



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 5, 2012**  
 Time: **Beginning at 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variances (Rear Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>290 Collingwood Street</b>	Case No.: <b>2012.1308V</b>
Cross Street(s): <b>19<sup>th</sup> and 20<sup>th</sup> Streets</b>	Building Permit: <b>2012.08.10.7144</b>
Block /Lot No.: <b>2697/013</b>	Applicant/Agent: <b>Jeff Chow</b>
Zoning District(s): <b>RH-3 / 40-X</b>	Telephone: <b>(415) 373.2930</b>
Area Plan: <b>N/A</b>	E-Mail: <b>jeffwai_chow@hotmail.com</b>

### PROJECT DESCRIPTION

The proposal is to construct a one-story vertical addition and a rear horizontal addition. The vertical addition would be set back 15-feet from the front of the building and minimally visible from the street. The rear addition would infill areas at the rear of the building but would not increase its overall depth.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 39 feet. The proposed addition would extend to within approximately 26 feet of the rear property line, encroaching approximately 13 feet into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

**SECTION 188 OF THE PLANNING CODE** prohibits the expansion of a noncomplying structure in a manner that would increase the degree of noncompliance. The rear portion of the existing building extends to within 26 feet of the rear property line, encroaching approximately 13 feet into the required rear yard. Therefore, constructing an addition at this portion of the building as proposed requires a variance from Section 188 of the Planning Code.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Michael Smith** Telephone: **(415) 558-6322** E-Mail: [michael.e.smith@sfgov.org](mailto:michael.e.smith@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1308V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



VICINITY  
MAP  
N.T.S.

**GENERAL NOTES**

1. ALL CONSTRUCTION TO CONFORM TO 2010 CALIFORNIA BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODES AND ALL OTHER STATE, COUNTY, AND CITY ORDINANCE AND REGULATIONS PERTAINING HERETO.
2. CONTRACTOR SHALL EXAMINE AND VERIFY EXISTING CONDITIONS OF THE JOB SITE. ANY DISCREPANCY BETWEEN DRAWINGS AND EXISTING CONDITIONS SHALL BE RECORDED AND REPORTED WITH A SUBMITTAL COPY TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING CONDITION DIMENSIONS PROVIDED BY OWNER AND ARE NOT VERIFIED BY SURVEYOR OR ARCHITECT.
3. DO NOT SCALE THE DRAWINGS.
4. PERFORM EXCAVATION AND FOUNDATION WORK IN CONFORMANCE WITH THE REQUIREMENTS OF THE SOILS REPORTS.
5. ALL DIMENSIONS ARE TO THE FACE OF OF STUD, FACE OF CONCRETE, OR FACE OR FRAMING UNLESS NOTES OTHERWISE.
6. COMPLY WITH CERTIFICATION REQUIREMENTS OF THE CALIFORNIA ENERGY COMMISSION FOR MECHANICAL EQUIPMENT; PLUMBING TRIM AND FITTINGS, WATER HEATERS, FURNACES, AND APPLIANCES.
7. INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, AND APPLIANCES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER AND THE REQUIREMENTS OF ALL APPLICABLE CODES.
8. ALL SITE-CONSTRUCTED DOORS, SKYLIGHTS, AND WINDOWS, INCLUDING BUT NOT LIMITED TO FIELD MANUFACTURED DOORS, SKYLIGHTS, AND WINDOWS SHALL BE CALKED BETWEEN THE DOOR, SKYLIGHTS, OR WINDOW AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED.
9. ALL WOOD, INCLUDING POSTS WITHIN 6" OF GROUND TO BE PRESSURE TREATED, FOR SILL PLATES, SLEEPERS OR BLOCKING IN CONTACT WITH CONCRETE OR MASONRY FOUNDATIONS PER C.B.C. 2306.4
10. VERIFY EXACT LOCATION OF PLUMBING AND PIPING WITH THE PLUMBING SUBCONTRACTOR, BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
11. VERIFY EXACT LOCATION OF MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES, AND VENTS WITH THE MECHANICAL SUBCONTRACTOR.
12. MECHANICAL, HVAC WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
13. ELECTRICAL WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
14. PLUMBING WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
15. THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH THE LIST OF HEATING, COOLING, AND LIGHTING SYSTEMS FEATURES, MATERIALS, COMPONENTS AND DEVICES IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM.
16. AFTER INSTALLING THE WALL AND CEILING INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATED SIGNED BY THE INSTALLER STATING THE INSTALLATION IS CONSISTENT WITH THE PLANS THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME, MATERIAL IDENTIFICATION, AND INSTALLED R-VALUE.
17. THE CENTER OF RECEPTACLES/OUTLETS SHALL BE MOUNTED NOT LESS THAN 15" A.F.F. TYPICAL.
18. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL NOT BE LESS THAN 15" OR MORE THAN 48" A.F.F.
19. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE (X) ARCHITECT OR (X) ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR FILING/RECEIVING OF ALL REQUIRED PERMITS.

**ABBREVIATIONS**

ABV. ABOVE	PERF. PERFORATED
A.D. AREA DRAIN	P.G. PAINT GRADE
ADJ. ADJUSTABLE	P.L. PLATE
A.F.F. ABOVE FINISH FLOOR	PLYWD. PLYWOOD
BD. BOARD	PR. PAIR
BEL. BELOW	PT. POINT
BLK. BLOCK	R. RADIUS
BLKG. BLOCKING	REF. REFRIGERATOR
BM.BEAM	REINF. REINFORCED
B.O. BY OTHERS	R.D. ROOF DRAIN
BOT. BOTTOM	REQ'D. REQUIRED
BSMT. BASEMENT	RESIL. RESILIENT
CAB. CABINET	RET. RETAINING
C.B. CATCH BASIN	RM. ROOM
CEM. CEMENT	R.O. ROUGH OPENING
C.I. CAST IRON	S. SINK
CLG. GELING	SCHED. SCHEDULE
CL.O. CLOSET	SHWR. SHOWER
CLR. CLEAR	SHT. SHEET
CONC. CONCRETE	SHT. SHEATHING
CONT. CONTINUOUS	S.D. SMOKE DETECTOR
CNTR. COUNTER	SIM. SIMILAR
CTR. CENTER	S.Q. SQUARE
D. DRYER	S.L.D. SEE LANDSCAPE DRAWINGS
DBL. DOUBLE	S.S. STAINLESS STEEL
DET. DETAIL	S.S.D. SEE STRUCTURAL DRAWINGS
DIA. DIAMETER	STD. STANDARD
DIM. DIMENSION	STL. STEEL
DISP. DISPOSAL	STR. STORAGE
D.W. DISH WASHER	SYM. SYMMETRICAL
DR. DOOR	T. TREAD
D.S. DOWN SPOUT	TBD. TO BE DESIGNED
DMG. DRAWING	TEL. TELEPHONE
DRWR. DRAWER	T&G TONGUE AND GROOVE
E. OR (E) EXISTING	TYP. TYPICAL
EA. EACH	T.O. TOP OF
EL. ELEVATION	T.O.S. TOP OF SLAB
ELEC. ELECTRICAL	U.O.N. UNLESS OTHERWISE NOTED
EQ. EQUAL	VERT. VERTICAL
EXP. EXPANSION	VEST. VESTIBULE
F. FURNACE	V.I.F. VERIFY IN FIELD
F.D. FLOOR DRAIN	W. WASHER
FDN. FOUNDATION	W/ WITH
FIN. FINISH	W.H. WATER HEATER
F.F.E. FINISH FLOOR ELEVATION	W.C. WATER CLOSET
F.F.C. FINISH CEILING ELEVATION	WD. WOOD
FLR. FLOOR	W.I. WROUGHT IRON
F.O.C. FACE OF CONCRETE	W.I.C. WALK-IN CLOSET
FT. FOOT OR FEET	W/O WITHOUT
FTG. FOOTING	W.O. WHERE OCCURS
FURR. FURRING	WP. WATERPROOF
G.B. GRAB BAR	WT. WEIGHT
GL. GLASS	< ANGLE
GRND. GROUND	@ AT
GRD. GRADE	Ø DIAMETER
GYP. GYPSUM	# POUND OR NUMBER
H.B. HOSE BIB	
HDWD. HARDWOOD	
HORIZ. HORIZONTAL	
HGT. HEIGHT	
I.D. INSIDE DIAMETER	
INSUL. INSULATION	
INT. INTERIOR	
JT. JOINT	
KIT. KITCHEN	
LAM. LAMINATE	
LAV. LAVATORY	
LT. LIGHT	
MAX. MAXIMUM	
M.C. MEDICINE CABINET	
MECH. MECHANICAL	
MIN. MINIMUM	
MIR. MIRROR	
MISC. MISCELLANEOUS	
MTL. METAL	
MDP. MEDIUM DENSITY FIBERBOARD	
N' OR (N) NEW	
N.I.C. NOT IN CONTRACT	
NO. NUMBER	
N.T.S. NOT TO SCALE	
O.C. ON CENTER	
O.D. OUTSIDE DIAMETER	
O.D. OVERFLOW DRAIN	
OPNG. OPENING	
OPP. OPPOSITE	

**VERTICAL ADDITION**  
290 COLLINGWOOD AVENUE  
SAN FRANCISCO, CALIFORNIA  
BLOCK 2697 LOT 013

**DRAWING LEGEND:**

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	WALL WITH R-13 INSULATION

KEY NOTES

**SYMBOLS**

	SECTION NO.
	SHEET NO.
	DETAIL
	SHEET NO.
	KEY NOTES NO.

**PROJECT DATA**

OWNER: PATRICK LIN  
ADDRESS: 290 COLLINGWOOD STREET, SAN FRANCISCO, CA  
LOT: 013 OF BLOCK 2697  
ZONING DISTRICT: RH-3  
OCCUPANCY: R-3  
CONSTRUCTION TYPE: TYPE V NON-RATED  
SPRINKLED: NO  
LOT AREA: 2,750 S.O. FT.

SCOPE OF WORK: REMODEL AND ADDITION TO AN EXISTING SINGLE STORY PLUS-BASEMENT HOUSE, INCLUDING ADDITION OF A NEW SECOND STORY.

FLOOR AREA:	EXISTING	PROPOSED
BASEMENT / GARAGE	605 S.F.	1,209 S.F. (INCLUDES GARAGE)
FIRST FLOOR	1,168 S.F.	1,239 S.F.
SECOND FLOOR	0 S.F.	780 S.F. (EXCLUDES ROOF DECK)
TOTALS	1,773 S.F.	3,228 S.F. (TOTAL 1,485 S.F. ADDED)

ALLOWABLE AREA: 2,750 X 1.8 = 4,950 S.F.  
DIFFERENCE: -1,722 S.F.

1ST & 2ND FLOOR DECKS ARE NOT INCLUDED IN SQUARE FOOTAGE CALCULATION BECAUSE LESS THAN 70% OF THE PERIMETER IS ENCLOSED BY WALLS.

TOTAL PERIMETER IS:	EXISTING	PROPOSED
TOTAL AREA:	0 S.F.	0 S.F.
GARDEN SHED		

**GOVERNING CODES**

CALIFORNIA BUILDING CODE-2010 EDITION  
CALIFORNIA MECHANICAL CODE-2010 EDITION  
CALIFORNIA PLUMBING CODE-2010 EDITION  
CALIFORNIA ELECTRICAL CODE-2010 EDITION  
CALIFORNIA FIRE CODE-2010 EDITION

**SHEET INDEX**

T.1	PROJECT DATA, VICINITY MAP & DRAWING INDEX, DRAWING ABBREVIATIONS, SYMBOLS AND GENERAL NOTES
<b>ARCHITECTURAL</b>	
A1.0	SITE PLANS
A1.1	PHOTOGRAPHS
A2.0	FLOOR PLANS
A2.1	FLOOR PLANS
A2.2	FLOOR PLANS
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.0	SECTIONS
A5.0	DOOR/WINDOW SCHEDULES
A6.0	CONSTRUCTION ASSEMBLY
<b>STRUCTURAL</b>	

APPLICANT:  
**OWNER REPRESENTATIVE**  
**JEFF CHOW**  
 1716 KEHOE AVENUE  
 SAN MATEO, CA 94401  
 (415) 235-6788

**SITE PLANS**

JOB ADDRESS:  
**BUILDING ADDITION**  
 290 COLLINGWOOD STREET  
 SAN FRANCISCO, CALIFORNIA  
 BLOCK 2697 LOT 013

REVISIONS	BY

DATE: 07/19/12  
 SCALE: AS NOTED  
 DRAWN: J.C.  
 JOB: 120629

SHEET  
**A1.0**  
 OF SHEETS

- DRAWING LEGEND:**
-  EXISTING BUILDING FOOTING PRINT (1 STORY OVER GARAGE)
  -  ADDITION AT BASEMENT
  -  ADDITION AT 1ST FLOOR
  -  2ND FLOOR ADDITION

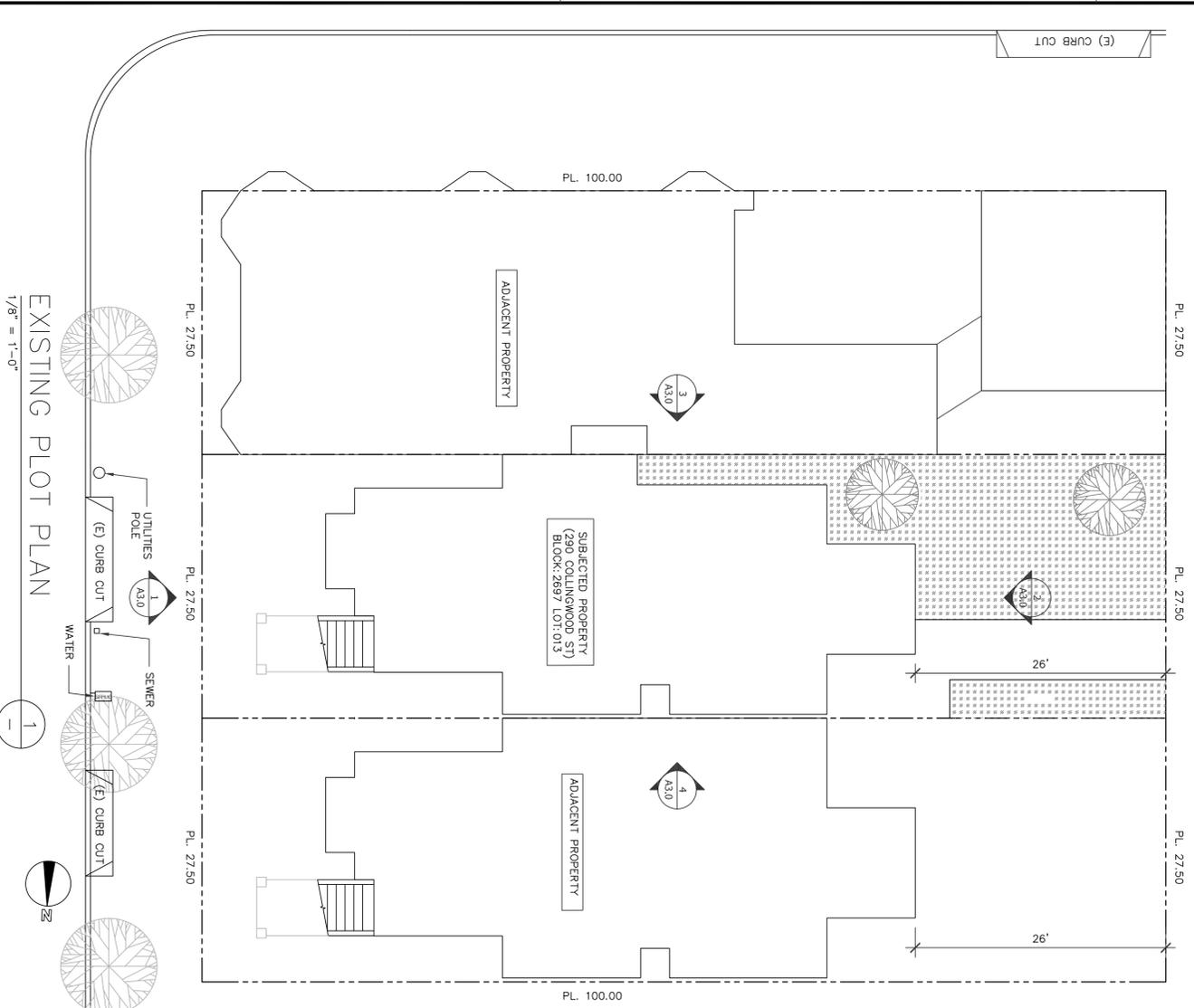
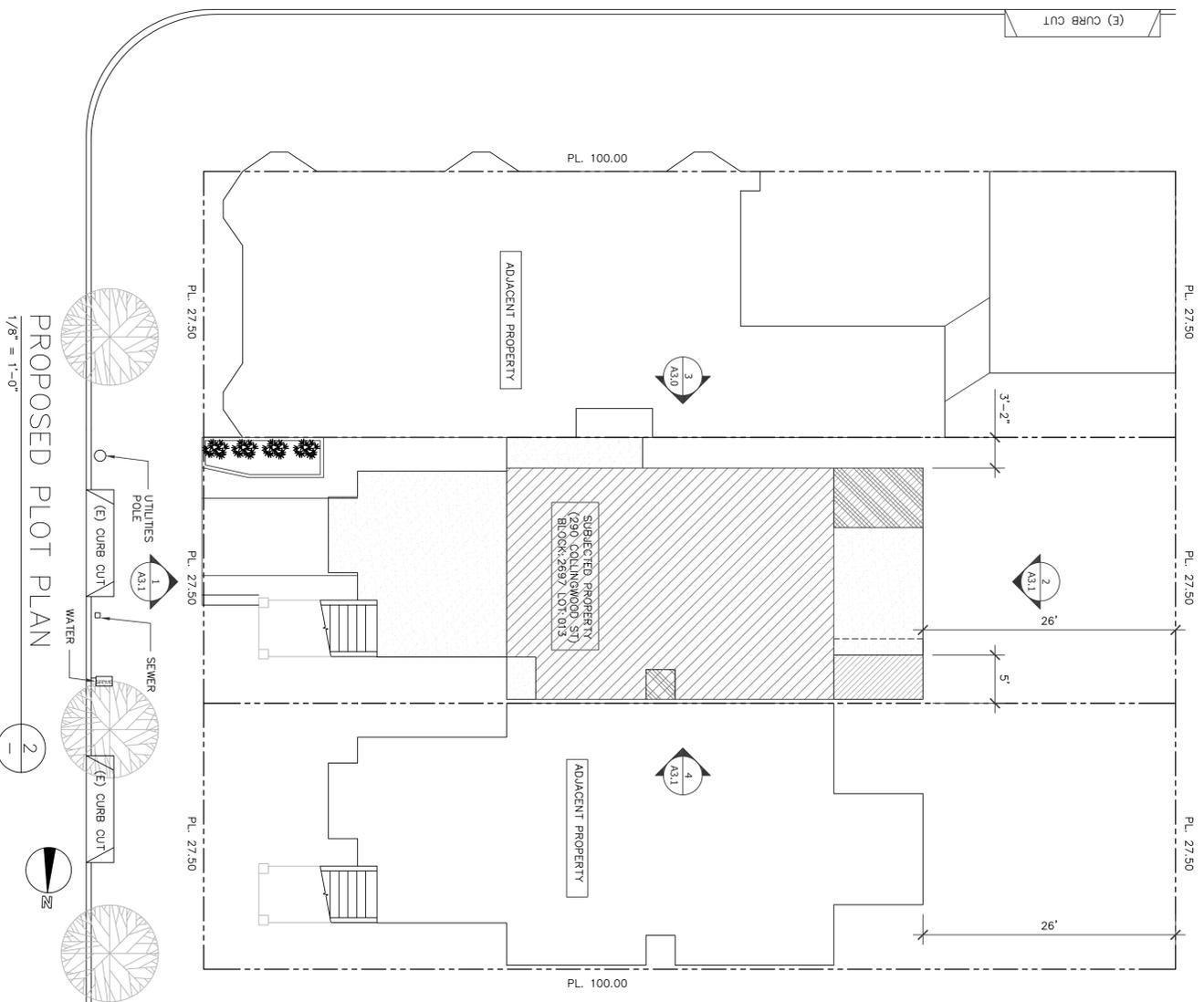




PHOTO #1  
NTS 1



PHOTO #2  
NTS 2



PHOTO #3  
NTS 3



PHOTO #4  
NTS 4



PHOTO #5  
NTS 5



PHOTO #6  
NTS 6



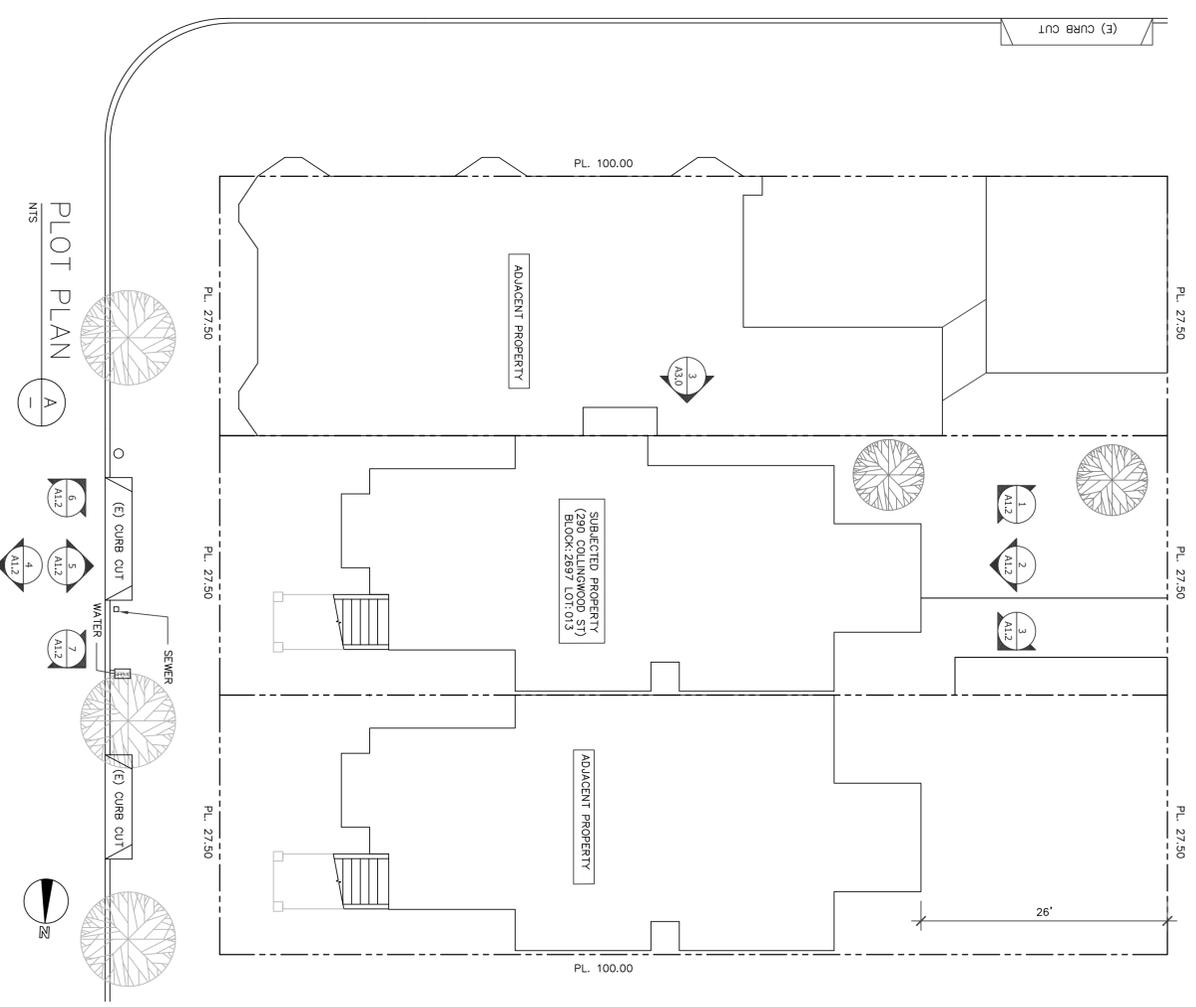
PHOTO #7  
NTS 7



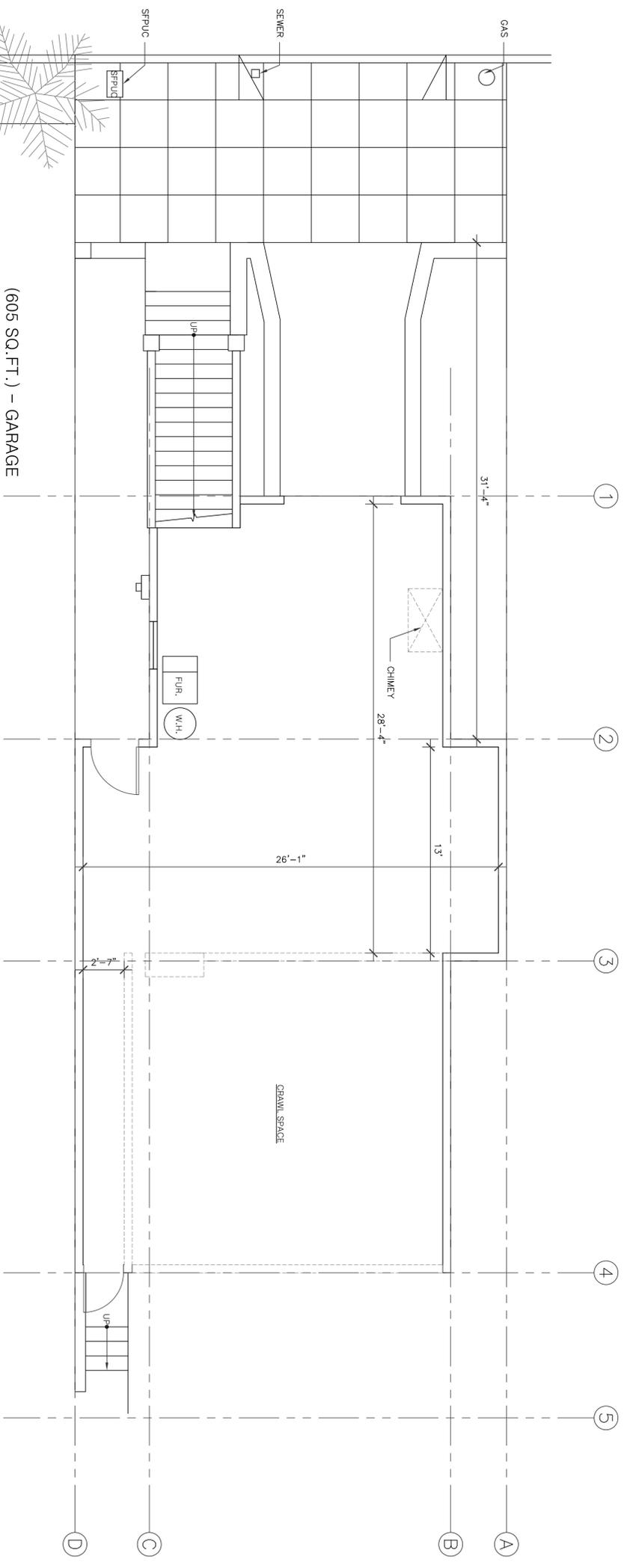
REAR OF PANORAMIC VIEW  
NTS 8



REAR YARD PANORAMIC VIEW  
NTS 9

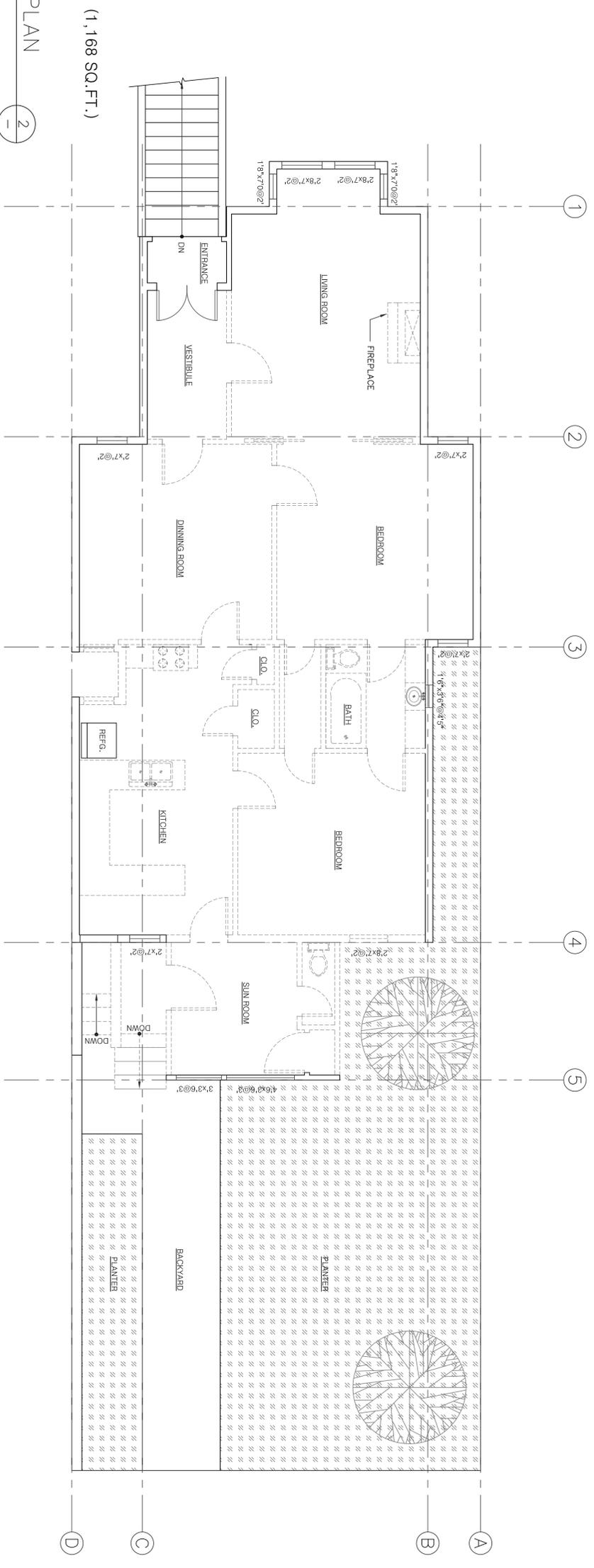


PLOT PLAN  
NTS A



EXISTING GD. FL. PLAN  
1/4" = 1'-0"

(605 SQ. FT.) - GARAGE



EXISTING 1ST FL. PLAN  
1/4" = 1'-0"

(1,168 SQ. FT.)

APPLICANT: OWNER REPRESENTATIVE  
JEFF CHOW  
1716 KEHOE AVENUE  
SAN MATEO, CA 94401  
(415) 235-6788

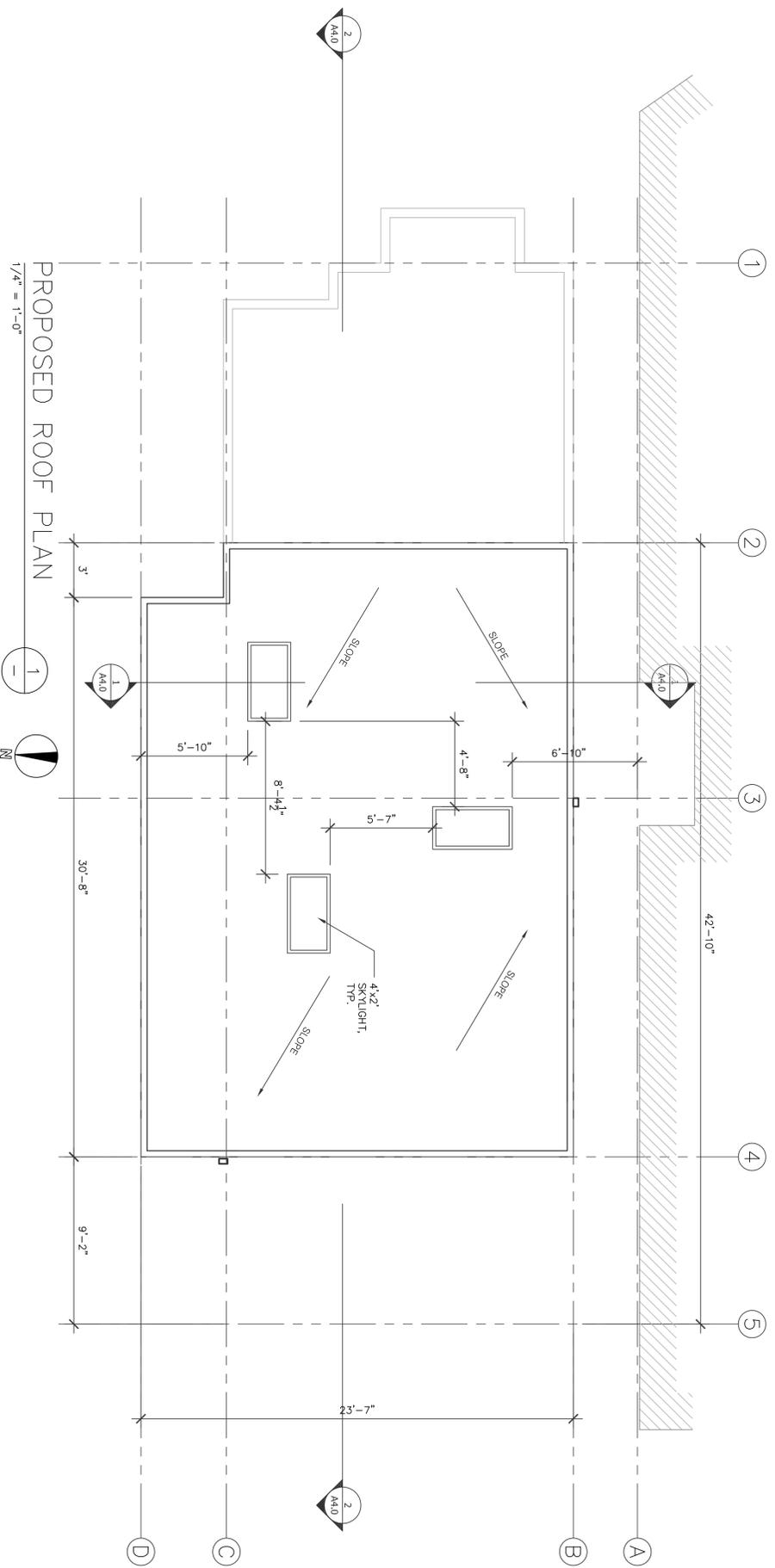
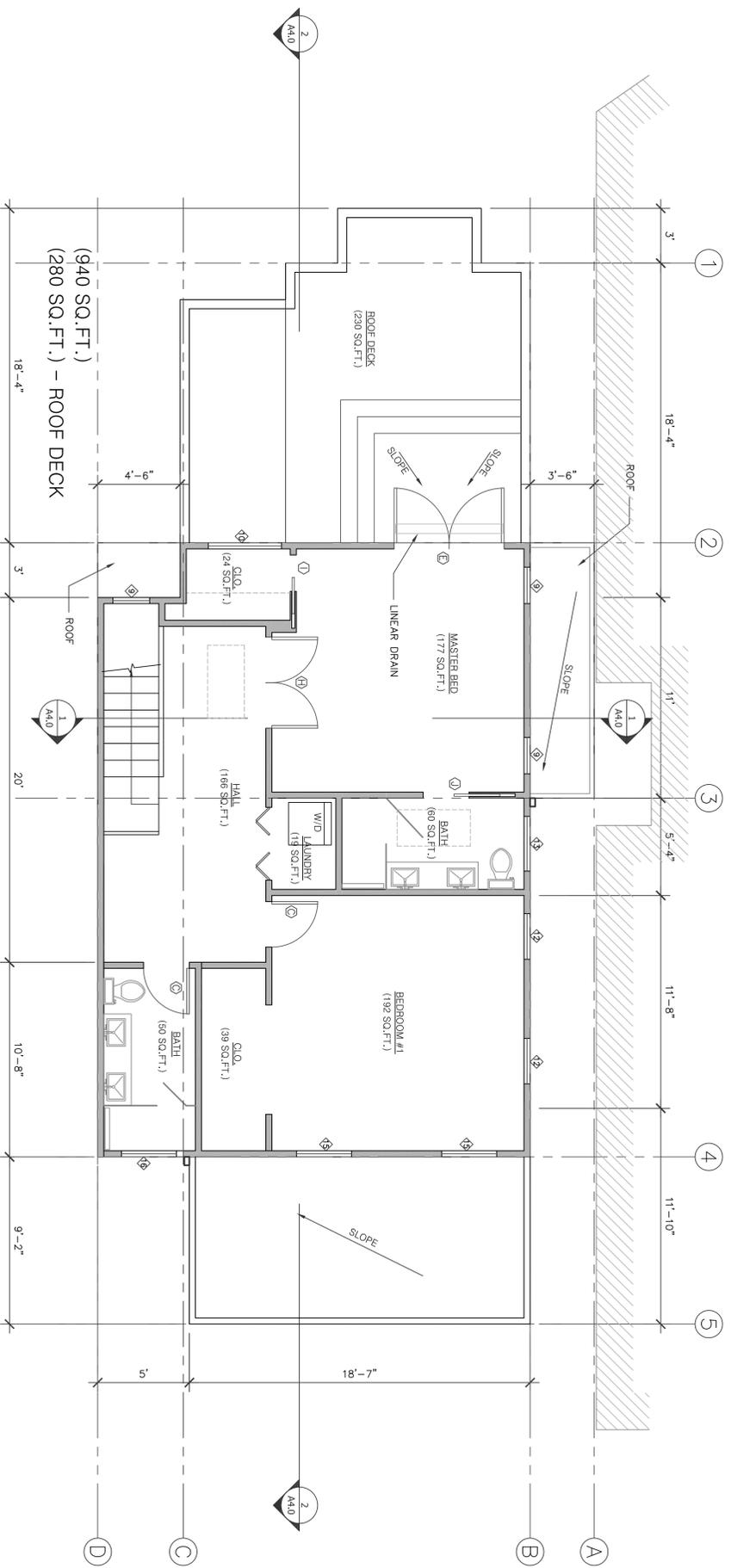
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**FLOOR PLANS**

JOB ADDRESS:  
**BUILDING ADDITION**  
290 COLLINGWOOD STREET  
SAN FRANCISCO, CALIFORNIA  
BLOCK 2697 LOT 013

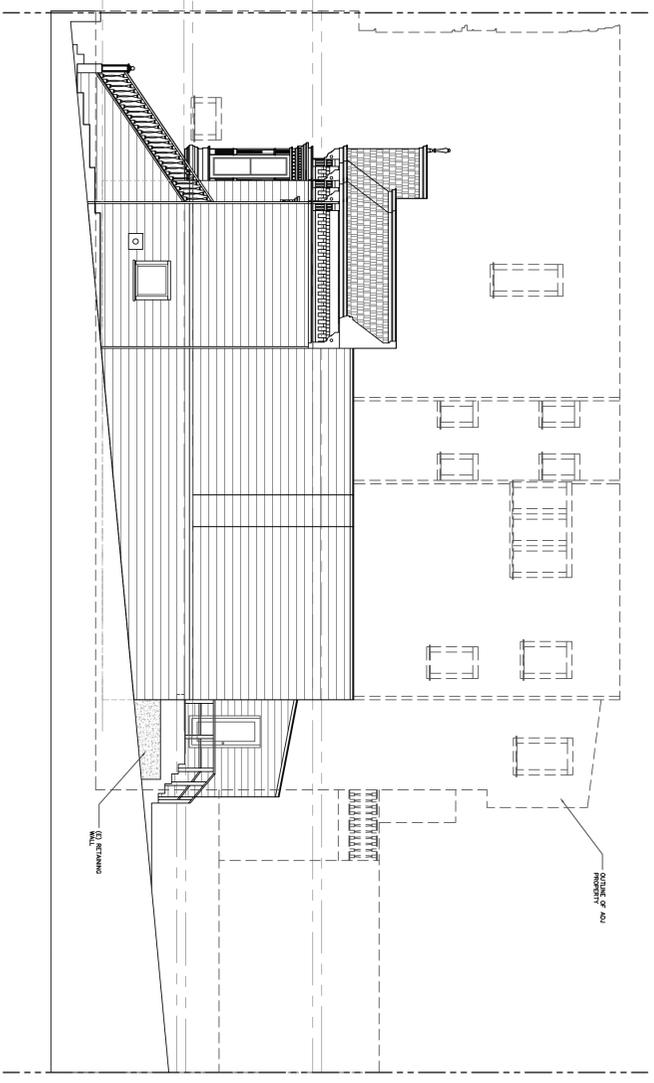
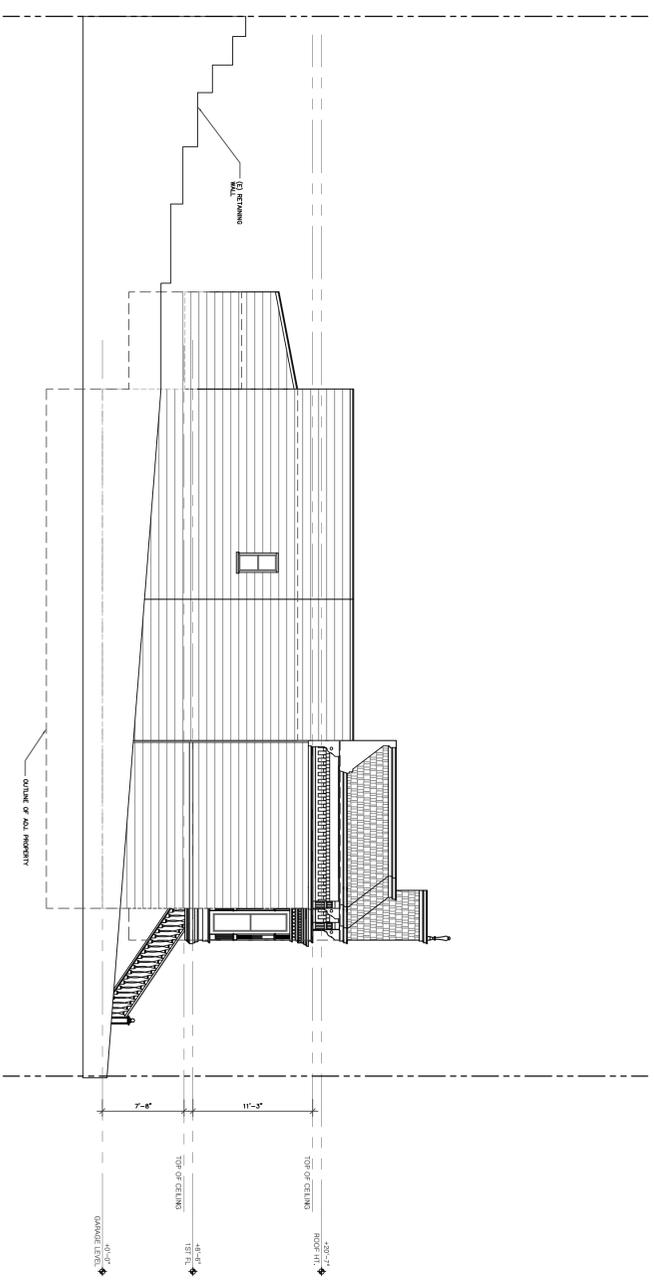
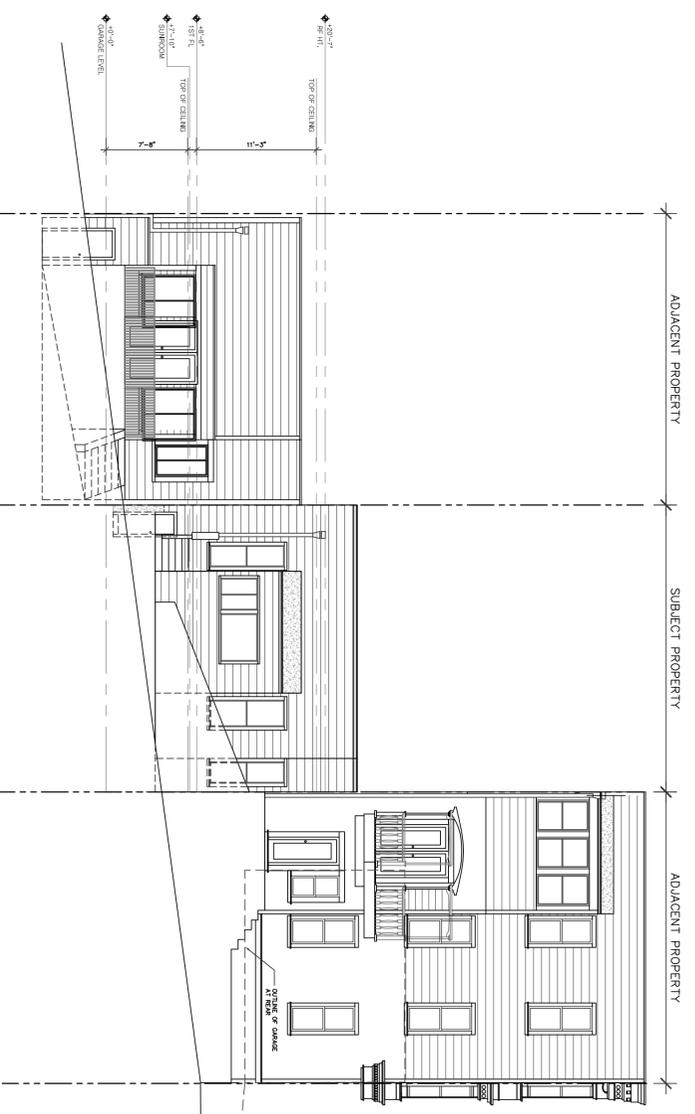
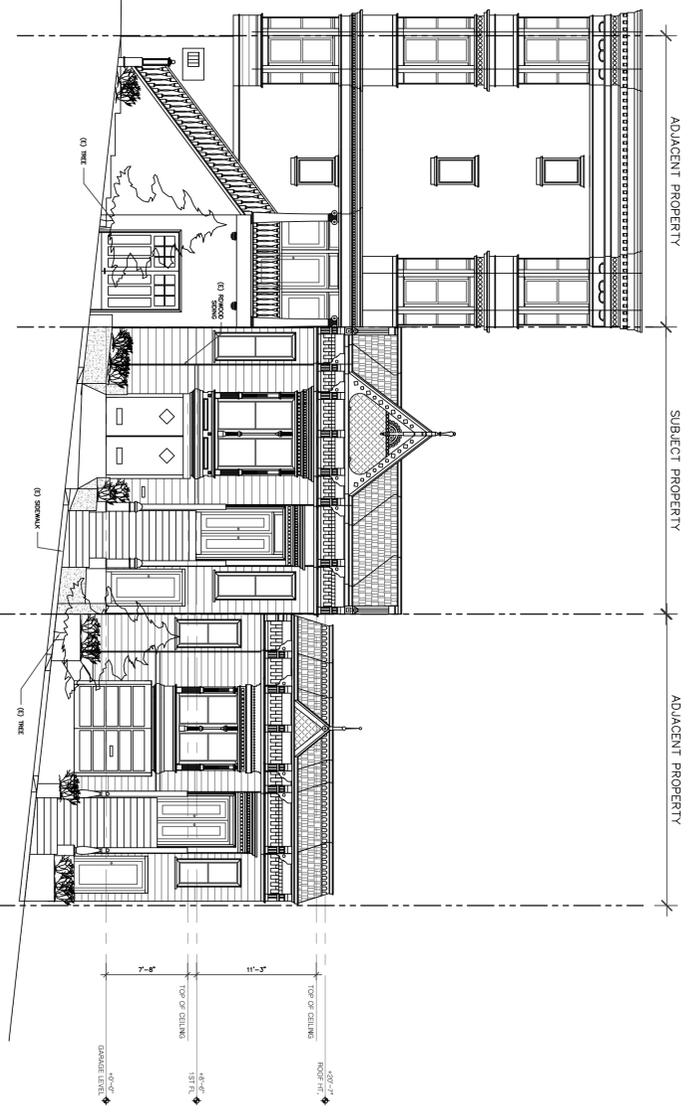
REVISIONS	BY

DATE: 07/19/12  
SCALE: AS NOTED  
DRAWN: J.C.  
JOB: 120629  
SHEET: **A2.0** OF SHEETS





REVISIONS	BY



APPLICANT:  
**OWNER REPRESENTATIVE**  
**JEFF CHOW**  
 1716 KEHOE AVENUE  
 SAN MATEO, CA 94401  
 (415) 235-6788

**ELEVATIONS**

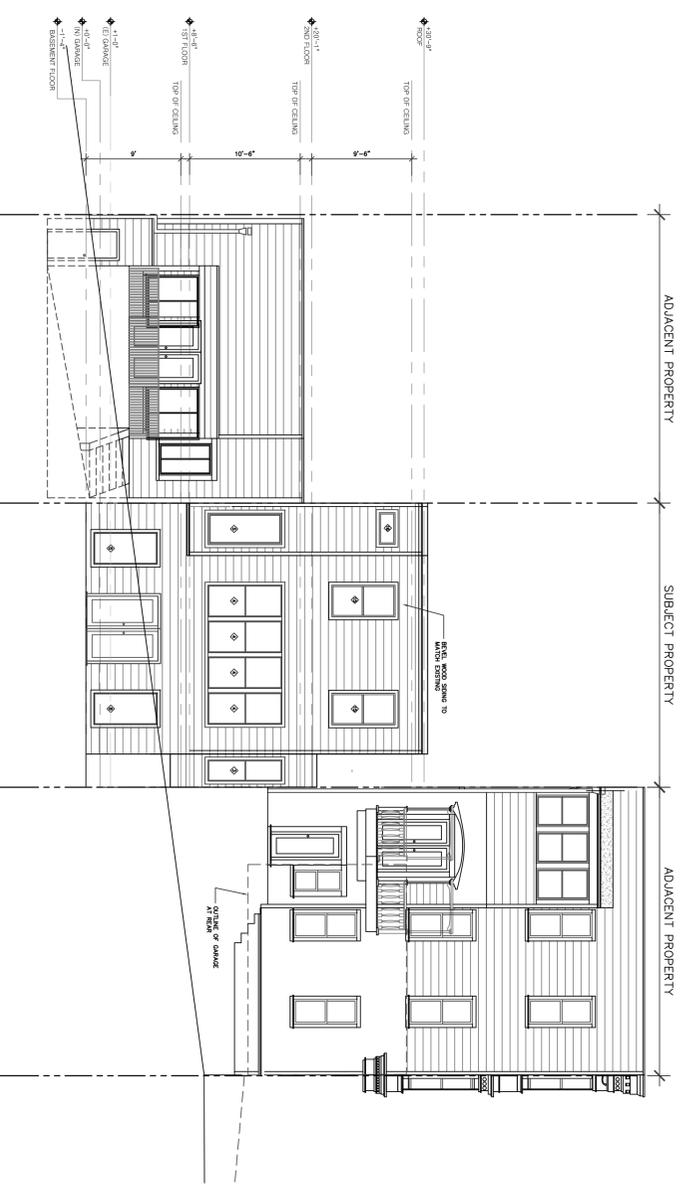
JOB ADDRESS:  
**BUILDING ADDITION**  
 290 COLLINGWOOD STREET  
 SAN FRANCISCO, CALIFORNIA  
 BLOCK 2697 LOT 013

REVISIONS	BY

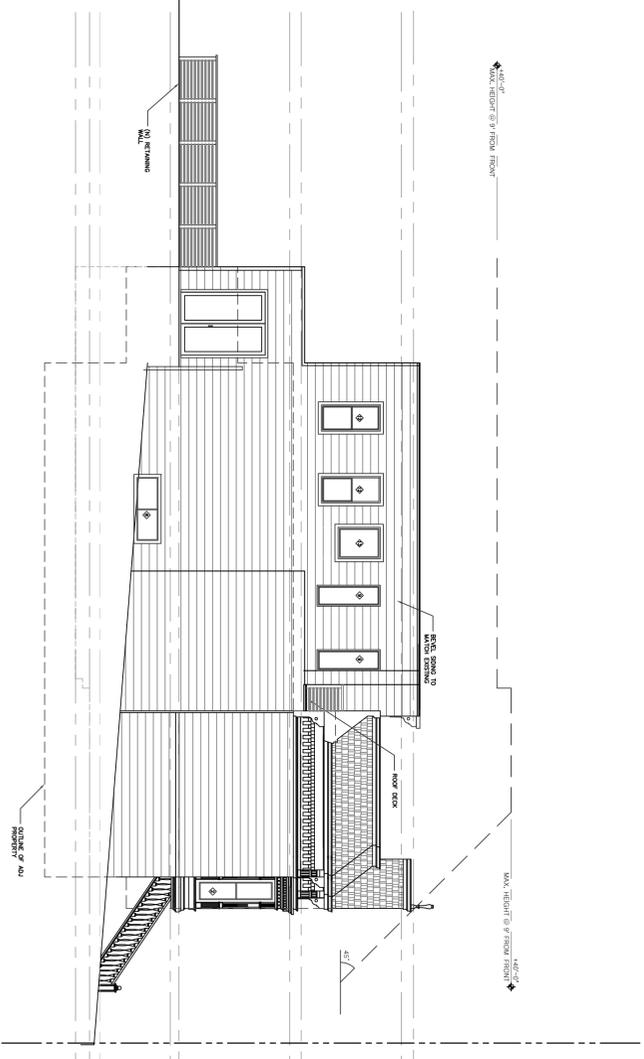
DATE 07/19/12  
 SCALE AS NOTED  
 DRAWN J.C.  
 JOB 120629  
 SHEET



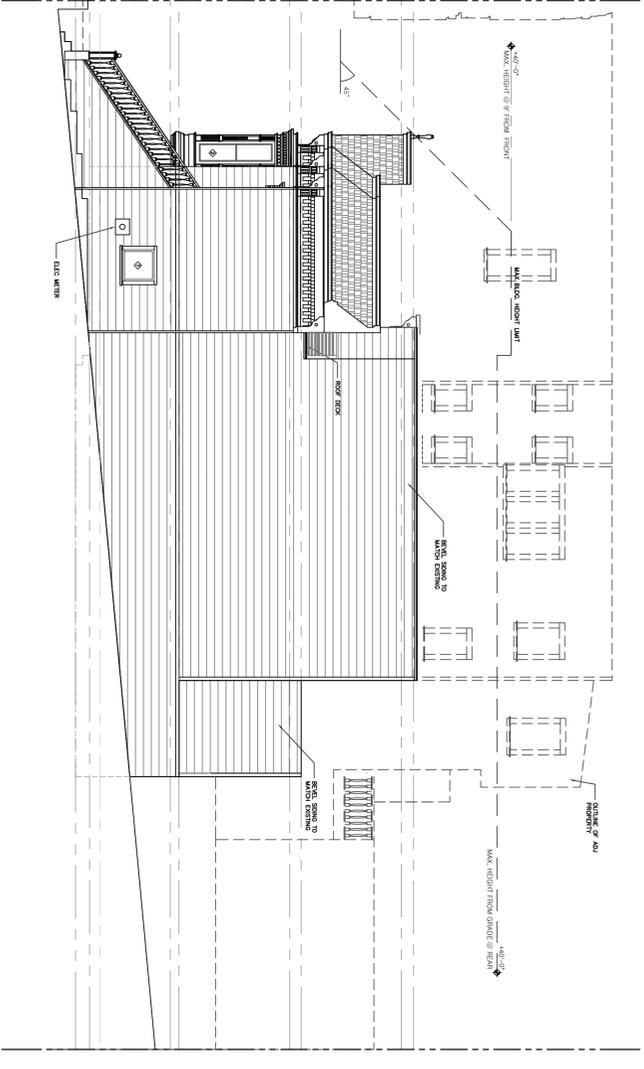
PROPOSED FRONT ELEVATION ①



PROPOSED REAR ELEVATION ②



PROPOSED SIDE ELEVATION (SOUTH) ③



PROPOSED SIDE ELEVATION (NORTH) ④

APPLICANT:  
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 SAN MATEO, CA 94401  
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SHEET TITLE:  
**ELEVATIONS**

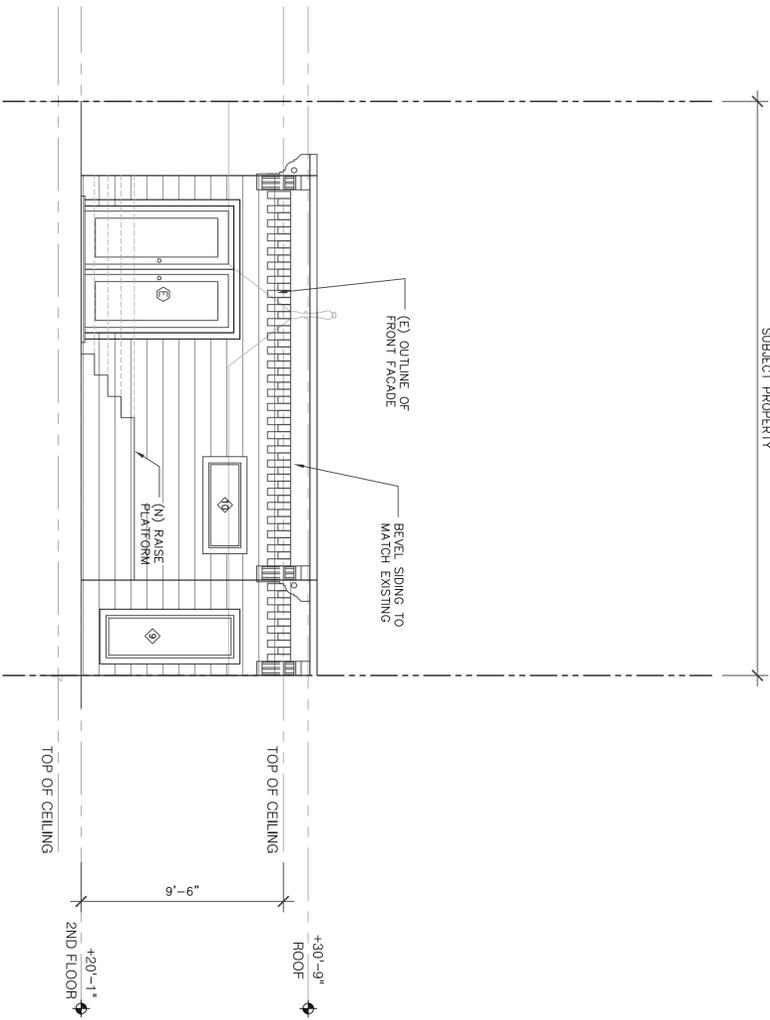
JOB ADDRESS:  
 BUILDING ADDITION  
 290 COLLINGWOOD STREET  
 SAN FRANCISCO, CALIFORNIA  
 BLOCK 2697 LOT 013

REVISIONS	BY

DATE: 07/19/12  
 SCALE: AS NOTED  
 DRAWN: J.C.  
 JOB: 120629  
 SHEET: 12 OF 12

**A3.1**

SUBJECT PROPERTY



PROPOSED FRONT ELEVATION (2ND FL.) 2  
 1/4" = 1'-0"

516 Foster Street  
 San Mateo, CA 94401  
 Tel: (415) 323-2920  
 Email: jeff@jwchow.com



APPLICANT:  
 OWNER REPRESENTATIVE  
 JEFF CHOW  
 1716 KEHOE AVENUE  
 SAN MATEO, CA 94401  
 (415) 235-6788

SHEET TITLE:

ELEVATIONS

JOB ADDRESS:

BUILDING ADDITION

290 COLLINGWOOD STREET  
 SAN FRANCISCO, CALIFORNIA  
 BLOCK 2697 LOT 013

REVISIONS BY

NO.	DATE	BY

DATE 07/19/12

SCALE AS NOTED

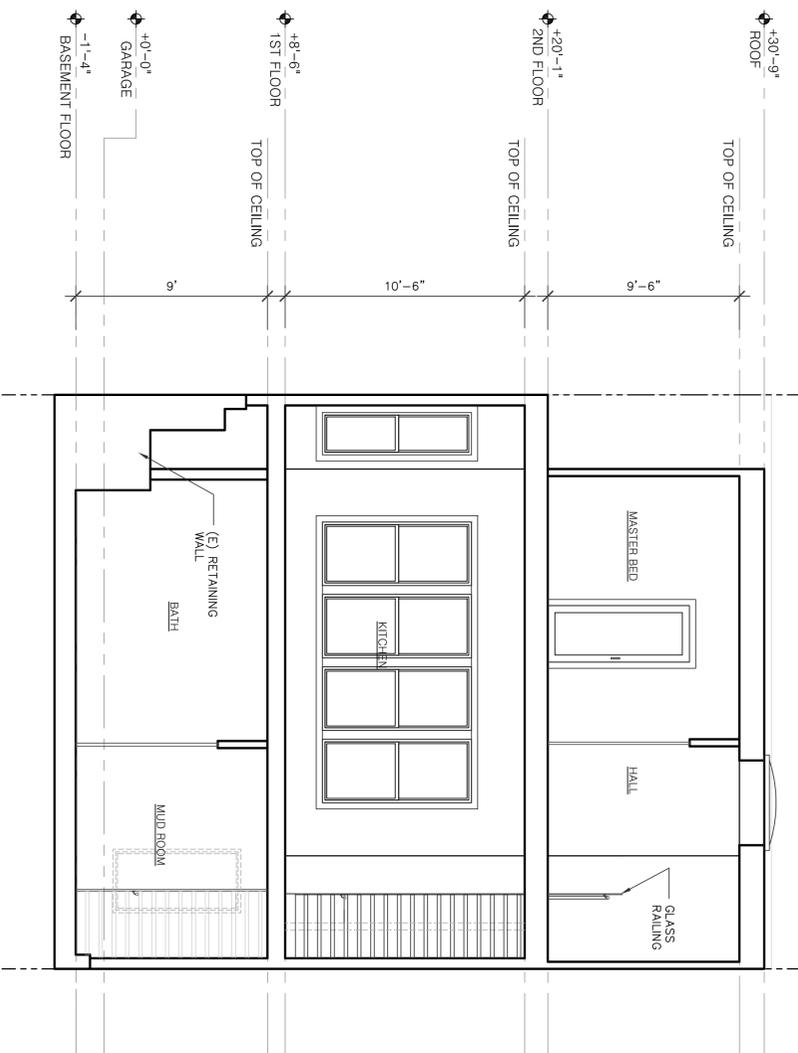
DRAWN J.C.

JOB 120629

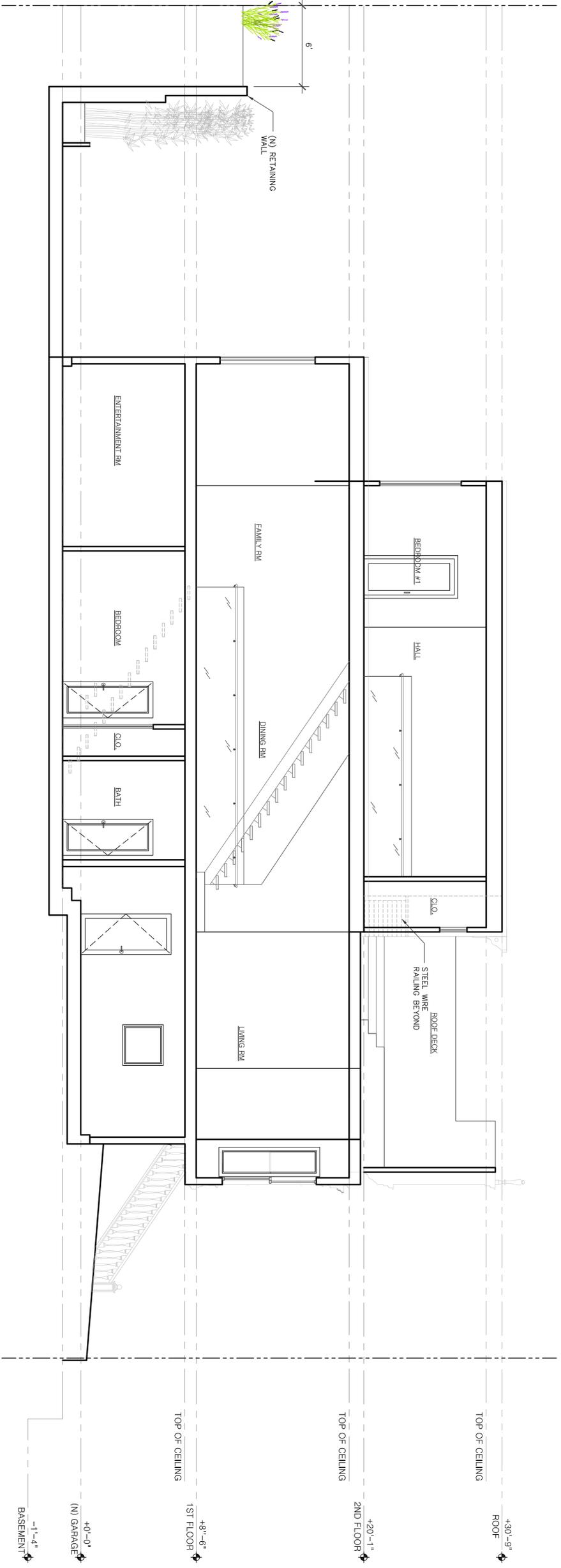
SHEET

A3.2

OF SHEETS



SECTION A-A  
1/4" = 1'-0"



SECTION B-B  
1/4" = 1'-0"



REVISIONS	BY

DATE	07/19/12
SCALE	AS NOTED
DRAWN	J.C.
JOB	120629
SHEET	

**SCHEDULES**

SHEET TITLE:

JOB ADDRESS:  
  
BUILDING ADDITION  
  
290 COLLINGWOOD STREET  
SAN FRANCISCO, CALIFORNIA  
BLOCK 2697 LOT 013

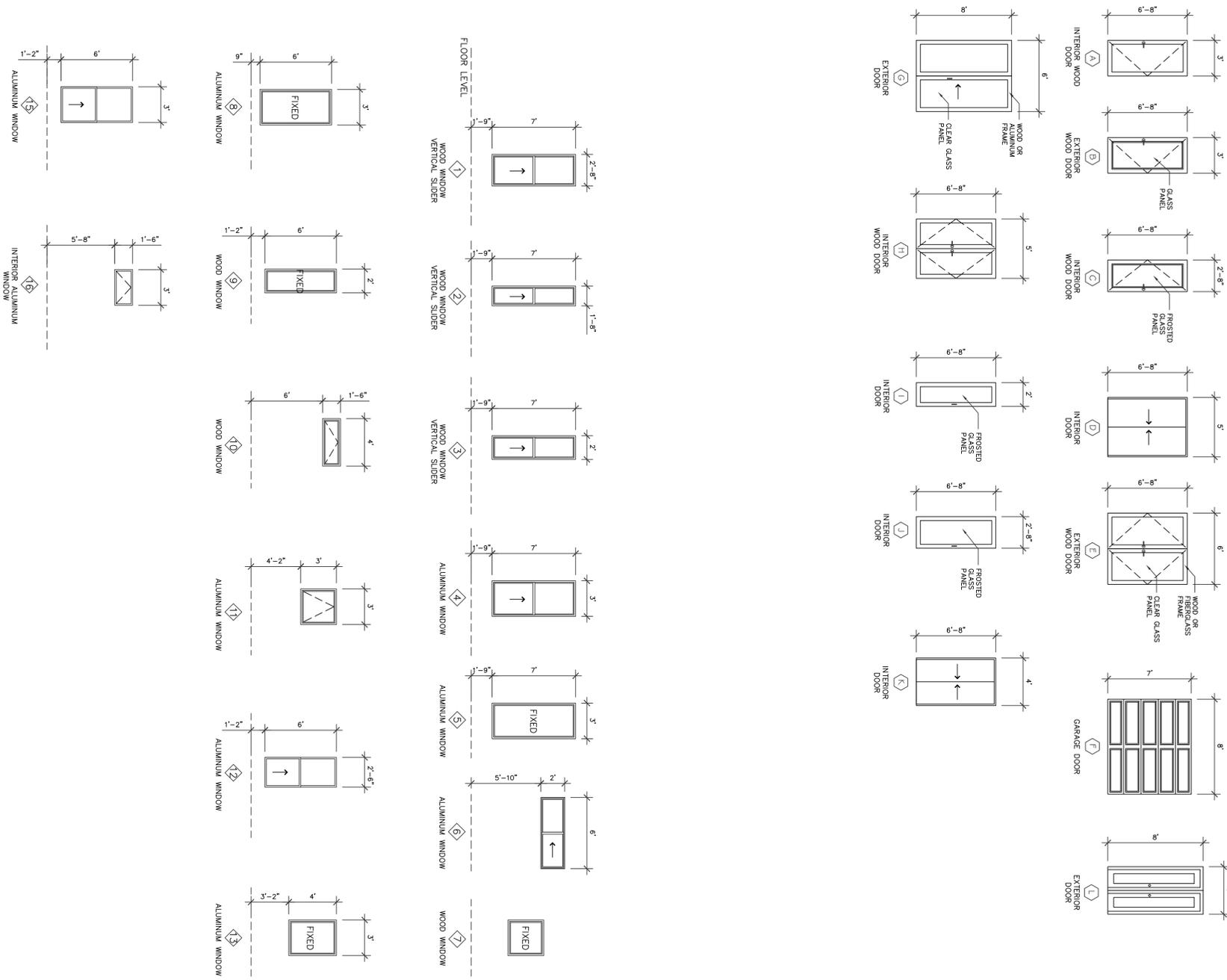
REVISIONS	BY

DATE	07/19/12
SCALE	AS NOTED
DRAWN	J.C.
JOB	120629
SHEET	

**A5.0**  
OF SHEETS

NO	LOCATION	SIZE	FRAME	RATING	FACE	HARDWARE	FRAME FINISH	DR FINISH	REMARKS
FLOOR									
1	GD WUD ROOM - EXT	B 36" X 80"	ALUMINIUM	●	WOOD	●	●	●	GARAGE SIDE DOOR
2	GARAGE - INTER	A 36" X 80"	WOOD	●	WOOD W/ VISION PANEL	●	●	●	CLOSET DOOR
3	BATHROOM - INTER	C 32" X 80"	METAL	●	METAL W/ VISION PANEL	●	●	●	FIBERGLASS DOOR ACCEPTABLE
4	G.BEDROOM - INTER	C 32" X 80"	●	●	WOOD / GLASS PANEL	●	●	●	PROVIDE MIN. 200 SQ.IN. VENT
5	BEDROOM - INTER	D 36" X 80"	●	●	METAL	●	●	●	
6	BEDROOM CLO - INTER	E 60" X 80"	●	●	METAL	●	●	●	
7	ENTERTAINMENT RM - EXT	F 96" X 80"	●	●	PANIC	●	●	●	
8	ENTRY - EXT	L 36" X 96"	●	●	WEATHERSTRIPPING	●	●	●	
9	FAMILY ROOM - EXT	G 60" X 96"	●	●	THRESHOLD	●	●	●	
10	2ND MASTER BED - EXT	E 60" X 80"	●	●	CLOSER	●	●	●	
11	CLOSET - INTER	I 24" X 80"	●	●	SIGNAGE	●	●	●	
12	MASTER BED - INT	H 60" X 80"	●	●	LOCKSET	●	●	●	
13	MASTER BATH - INT	H 60" X 80"	●	●	SMOKE & DRAFT CONTROL ASSEMBLY	●	●	●	
14	LAUNDRY RM - INT	J 32" X 80"	●	●	PUSH PLATE, PULL HANDLE	●	●	●	
15	BATHROOM - INT	J 32" X 80"	●	●	ANODIZED	●	●	●	
16	BEDROOM #1 - INT	C 32" X 80"	●	●	PAINT	●	●	●	
17	BEDROOM #2 - INT	C 32" X 80"	●	●	STAINED	●	●	●	
18	BEDRM #1 CLOSET - INT	J 32" X 80"	●	●	ANODIZED / BAKED ENAMEL	●	●	●	
19	BEDRM #2 CLOSET - INT	K 48" X 80"	●	●	PAINT	●	●	●	

- THRESHOLD AT DOORWAYS SHALL NOT EXCEED 0.75 INCH IN HEIGHT FOR SLIDING DOORS, STRUING DWELLING LIGHTS OR 0.5 INCH FOR OTHER DOORS.
- THRESHOLD HEIGHT SHALL BE LIMITED TO 7.75 INCHES RESIDENTIAL WITH THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS; THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING OR STEP.
- ALL EXTERIOR DOOR TO BE INSTALLED WITH WOOD TRIM, U.O.N



	<p>1 TYP. FL. ASSEMBLY</p>	<p>2 TYP. FL. ASSEMBLY @ CONC.</p>	<p>4 EXTERIOR DETAIL</p>
<p>DETAIL</p>	<p>6 DETAIL</p>	<p>7 DETAIL</p>	<p>8 DETAIL</p>
<p>9 DETAIL</p>	<p>10 DETAIL</p>	<p>11 TYP. BATHROOM FIXTURE HT.</p>	<p>12 DETAIL</p>