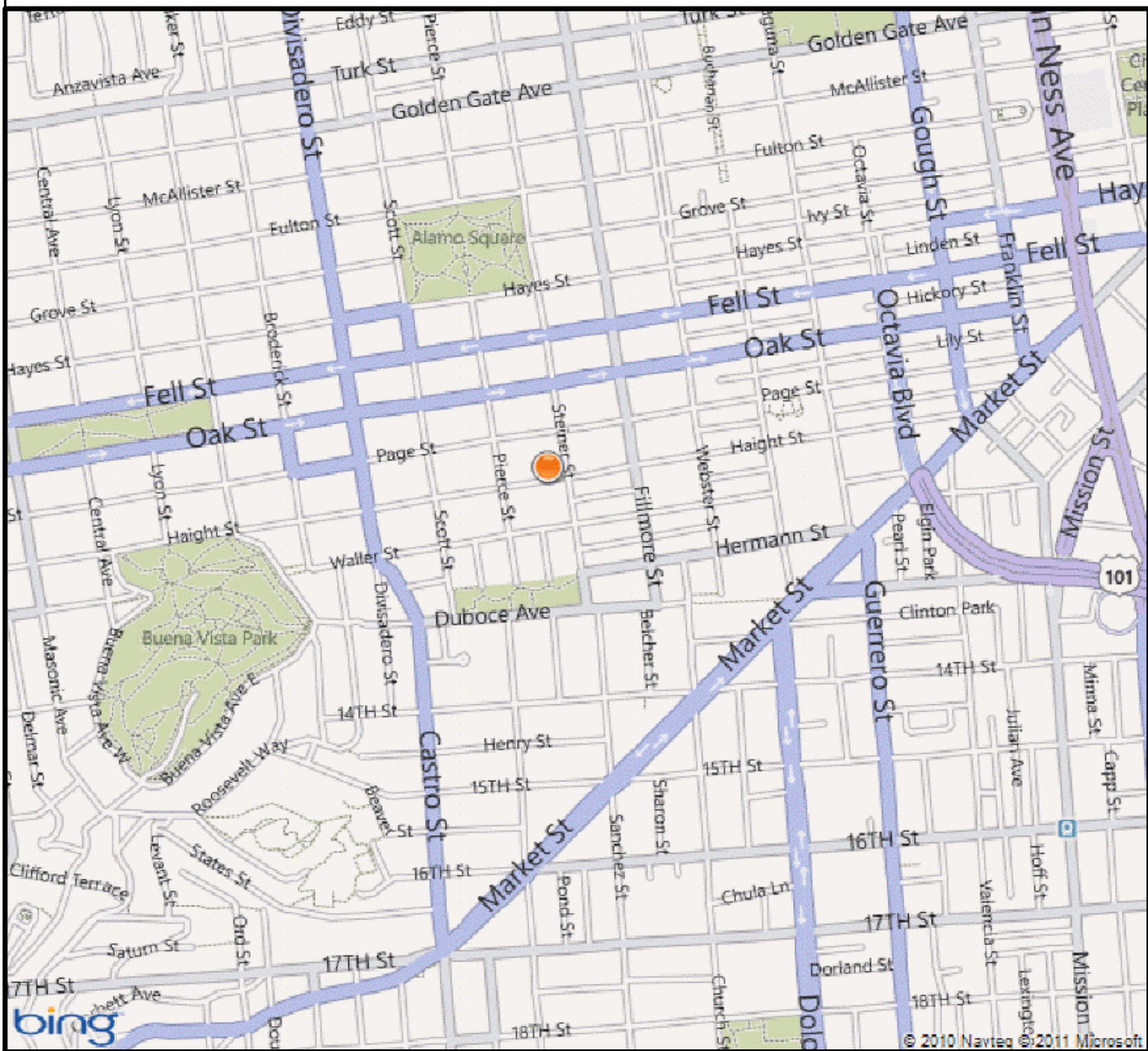
<b>OWNER:</b> ANDREW MOYCE 608 HAIGHT STREET SAN FRANCISCO, CA 94118	<b>ARCHITECT:</b> RR DESIGN STUDIOS 318 SECOND STREET RODEO, CA 94572 TEL (415) 748-0839 FAX (510) 799-1474 CONTACT: LAUREN REPETA
<b>STRUCTURAL ENGINEER:</b> TND2 ENGINEERING 3716 SEGOVIA COURT SAN RAMON, CA 94583 TEL (925) 837-0520 FAX (925) 886-4850 CONTACT: DO VAN TRAN	

## DRAWING INDEX

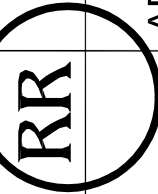
SHEET NO.	DESCRIPTION
<b>ARCHITECTURAL:</b>	
A0.0	COVER SHEET
A0.1	PLOT PLAN / SITE PLAN - EXISTING/DEMO.
A0.2	PLOT PLAN / SITE PLAN - PROPOSED
A1.0	EXISTING/DEMOLITION PLANS - BASEMENT & 1ST. FLOOR
A1.1	EXISTING/DEMOLITION PLANS - 2ND. FLOOR & ROOF
A2.0	STAIRS/DECKS CONSTRUCTION PLANS - BASEMENT, 1ST. & 2ND. FLOORS
A3.0	STAIRS/DECKS EXTERIOR ELEVATIONS
A3.1	STAIRS/DECKS EXTERIOR ELEVATIONS
A4.0	STAIRS/DECKS DETAILS
<b>STRUCTURAL:</b>	
S-1	DECK FRAMING/FOUNDATION PLAN & DETAILS

BUILDING PERMIT 09/08/2011

## VICINITY MAP



RR DESIGN STUDIOS



ARCHITECTURE PLANNING INTERIORS  
318 SECOND STREET  
RODEO  
P: 415.748.0839  
CA 94572  
F: 510.799.1474



VARIANCE/RENOVATION FOR:  
MOYCE RESIDENTIAL BUILDING

608 HAIGHT STREET  
SAN FRANCISCO, CALIFORNIA

REVISION #1	07.20.12
VARIANCE	10.18.11
REVISION	DATE
DATE:	07-19-2011
JOB NO.:	1102

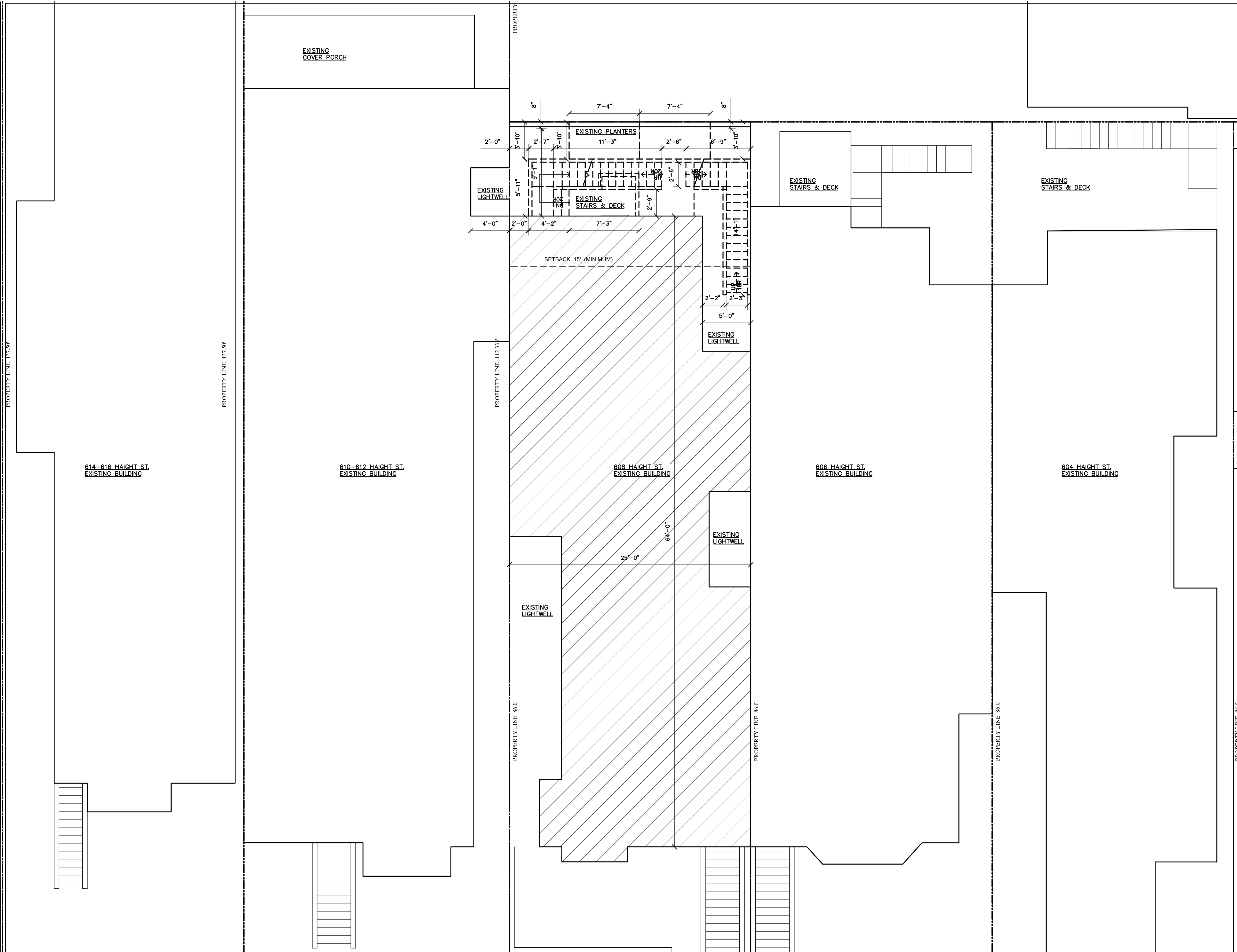
COVER  
SHEET

SCALE: AS NOTED

A0.0

OF

MOYCE - HAIGHT ST., SF



1. CONTRACTOR TO FULLY INSPECT (E) BUILDING CONDITIONS AND SCOPE OF NEW WORK. VERIFY ALL STRUCTURAL ELEMENTS OF THE BUILDING PRIOR TO REMOVAL OF EXISTING CONSTRUCTION. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER IMMEDIATELY IF THERE IS ANY CONFLICT BETWEEN EXISTING CONSTRUCTION TO REMAIN & NEW WORK PRIOR TO DOING ANY WORK. IF REQUIRED, CONTRACTOR TO PROVIDE TEMPORARY SHORING DURING NEW CONSTRUCTION TO PREVENT ANY STRUCTURAL FAILURE OF THE (E) STRUCTURE AND/OR ADJACENT PROPERTIES.
2. REFER TO PLANS ON SHEET A2.0 & A2.1 TO COORDINATE DEMOLITION WITH (N) CONSTRUCTION. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. RECYCLE DEBRIS, UNUSED MATERIALS AND TRASH FROM THE SITE PER CITY CODES AND REGULATIONS.
4. DO NOT DISTURB ADJACENT PROPERTIES, IF REQUIRED MAKE PRIOR ARRANGEMENTS AND GIVE NEIGHBORS PROPER ADVANCE NOTICE.
5. REMOVE ALL (E) WALLS SHOWN "DASHED" COMPLETELY (U.O.N.) INCLUDING FRAME, FINISHES AND ALL ELEC/MECH/PLUMBING FIXTURES, AND CAP ALL ENDS PER CODE.
6. REMOVE LIGHT FIXTURES AND CAP EXISTING ELECTRICAL WIRING OR TERMINATE ENDS PER CODE.
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NOTES

KEYNOTES

- PROPOSED NEW CONSTRUCTION
- REMOVE (E) CONSTRUCTION SHOWN "DASHED".
- EXISTING BUILDING - NO INTERIOR WORK

PLOT PLAN / SITE PLAN - EXISTING/DEMOLITION

1/8"=1'-0"  
MOYCE\_BP

04

LEGEND

LEGEND

01

RR DESIGN STUDIOS

ARCHITECTURE PLANNING INTERIORS

318 SECOND STREET  
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MOYCE RESIDENTIAL BUILDING

608 HAIGHT STREET  
SAN FRANCISCO, CALIFORNIA

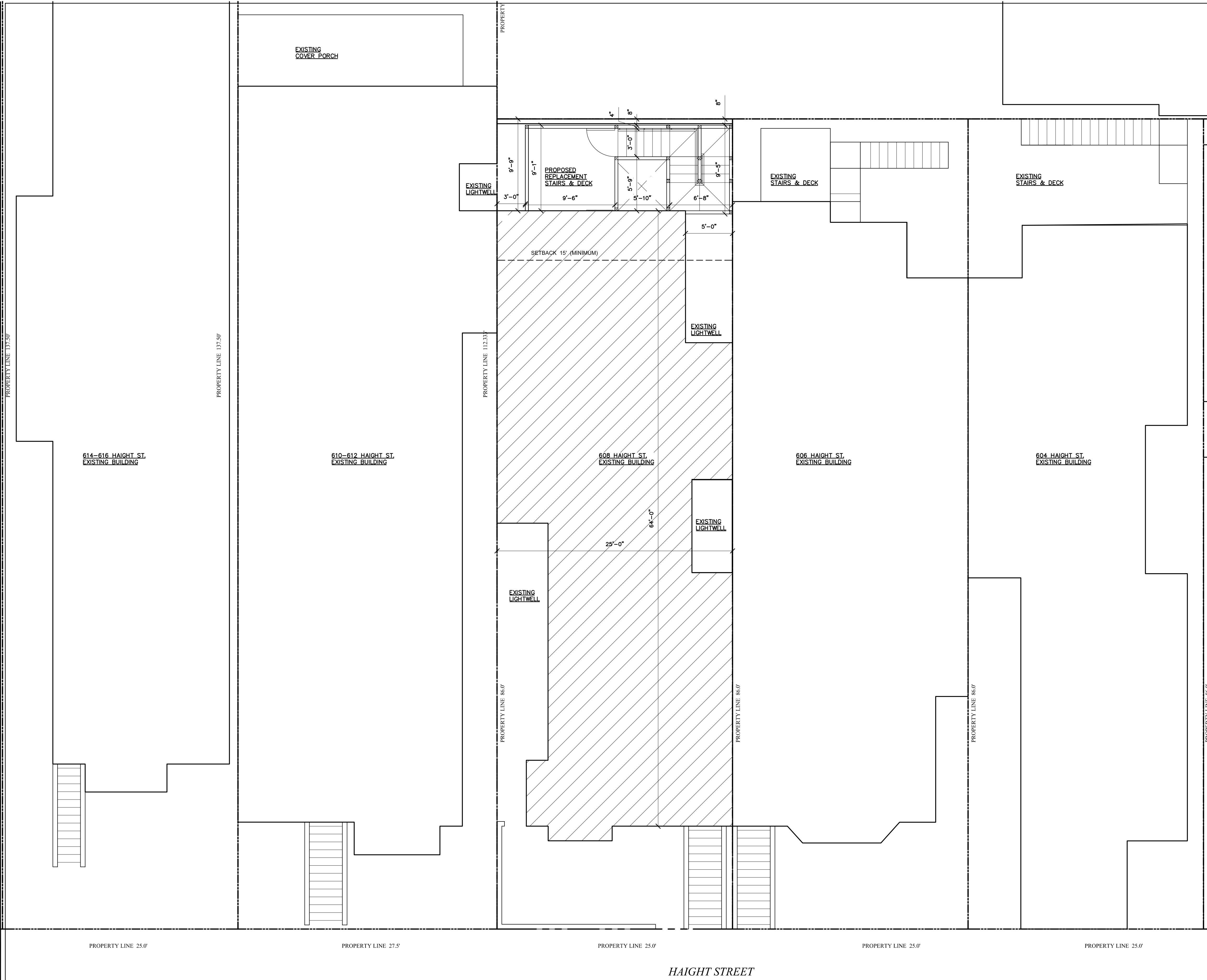
REVISION #1	07.20.12
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DATE:	07-19-2011
JOB NO.:	1102

PLOT PLAN /  
SITE PLAN  
EXISTING/DEMO.

SCALE: AS NOTED

A0.1  
OF

MOYCE - HAIGHT ST., SF



UNIT	EXISTING PUBLIC OPEN SPACE	EXISTING PRIVATE OPEN SPACE	PROPOSED PUBLIC OPEN SPACE	PROPOSED PRIVATE OPEN SPACE
UNIT "A" BASEMENT		NONE		143 SQ.FT. (100 REQ'D)
UNIT "B" 1ST. FLOOR		NONE		138 SQ.FT. (100 REQ'D)
UNIT "C" 2ND. FLOOR		NONE		80 SQ.FT. (100 REQ'D)
FRONT YARD	191 SQ.FT.	N/A	191 SQ.FT.	
REAR YARD	243.75 SQ.F. (375 REQ'D)	N/A	N/A	

OPEN SPACE DATA	-	03
NOTES		

KEYNOTES	-	02
NOTES		

- PROPOSED NEW CONSTRUCTION
- REMOVE (E) CONSTRUCTION SHOWN "DASHED".
- EXISTING BUILDING - NO INTERIOR WORK

PLOT PLAN / SITE PLAN - PROPOSED

1/8"=1'-0"  
MOYCE\_BP

04

LEGEND

-  
LEGEND

01

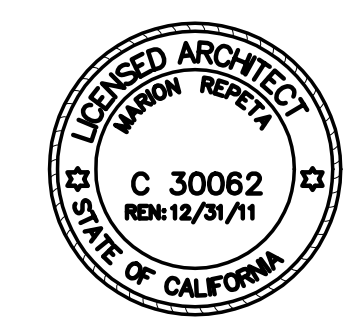
RR

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VARIANCE/RENOVATION FOR:  
MOYCE RESIDENTIAL BUILDING

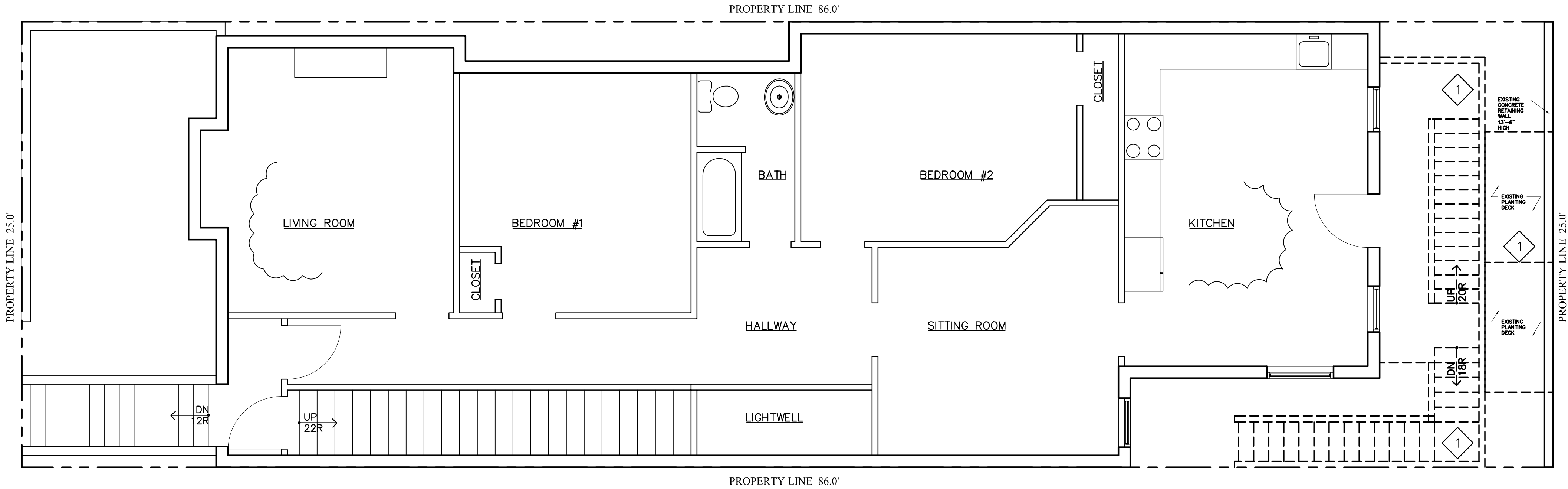
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PLOT PLAN /  
SITE PLAN  
PROPOSED

SCALE: AS NOTED

HAIGHT STREET



NO WORK TO INTERIOR

FIRST FLOOR PLAN - EXISTING/DEMOLITION

1/4"=1'-0"  
MOYCE\_BP

05

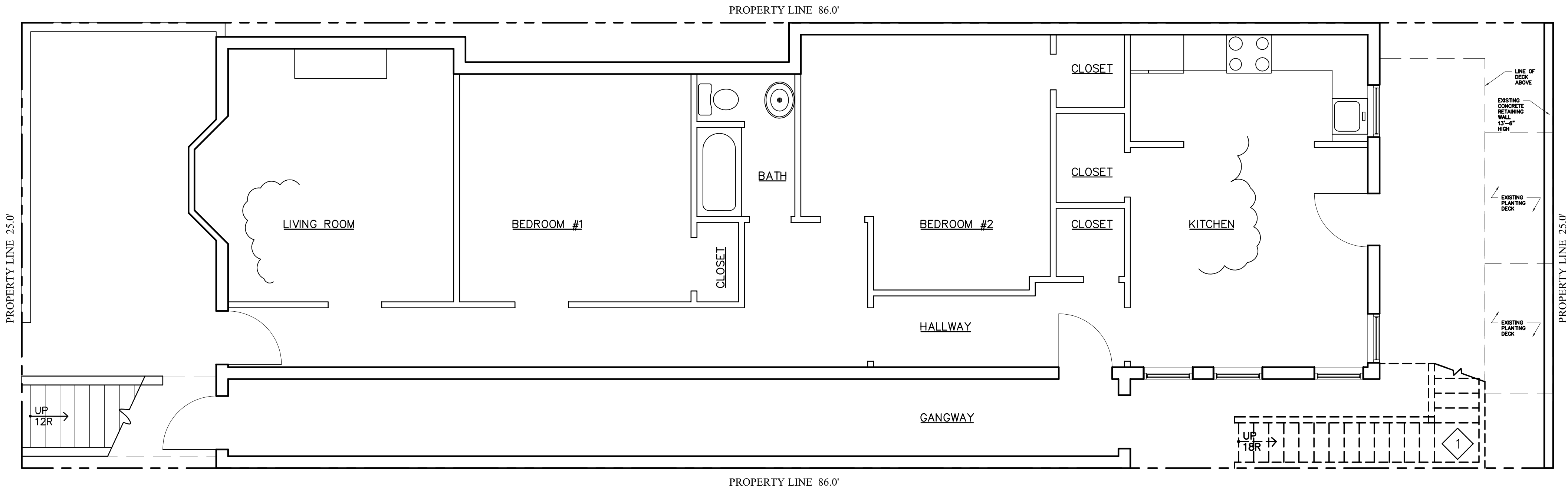
NOTES

-  
NOTES

03

- 1 REMOVE EXISTING STAIRS, DECK AND FOOTINGS.

HAIGHT STREET



NO WORK TO INTERIOR

BASEMENT FLOOR PLAN - EXISTING/DEMOLITION

1/4"=1'-0"  
MOYCE\_BP

04

LEGEND

-  
LEGEND

01

KEYNOTES

-  
NOTES

02

- REMOVE (E) CONSTRUCTION SHOWN "DASHED".
- ===== EXISTING CONSTRUCTION TO REMAIN.
- ===== EXISTING WINDOWS TO REMAIN.
- ===== EXISTING DOORS TO REMAIN.

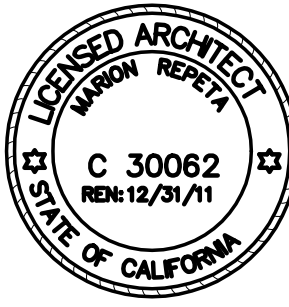
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VARIANCE/RENOVATION FOR:  
MOYCE RESIDENTIAL BUILDING

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REVISION #1	07.20.12
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DATE:	07-19-2011
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BSMNT. & 1ST. FLOOR PLANS- EXISTING/DEMO.	

SCALE: AS NOTED

A1.0

OF

HAIGHT STREET

PROPERTY LINE 25.0'

PROPERTY LINE 86.0'

PROPERTY LINE 25.0'

NO WORK TO ROOF

PROPERTY LINE 86.0'

ROOF PLAN - EXISTING/DEMOLITION

1/4"=1'-0"  
MOYCE\_BP

05

NOTES

-  
NOTES

03

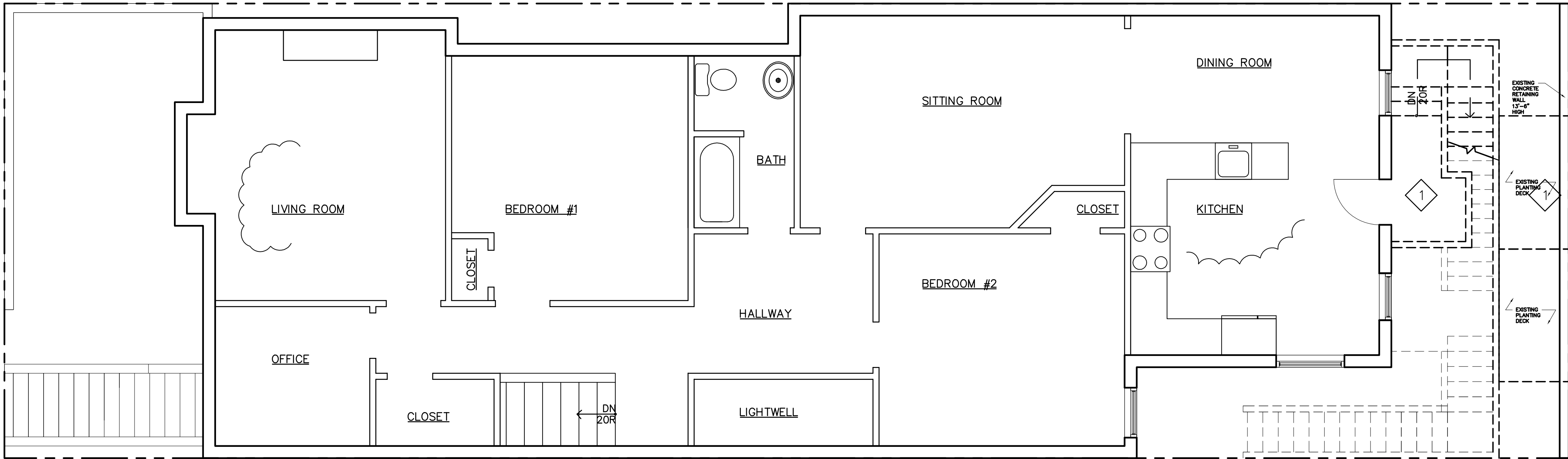
- 1 REMOVE EXISTING STAIRS, DECK AND FOOTINGS.

HAIGHT STREET

PROPERTY LINE 25.0'

PROPERTY LINE 86.0'

PROPERTY LINE 25.0'



NO WORK TO INTERIOR

PROPERTY LINE 86.0'

SECOND FLOOR PLAN - EXISTING/DEMOLITION

1/4"=1'-0"  
MOYCE\_BP

04

LEGEND

-  
LEGEND

01

KEYNOTES

-  
NOTES

02

- REMOVE (E) CONSTRUCTION SHOWN "DASHED".
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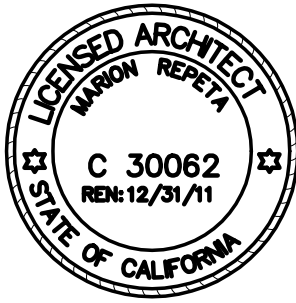
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2ND. & ROOF  
FLOOR PLAN-  
EXISTING/DEMO.

SCALE: AS NOTED

A1.1

OF

NOTE:  
PRIVATE USABLE OPEN SPACE (125 SQ. FT./UNIT REQ'D):  
EXISTING: 28 SQ. FT.  
PROPOSED: 80 SQ. FT.

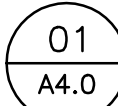
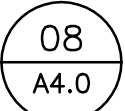


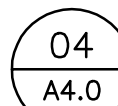
NOTE:  
PRIVATE USABLE OPEN SPACE (125 SQ. FT./UNIT REQ'D):  
EXISTING: 61 SQ. FT.  
PROPOSED: 138 SQ. FT.

NOTE!:

PRIVATE USABLE	OPEN SPACE (125 SQ. FT./UNIT REQ'D):
EXISTING:	194 SQ. FT.
PROPOSED:	143 SQ. FT.

1. NOTIFY ARCHITECT IF FIELD CONDITIONS PROHIBIT MINIMUM CLEAR DIMENSIONS.
2. ALL FINISHES, PAINT COLORS, FIXTURES TO BE SELECTED BY OWNER.
3. CONTRACTOR TO PROVIDE OWNER WITH CATALOG CUTS AND SPECIFICATIONS FOR ALL SELECTIONS OR MATERIALS INSTALLED SUCH AS RAILINGS, DECKING, TREADS, CABLES, FASTENERS, HARDWARE, ETC.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, COORDINATE AND VERIFY ALL NEW WORK AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
5. CONSTRUCTION CONTRACTORS SHALL MUFFLE AND SHIELD INTAKES AND EXHAUSTS, SHROUD OR SHIELD IMPACT TOOLS, AND USE ELECTRIC POWERED RATHER THAN DIESEL POWERED CONSTRUCTION EQUIPMENT (AS FEASIBLE).
6. ALL STATIONARY NOISE GENERATING EQUIPMENT SHALL BE LOCATED AS FAR AWAY AS POSSIBLE FROM NEIGHBORING PROPERTY LINES.
7. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND OPERATED ACCORDING TO MANUFACTURER'S MAINTENANCE SCHEDULES AND RECOMMENDATIONS TO MINIMIZE NOISE AND EXHAUST EMISSIONS. (PARTICULARLY NITROGEN OXIDES)
8. CONTRACTOR SHALL DELIVER A COMPLETE BUILDING WHICH IS WEATHERPROOF AND LEAK FREE AND SHALL DETERMINE SUCH MATERIALS AND METHODS OF CONSTRUCTION TO ACCOMPLISH THIS OBJECTIVE.
9. LANDING AT EXTERIOR DOORWAYS SHALL NOT BE MORE THAN 7'-3/4" BELOW THE TOP OF THE THRESHOLD.
10. ALL HEADROOM CLEARANCES TO BE A MINIMUM 80".

-	03
NOTES	

- 1 (N) 4x4 POST COLUMN WRAPPED WITH HARDIE TRIM BOARDS - SEE STRUCTURAL DRAWING S-1
- 2 (N) 42" GUARDRAIL - SEE A3.0 ELEVATIONS FOR DETAILS & STRUCTURAL DRAWING S-1
- 3 (N) STAIRS WITH OPEN RISER AND HARDIE PLANK 2X TREAD AND 1" NOSING - SEE A3.0 ELEVATIONS FOR DETAILS & STRUCTURAL DRAWING S-1
- 4 (N) 36"H CONTINUOUS HANDRAIL: 1-1/2" DIA. STOCK PROFILE. SEE DETAIL: 
- 5 (3) NEW GATES 36"W X 42"H WITH SCHLAGE BRONZE ENTRY DOOR KNOB & (2) BRONZE FULL MORTISE BUTT HINGE, OR  EQUAL EXTERIOR GRADE. SEE DETAIL:
- 10 (N) COPPER FLASHING 
- 11 HARDIE SMOOTH LAP SIDING 
- 12 2X4 P.T. TOP & BOTTOM RAILS W/ 1X1 P.T. BALLUSTER WITH 4"O.C. MAX SPACING 

-	02
NOTES	

- (N) RAILING & 4X4 POSTS
- (3) NEW GATES 36"W X 42"H WITH SCHLAGE BRONZE ENTRY DOOR KNOB & (2) BRONZE BUTT MORITSE BUTT HINGE, OR EQUAL EXTERIOR GRADE.
- 2X6 HARDIE PLANK DECKING WITH 1/4" SPACING
- 05  
A.4.0
- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING WINDOWS TO REMAIN.
- EXISTING DOORS TO REMAIN.

1/2"-1'-0"	06
MOYCE_BP	

1/2"-1'-0"	05
MOYCE_BP	

1/2"-1'-0"	04
MOYCE_BP	

-	01
LEGEND	



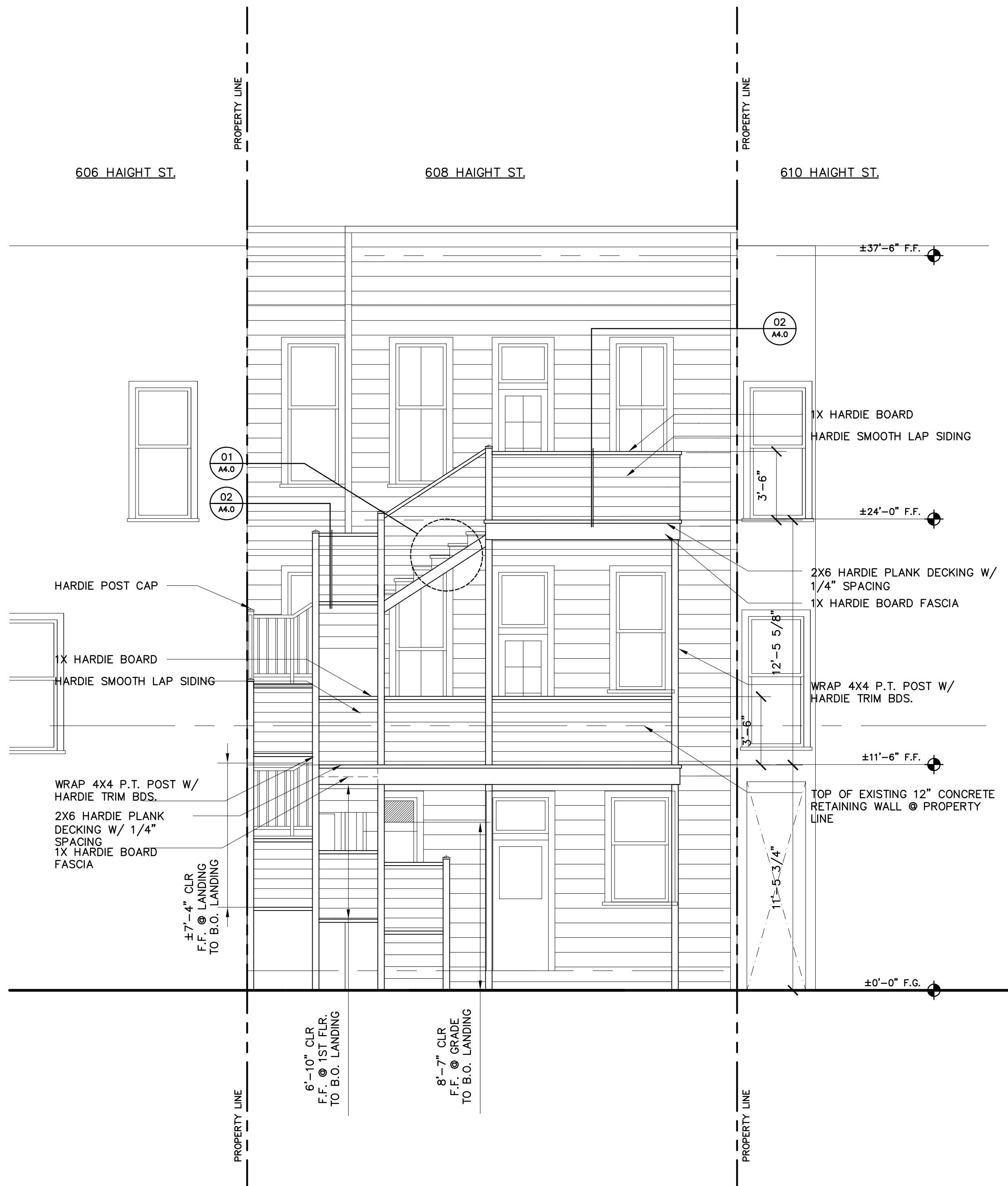
VARIANCE/RENOVATION FOR:  
MOYCE RESIDENTIAL BUILDING

608 HAIGHT STREET  
SAN FRANCISCO, CALIFORNIA

1	REVISION #1	07.20.12
	VARIANCE	10.18.12
<b>REVISION</b>		<b>DATE</b>
<b>DATE:</b>		07-19-2011
<b>JOB NO.:</b>		1102
NEW EXTERIOR STAIRS & LANDINGS - CONST. PLANS		
<b>SCALE:</b>		AS NOTED

A2.0

OF \_\_\_\_\_



EXTERIOR ELEVATION - NORTH

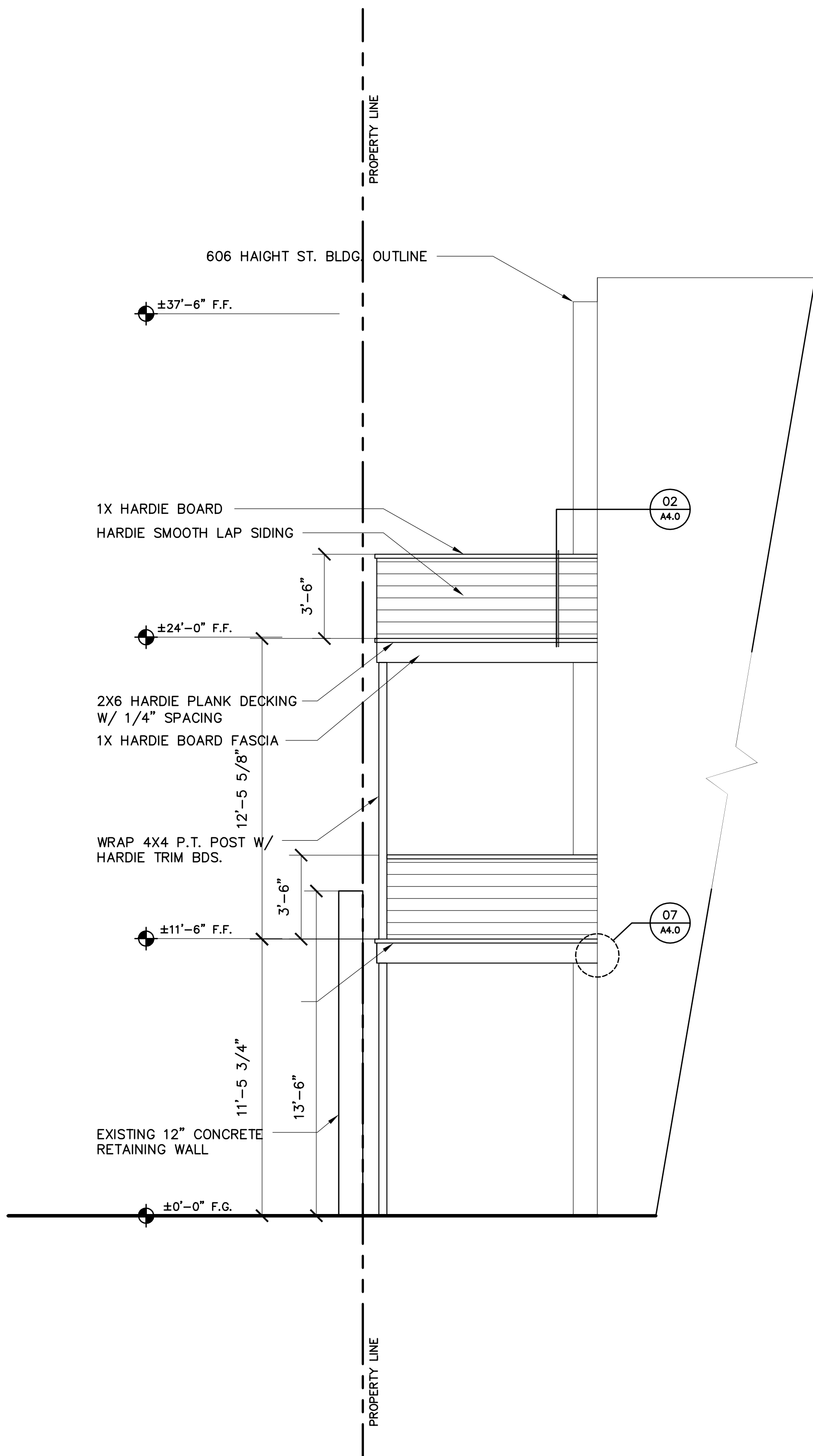
1/4"=1'-0"  
MOYCE\_BP

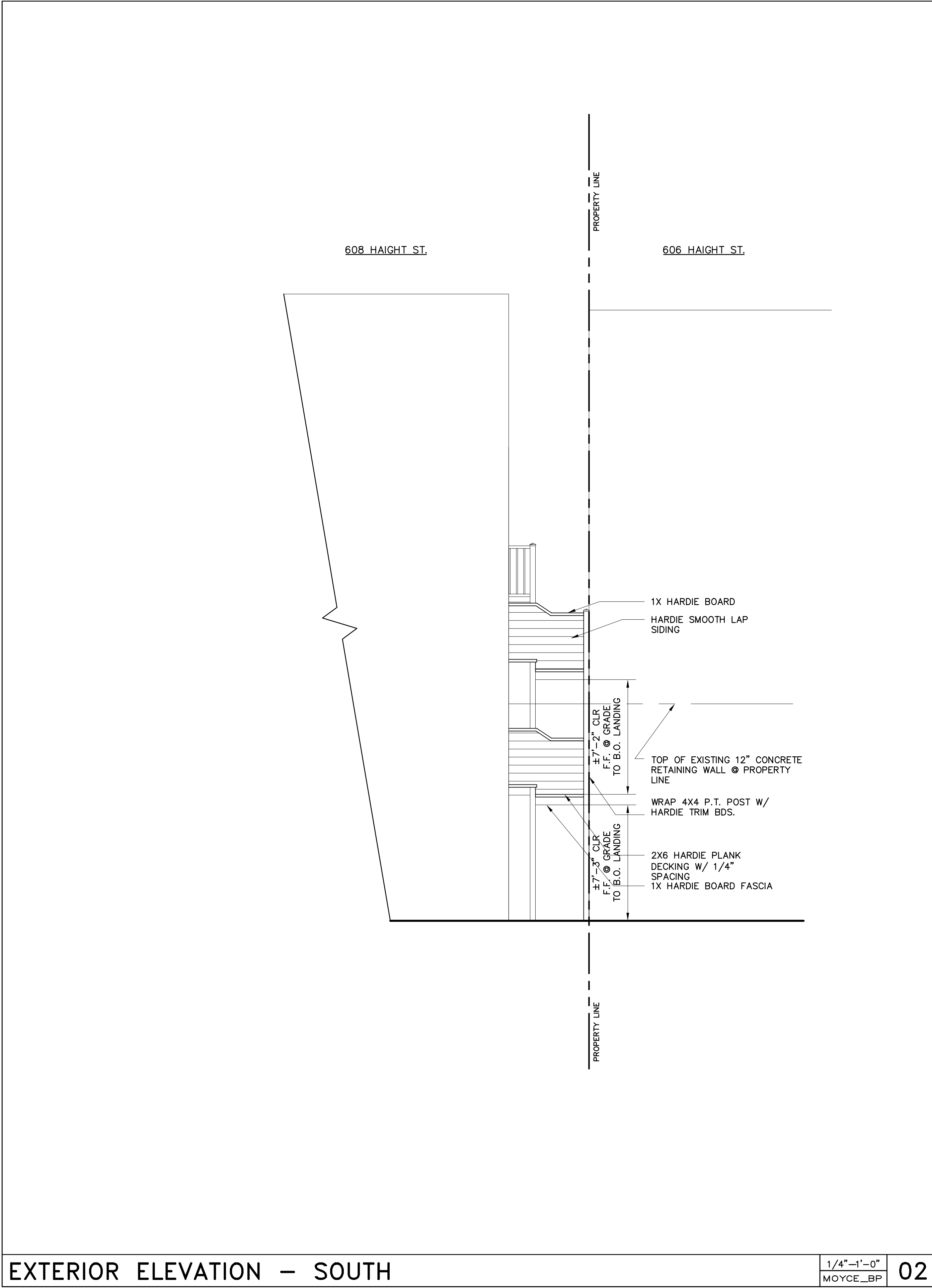
02

EXTERIOR ELEVATION - WEST

1/4"=1'-0"  
MOYCE\_BP

01

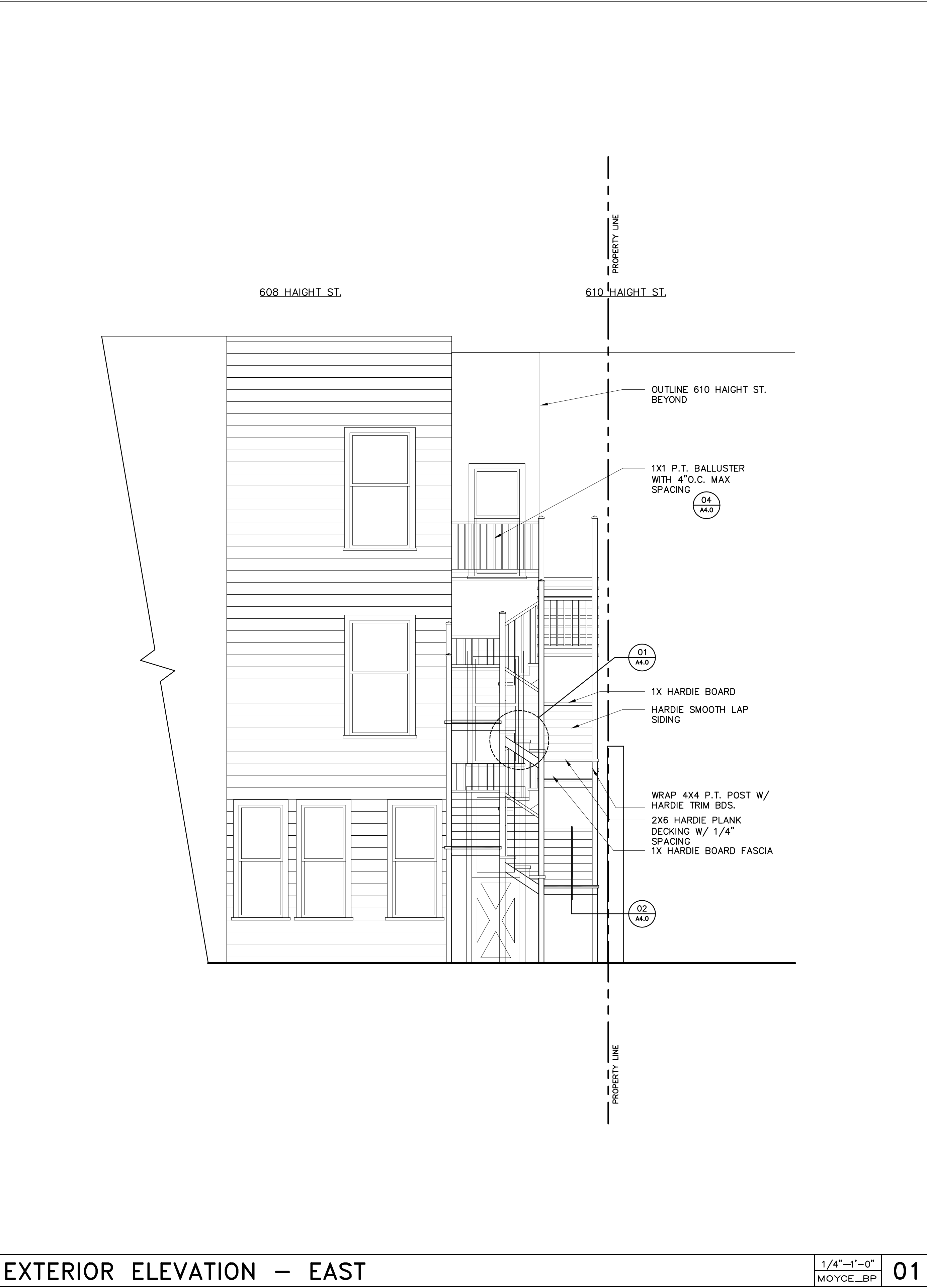




EXTERIOR ELEVATION - SOUTH

1/4"=1'-0"  
MOYCE\_BP

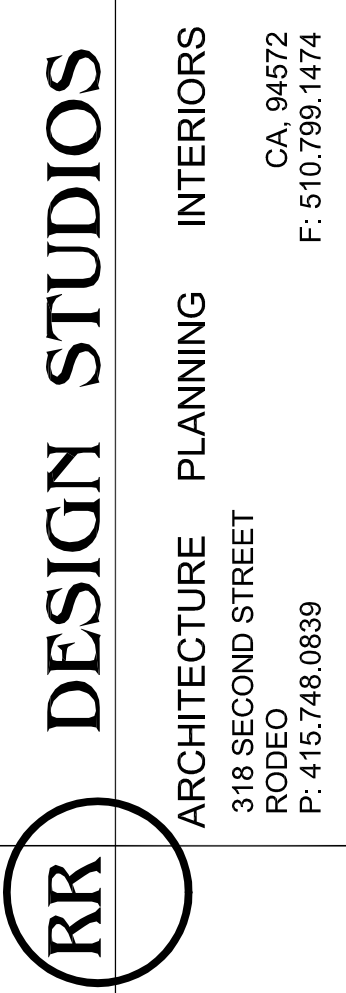
02



EXTERIOR ELEVATION - EAST

1/4"=1'-0"  
MOYCE\_BP

01



VARIANCE/RENOVATION FOR:  
**MOYCE RESIDENTIAL BUILDING**

608 HAIGHT STREET  
SAN FRANCISCO, CALIFORNIA

REVISION #1	07.20.12
VARIANCE	10.18.11
REVISION	DATE
DATE:	07-19-2011
JOB NO.:	1102

NEW EXTERIOR  
STAIRS &  
LANDINGS  
ELEVATIONS

SCALE: AS NOTED

A3.1

OF

