



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 27, 2013**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variances (Rear Yard, Open Space, and Non-Complying Structure)**
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|----------------------|--|-------------------------|---|
| Project Address: | 2038-42 Balboa Street | Case No.: | 2012.1344V |
| Cross Street(s): | 21st and 22nd Streets | Building Permit: | N/A |
| Block /Lot No.: | 1564/023 | Applicant/Agent: | Augustine Fallay |
| Zoning District(s): | NC-1/ 40-X | Telephone: | (510) 469-5202 |
| Area Plan: | N/A | E-Mail: | afallay@aol.com |

PROJECT DESCRIPTION

The proposal is to convert a ground floor commercial space into a new dwelling unit in the subject two-story, mixed-use, corner building. The project includes an expansion to infill a ground floor area along the south side property line (along Balboa Street). The area of work is located within the required rear yard. The project would provide no additional usable open space.

SECTION 134 OF THE PLANNING CODE requires that the subject property maintains a rear yard of approximately 20'-6". The proposed dwelling unit and infill expansion at the ground floor is located within the required rear yard.

SECTION 135 OF THE PLANNING CODE requires that 100 square feet of private open space or 133 square feet of common open space be provided for each dwelling unit. There is currently no available open space on the property and none will be provided.

SECTION 188 OF THE PLANNING CODE does not allow intensification of a noncomplying structure. The existing building extends into the property's required rear yard and is therefore a noncomplying structure. The addition of a dwelling unit and the addition within the rear portion of the building constitutes an intensification of the noncomplying structure.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon Lai** Telephone: **(415) 575-9087** E-Mail: **sharno.w.lai@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2012.1344V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

2036-2042 BALBOA ST.

SAN FRANCISCO, CA

YUFLUX
ENGINEERING LLC

5418A GEARY BLVD.
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P 415-322-0793
F 415-963-4080

PROJECT DATA

ADDRESS: 2036-2042 BALBOA ST.
SAN FRANCISCO, CA

STORIES: 2

PRESENT USE: MULTI-FAMILY RESIDENTIAL

TYPE: V (WOOD FRAME)

YEAR BUILT: 1918

ZONING: NC-1

BLOCK: 1564

LOT: 023

SHEET INDEX

A1 NOTES, SCOPE OF WORK
A2 EXISTING SITE PLAN
A3 EXISTING FLOOR PLAN
A4 PROPOSED GROUND FLOOR PLAN
A5 EXISTING/PROPOSED ELEVATION PLAN

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
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PROJECT TITLE
REMODEL

SHEET TITLE
NOTES, SCOPE OF WORK

LOCATION
2036-2042 BALBOA ST
SAN FRANCISCO, CA

BLOCK : 1564 LOT : 023
ZONING : NC-1

SCOPE OF WORK

1. CONVERT OFFICE SPACE INTO STUDIO APARTMENT SPACE AT
GROUND FLOOR

PROJECT NOTES

PLANNING VARIANCE APPLICATION 2012.1344V SUBMITTED ON 10/23/2012

ENGINEER



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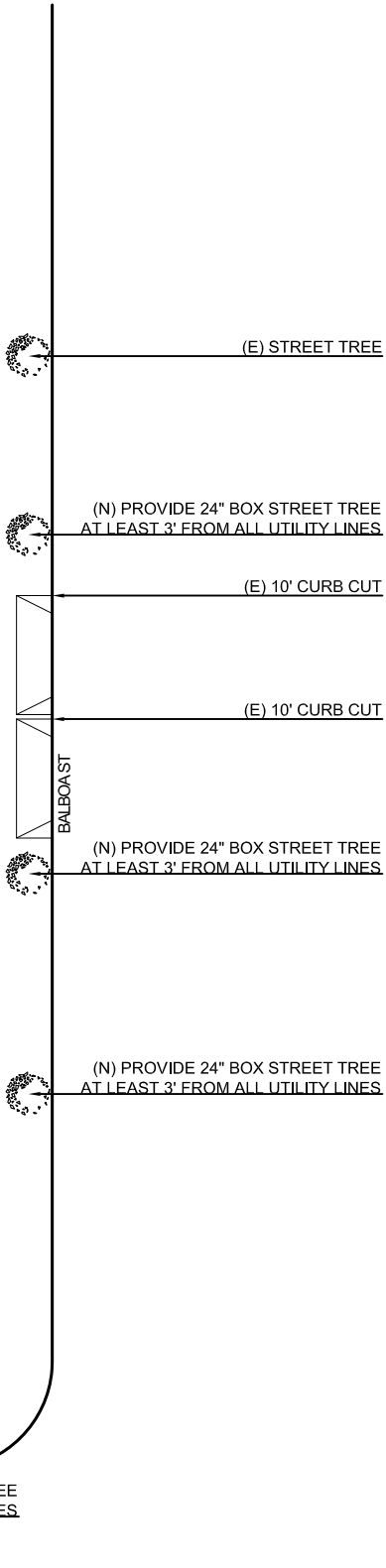
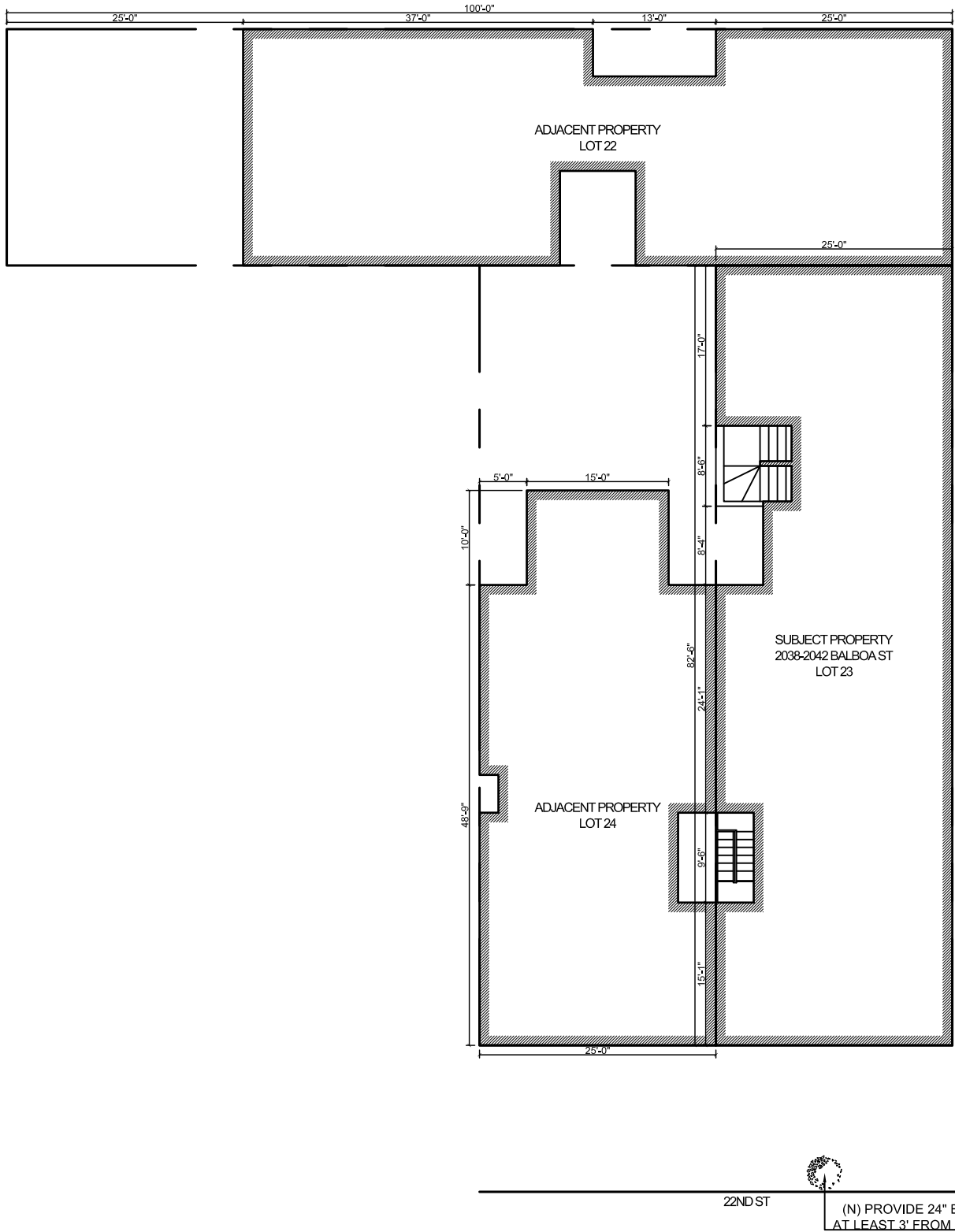
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SCALE
AS NOTED

DATE
9/25/2012

SHEET
A1

EXISTING SITE PLAN (1/16" SCALE)



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REVISIONS

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PROJECT TITLE
REMODEL

SHEET TITLE
EXISTING SITE PLAN

LOCATION
**2036-2042 BALBOA ST
SAN FRANCISCO, CA**

BLOCK : 1564 LOT : 023
ZONING : NC-1

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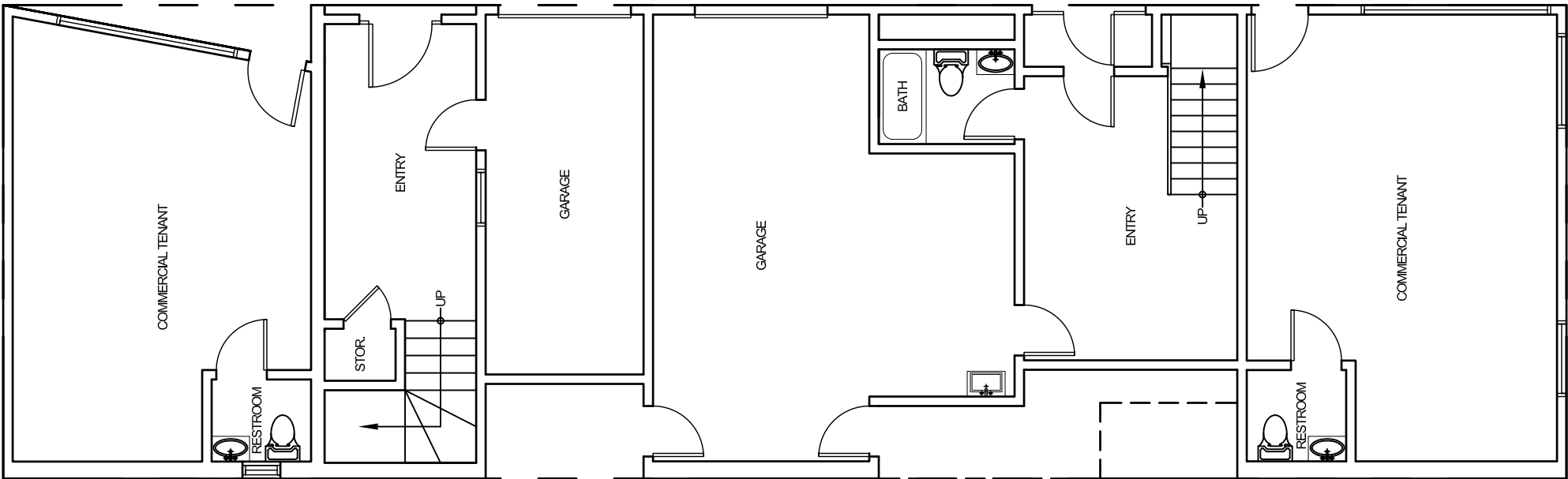
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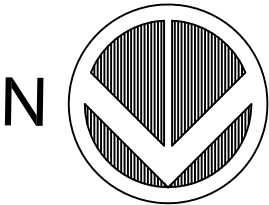
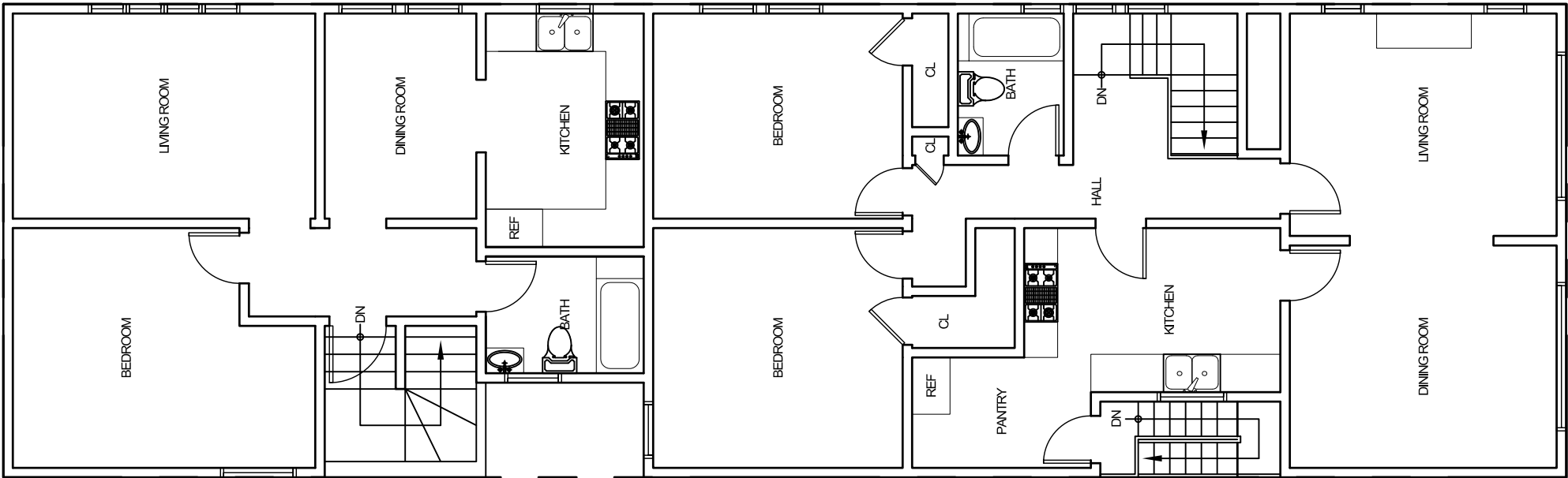
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SHEET
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EXISTING GROUND FLOOR PLAN (1/8" SCALE)



EXISTING SECOND FLOOR PLAN (1/8" SCALE)



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PROJECT TITLE
REMODEL

SHEET TITLE
EXISTING FLOOR PLAN

LOCATION
2036-2042 BALBOA ST
SAN FRANCISCO, CA

BLOCK : 1564 LOT : 023
ZONING : NC-1

ENGINEER



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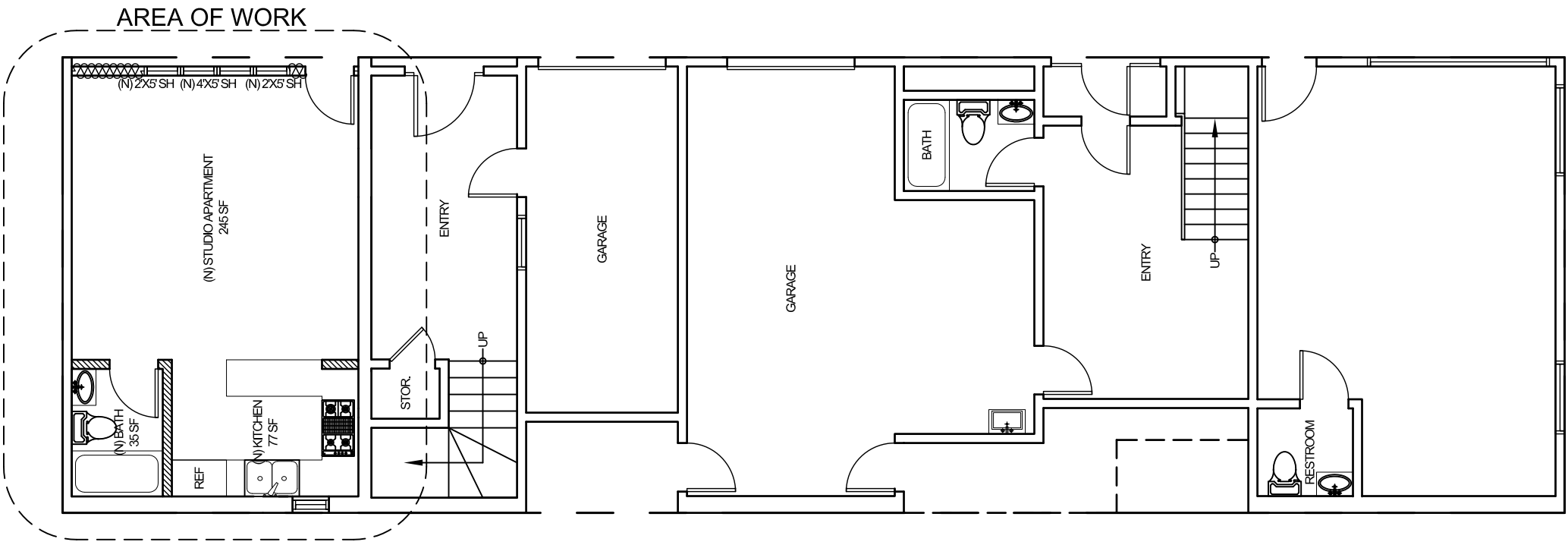
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SHEET
A3

PROPOSED GROUND FLOOR PLAN (1/8" SCALE)



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PROJECT TITLE
REMODEL

SHEET TITLE
PROPOSED FLOOR PLAN

LOCATION
2036-2042 BALBOA ST
SAN FRANCISCO, CA

BLOCK : 1564 LOT : 023
ZONING : NC-1

ENGINEER



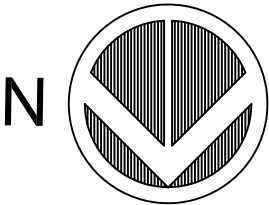
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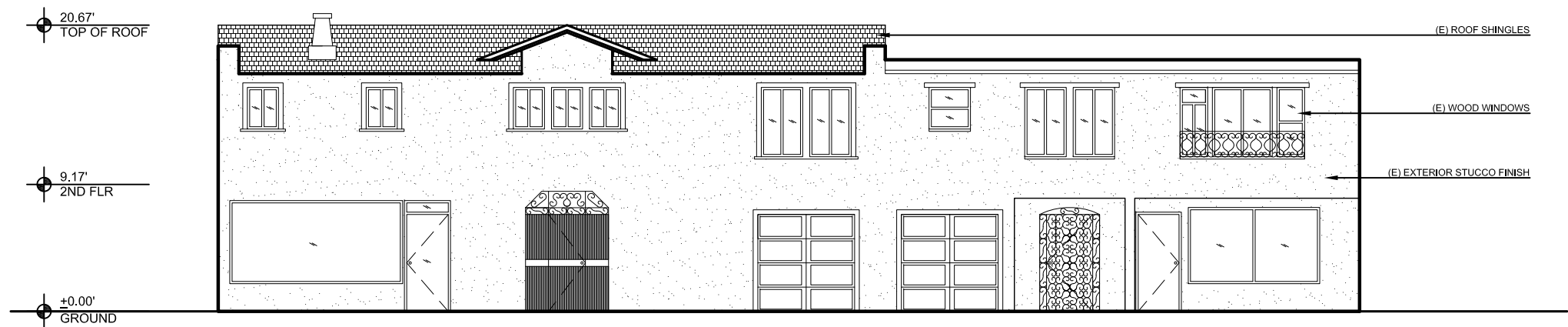
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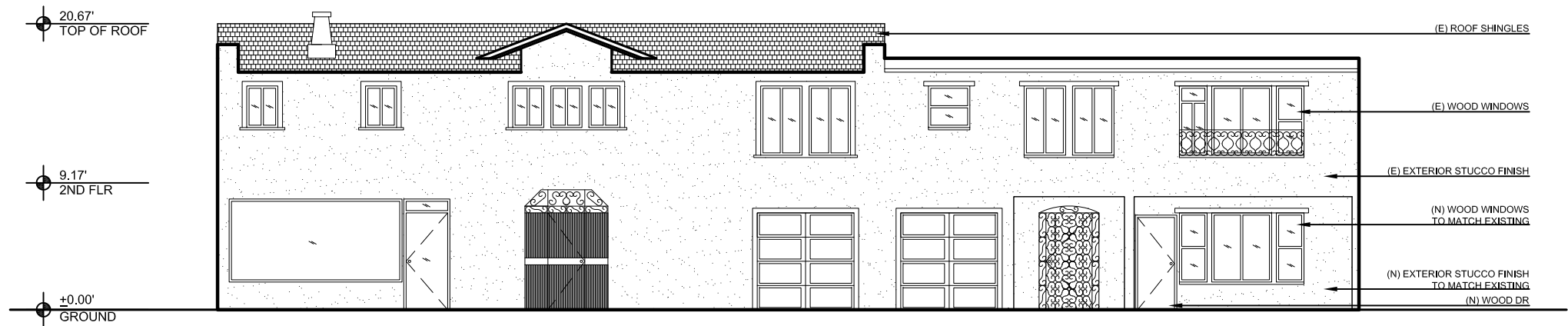
SHEET
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EXISTING ELEVATION PLAN (3/32" SCALE)



PROPOSED ELEVATION PLAN (3/32" SCALE)



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PROJECT TITLE
REMODEL

SHEET TITLE
EXIST./PROP. ELEVATION PLAN
LOCATION

2036-2042 BALBOA ST
SAN FRANCISCO, CA

BLOCK : 1564 LOT : 023
ZONING : NC-1

ENGINEER



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R.YU

CHECKED
R.YU

SCALE
AS NOTED

DATE
9/25/2012

SHEET
A5