



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

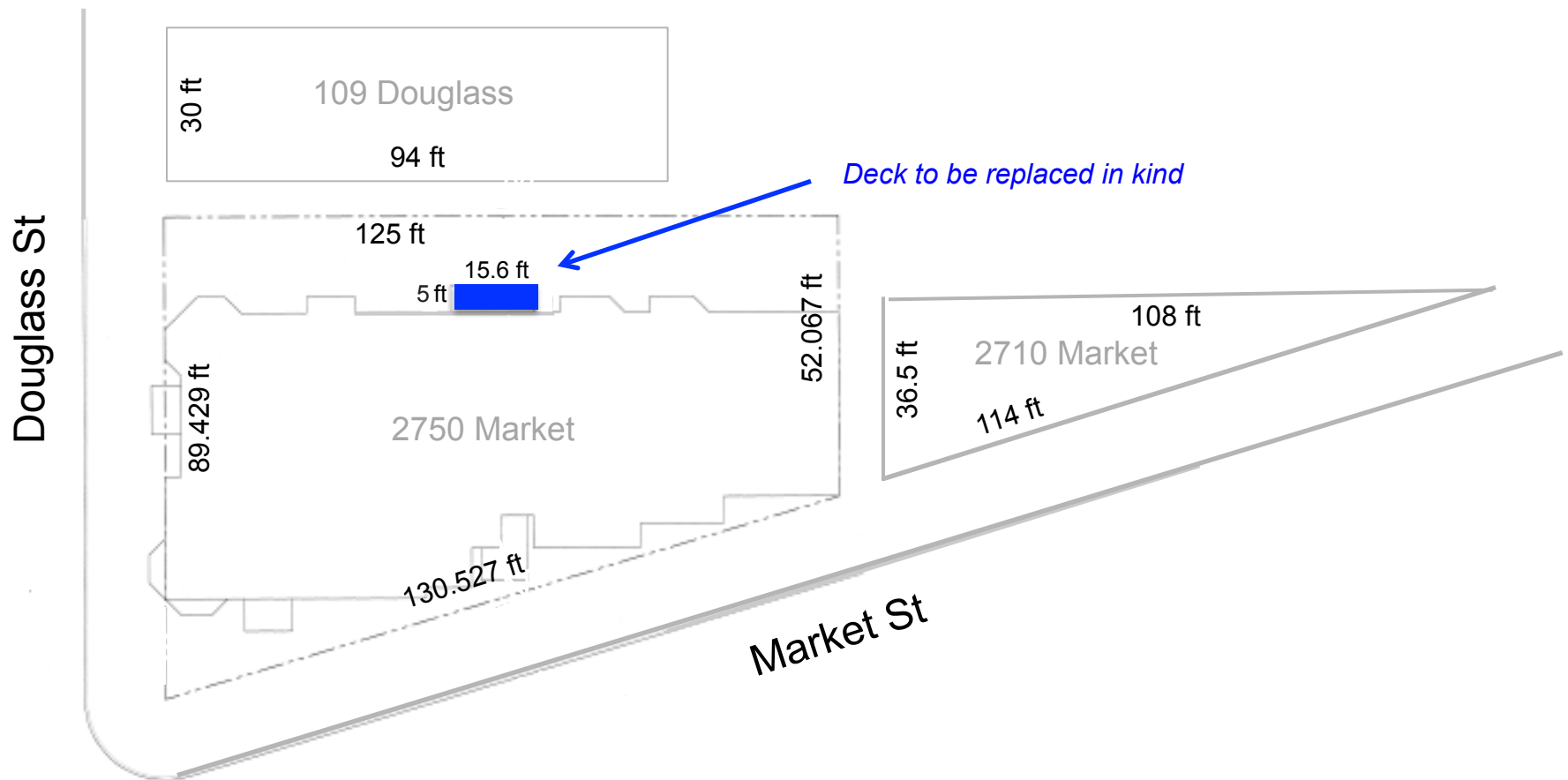
Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Exhibit 1: Plot Plan For 2750 Market #203 Variance Application

(new and existing the same as deck to be replaced in kind)

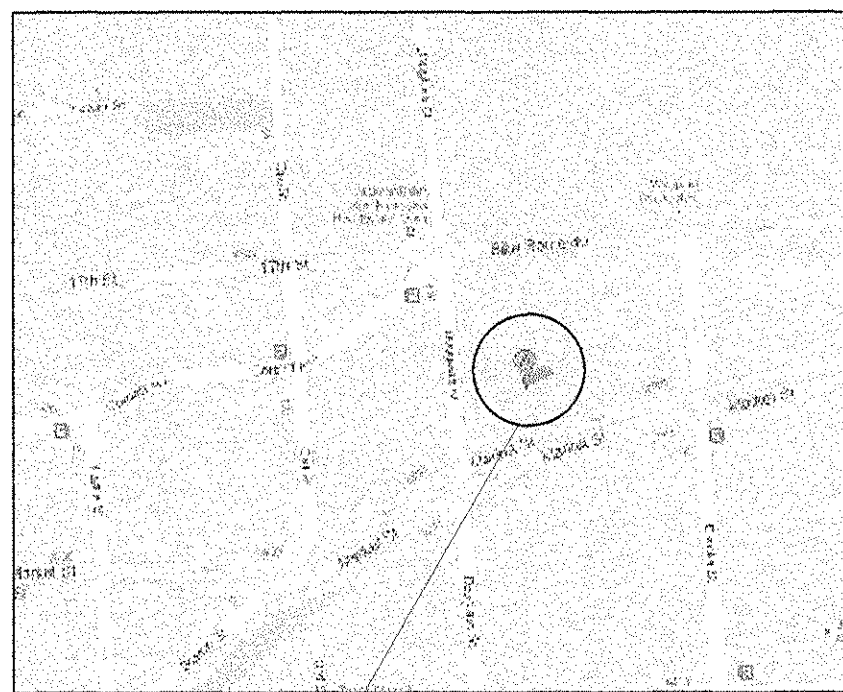


GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO 2010 CALIFORNIA BUILDING CODE AND SAN FRANCISCO BUILDING CODE REQUIREMENTS.
2. DESIGN AND PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE CODE AC1318.
3. ALL CONDITIONS AND DIMENSIONS TO BE VERIFIED IN THE FIELD BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
4. CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING/PROTECTION DURING CONSTRUCTION.
5. CONCRETE $F_c = 2500$ psi.
6. REINFORCING STEEL TO BE ASTM 615, GRADE 60.
7. STRUCTURAL STEEL ASTM A992 Fy 50,000 psi.
8. LUMBER D.F. #2 Fb = 900 psi, Fv = 95 psi.
9. CONSTRUCTION INSPECTION SHALL BE CARRIED OUT BY A REGISTERED ENGINEER AND A CITY BUILDING OFFICIAL.
10. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE-PRESERVATIVE TREATED.
11. ALL HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL.

PROJECT INFORMATION:

OCCUPANCY TYPE: RM1 CONDO
No. OF UNITS: 11
CONSTRUCTION TYPE: V-B WOOD FRAME



LOCATION MAP
NTS

LEGEND

- U.N.O. UNLESS NOTED OTHERWISE
N.T.S. NOT TO SCALE
C.B. COLUMN BASE
E.C.C. END COLUMN CAP
C.C. COLUMN CAP
EG EXISTING GRADE
BOE BOTTOM OF EXCAVATION
PT PRESSURE TREATED
SSD SEE STRUCTURAL DRAWINGS

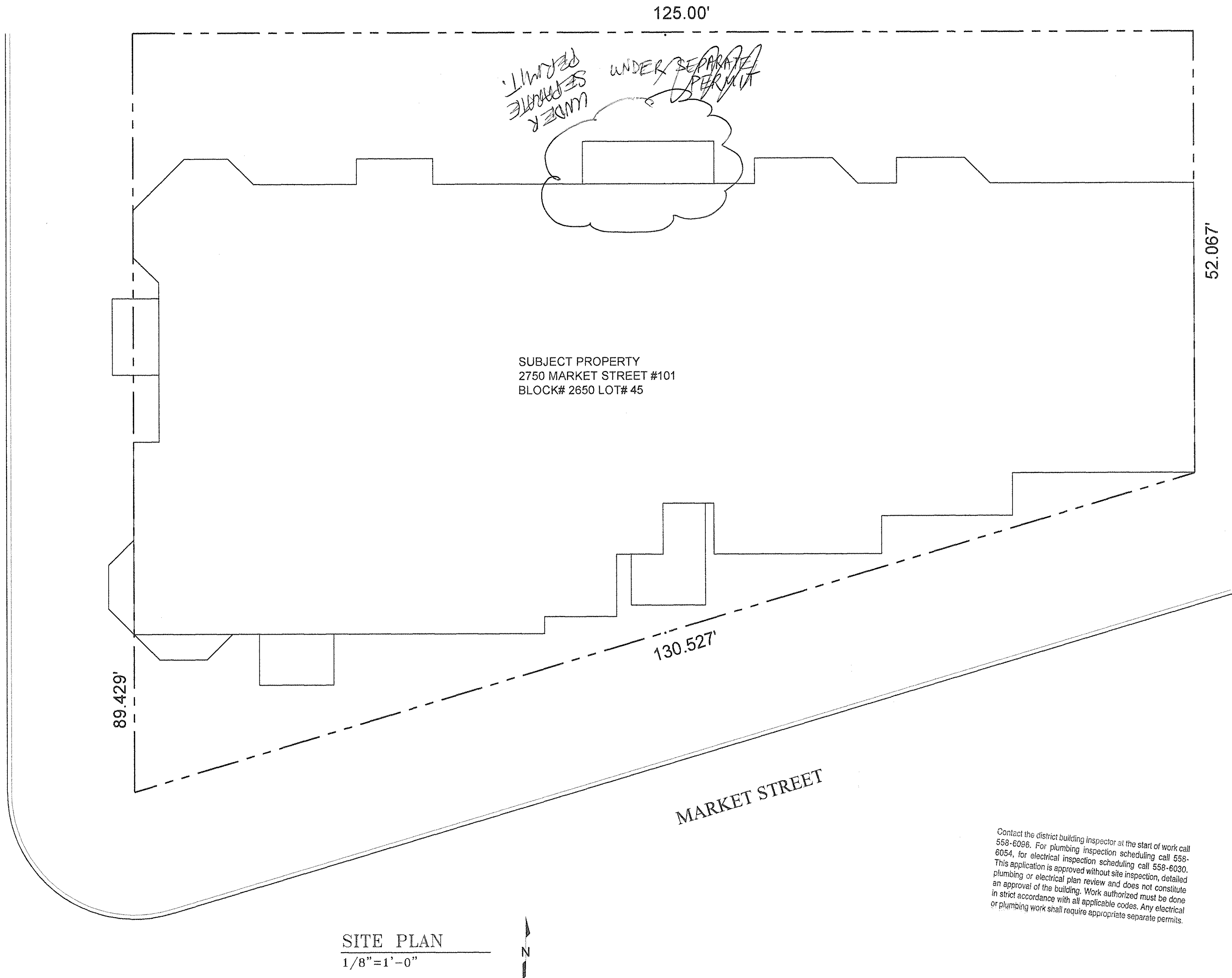
SHEET INDEX

- SPECIAL INSPECTION SHEET*
- A1 GENERAL NOTES AND SITE PLAN
A2 EXISTING AND PROPOSED ELEVATIONS
A3 EXISTING AND PROPOSED ELEVATIONS
A4 1ST & 2ND FLOOR PLANS
A5 3RD FLOOR PLAN
S1 GENERAL NOTES AND DETAILS
S2 FRAMING PLANS AND DETAILS
S3 *3RD FLOOR PLUMBING*
S4 *DETAILS*

SCOPE OF WORK

REPLACE IN KIND DECKS *(7)*
COMPLY W/ NOV 2 00670947

DOUGLASS STREET



SITE PLAN
1/8"=1'-0"

Contact the district building inspector at the start of work call 555-6066. For plumbing inspection scheduling call 555-6064, for electrical inspection scheduling call 555-6060. This application is approved without site inspection, detailed plumbing or electrical plan review and does not constitute an approval of the building. Work authorized must be done in strict accordance with all applicable codes. Any electrical or plumbing work shall require appropriate separate permits.

[Signature]
Approved Planning Dept. Kevin D. [Signature]
CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW



PROJECT
DECK REPLACEMENT

ADDRESS
2750 MARKET STREET
101-104, # 201-204,
301, #303
SAN FRANCISCO, CA
BLOCK: 2650
LOT: 045

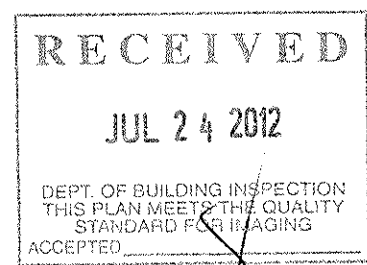
PROJECT DIRECTORY

McCLUSKEY ENGINEERING
2822 CLEMENT # 6
SAN FRANCISCO, CA 94121
TEL: 415-750-1121
FAX: 415-221-1128
CONTACT: MR. PETER McCLUSKEY, P.E.

OWNER
2750 MARKET ASSOCIATION

BUILDING
BUILDING
BIDDING
PLANNING
PLANNING
PLANNING

[Signature]
WILLY YAU, DBI
JUL 24 2012



SHEET DESCRIPTION
(E) AND (N)
SITE PLAN

A1

2012.07.24.5639



PROJECT
DECK REPLACEMENT

ADDRESS
**2750 MARKET STREET
101-104, # 201-204,
301, #303
SAN FRANCISCO, CA
BLOCK: 2650
LOT: 045**

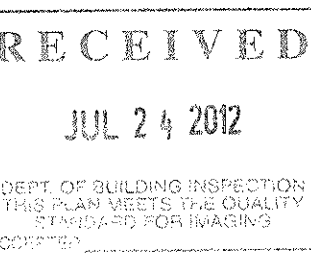
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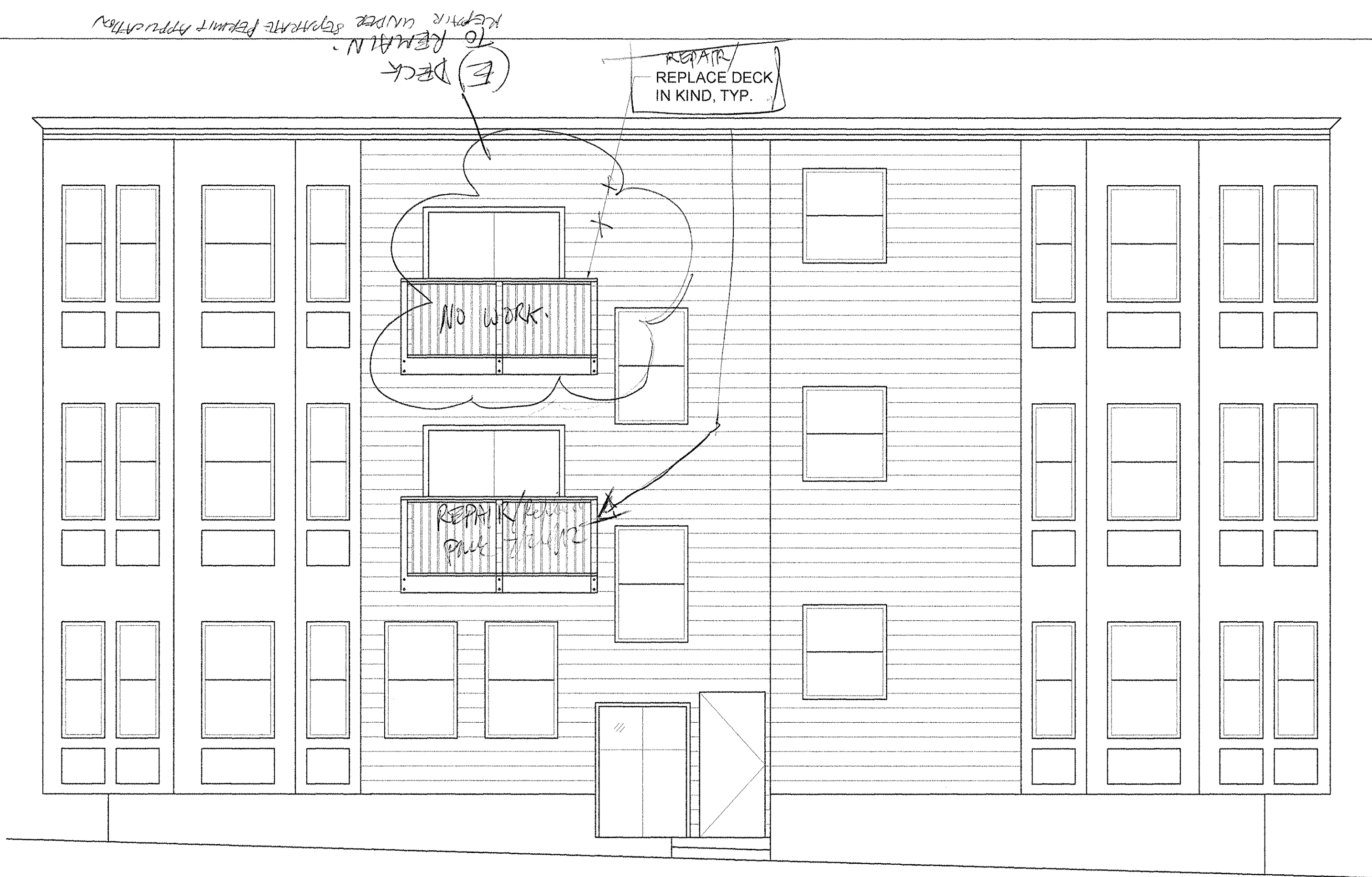
BUILDING
BUILDING
BIDDING
PLANNING
PLANNING
PLANNING

By
WILLY YAU, DBI
JUL 24 2012

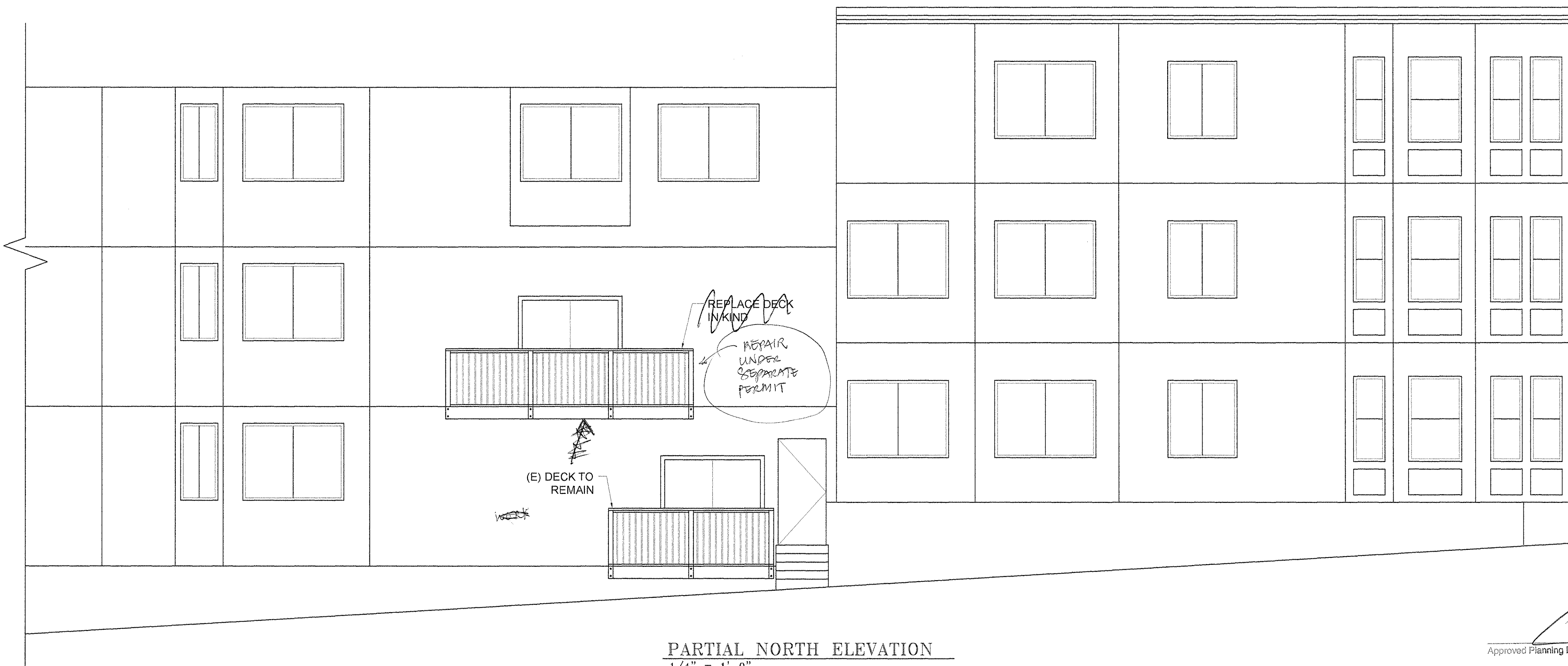


SHEET DESCRIPTION
**(E) AND (N)
ELEVATION**

A2

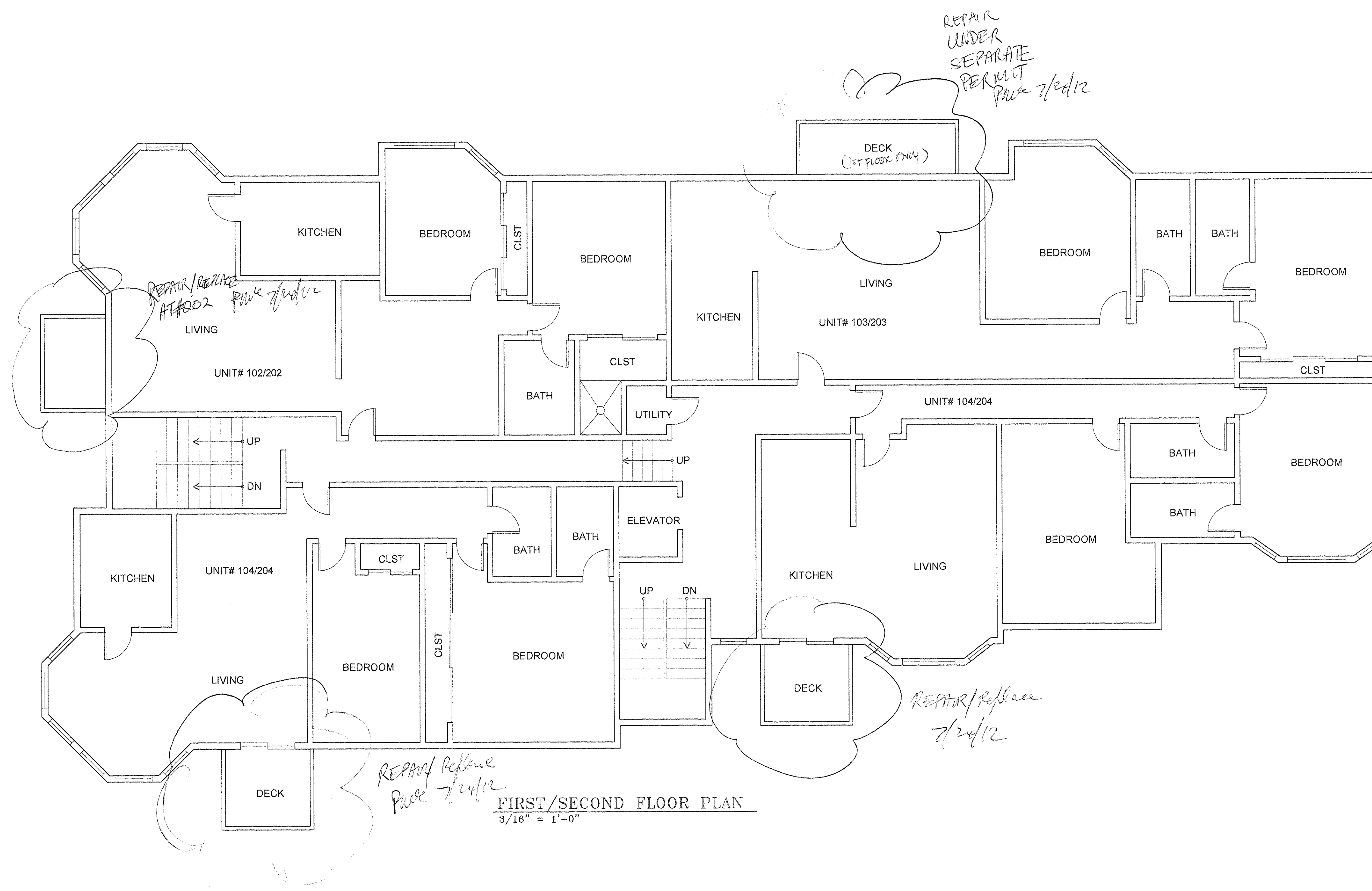


WEST ELEVATION
1/4" = 1'-0"



PARTIAL NORTH ELEVATION
1/4" = 1'-0"

[Signature] 7/24/12
Approved Planning Dept. Kevin Brundson



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DECK REPLACEMENT

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301, #303
SAN FRANCISCO, CA
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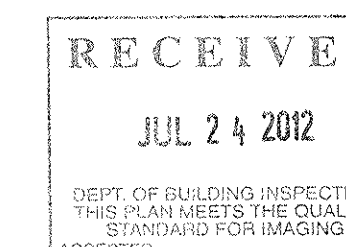
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OWNER
2750 MARKET ASSOCIATION

BUILDING
BUILDING
BIDDING
PLANNING
PLANNING
PLANNING

By
WILLY YAU, DBI
JUL 24 2012



SHEET DESCRIPTION
1ST & 2ND FLOOR
PLANS

A4

[Signature] 7/24/12
Approved Planning Dept. Kevin Brusson