



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 04, 2013**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 4089 19Th Street	Case No.: 2012.1279V
Cross Street(s): Castro St	Building Permit: 201209129513
Block / Lot No.: 3602/077	Applicant/Agent: Eduard Llora
Zoning District(s): RH-3 / 40-X	Telephone: 415-821-0118
Area Plan: N/A	E-Mail:

PROJECT DESCRIPTION

The subject property contains a non-complying two-story, single-family building at the rear of the lot (4089 19th Street). Additionally, the property contains a three-story, two-family building (605-607 Castro Street) at the front of the lot facing Castro Street. The project involves the following work to the rear building at 4089 19th Street: Interior alterations, adding a roof deck with guardrails above an existing 1st story roof, and "filling-in" the open space underneath an existing cantilevered room at the 2nd floor. The project does not involve any work to the building at 605-607 Castro Street.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 20 feet 9 inches between two buildings that are built on opposite ends of the lot. The proposed "fill-in" located underneath the cantilevered room at the 2nd floor encroaches approximately 1 foot into the required rear yard, and thus requires a variance from the rear yard requirement.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **415-575-9079** Mail: adrian.putra@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1279V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On October 1, 2013, the Department issued the required Section 311 notification for this project (expires October 31, 2013).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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RESIDENTIAL REMODEL 4089 CASTRO STREET

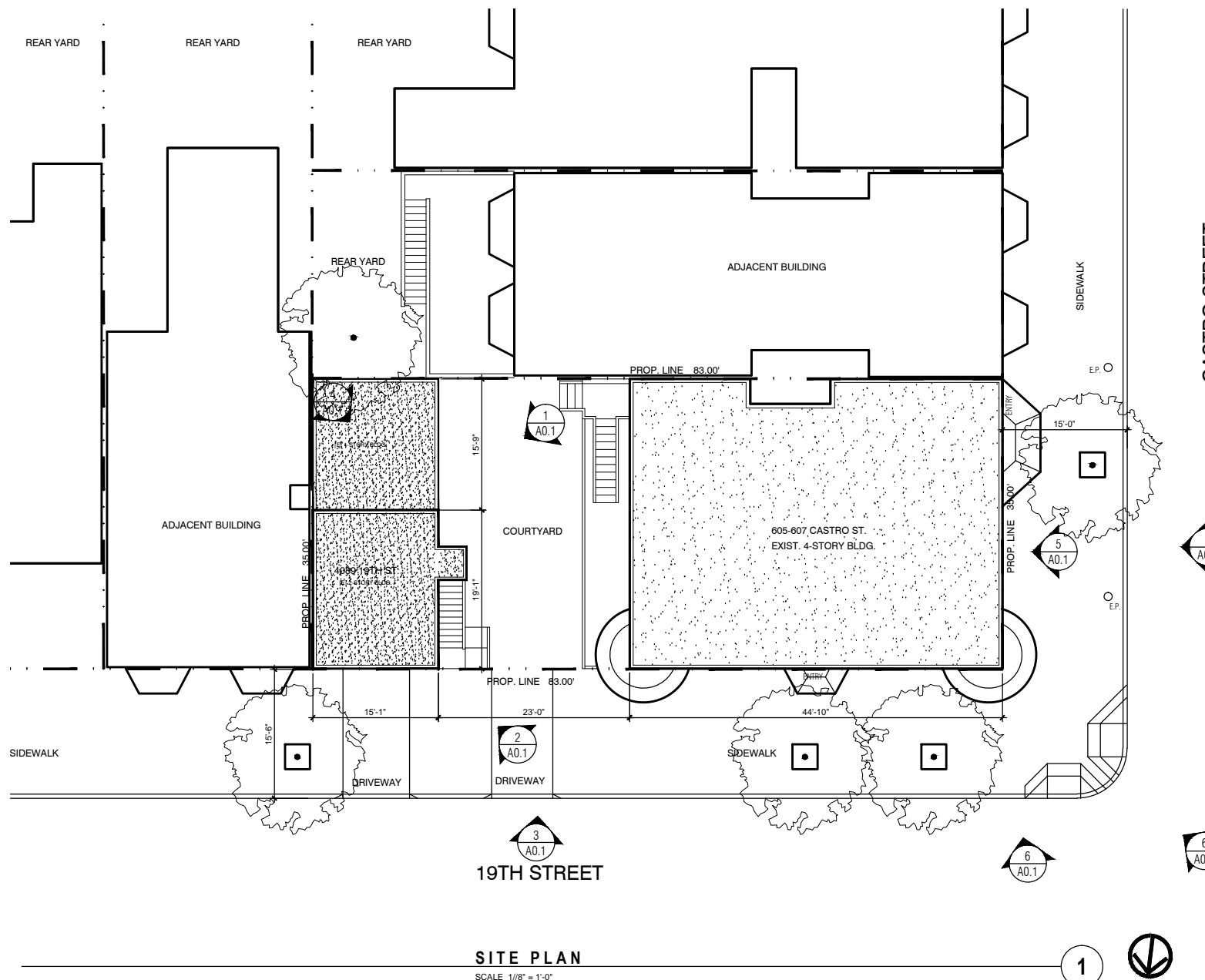
VICINITY MAP / SITE PLAN

ABBREVIATIONS

A.B.	ANCHOR BOLT	F.O.M.	FACE OF MASONRY	P.T.	PRESSURE TREATED
A.C.	AIR CONDITIONING	FRFRF	FIRE PROOF	P.T.D.	PAPER TOWEL DISPENSER
A.D.	ABLE DIMENSION	FT.	FOOT OR FEET	R.D.	ROOF DRAIN
ACQUST	ACOUSTICAL	FTG.	FOOTING	R.	RISER
ADJ.	ADJUSTABLE	FURR.	FURRING	RAD.	RADIUS
AGGR.	AGGREGATE	FUT.	FUTURE	RND.	ROUND
AL.	ALUMINUM	GA.	GAUGE	REF.	REFERENCE
APPROX.	APPROXIMATE	GALV.	GALVANIZED	REFRG.	REFRIGERATOR
ARCH.	ARCHITECT	GL.	GLASS	RENF.	REINFORCED
ASPH.	ASPHALT	GRD.	GROUND	(R)	REMOVE
BD.	BOARD	GR.	GRADE	(REL)	RELOCATE
BLDG.	BUILDING	G.S.M.	GALV. SHEET METAL	REQ.	REQUIRED
BLK.	BLOCK	GYP.	GYP-SUM	RESIL.	RESILIENT
BOTT.	BOTTOM	H.B.	HOSE BIB	REV.	REVISION
B.U.	BUL-T-UP	H.D.	HEAD	R.O.	ROUGH OPENING
CB.	CABINET	HDR.	HEADER	R.B.	RUBBER BASE
CTR.	CENTER	HDWD.	HARDWOOD	ROWD.	REDWOOD
CER.	CERAMIC	H.M.	HOLLOW METAL	R.W.L.	RAIN WATER LEADER
C.T.	CERAMIC TILE	H.P.	HIGH POINT	S.	SOUTH
C.G.	CEILING	HORIZ.	HORIZONTAL	SCHD.	SCHEDULE
CLK.	CALLK	H.R.	HANDRAIL	S.D.	STORM DRAIN
CLR.	CLEAR	HT.	HEIGHT	SECT.	SECTION
CNTR.	COUNTER	HVAC	HEAT, VENTILATION	SH. MTL.	SHEET METAL
COL.	COLUMN	I.D.	INSIDE DIAMETER	SHG.	SHEATHING
CONC.	CONCRETE	INSUL.	INSULATION	SM.	SIMILAR
CONN.	CONNECTION	INT.	INTERIOR	SL.	SLIDING
CONSTR.	CONSTRUCTION	INTERM.	INTERMEDIATE	SPEC.	SPECIFICATION
CONT.	CONTINUOUS	JAN.	JANITOR	SQ.	SQUARE
CORR.	CORRIDOR	JST	JOIST	S.S.	STAINLESS STEEL
CPT.	CARPET	JNT.	JOINT	STD.	STANDARD
CMU	CONC. MASONRY UNIT	KIT.	KITCHEN	STL.	STEEL
CTRSK.	COUNTERSINK	L.S.	LANDSCAPING	STR.	STRUCTURAL
DEPT.	DEPARTMENT	LAV.	LAVATORY	SUSP.	SUSPENDED
D.F.	DRINKING FOUNTAIN	LT	LIGHT FIXTURE	SYM	SYMMETRICAL
DIA.	DIAMETER	OR DOWELBAR	OR DOWELBAR	(T)	TEMPERED
D.P.	DOUBLE PANE	L.P.	LOW POINT	T.	TUKE/TREAD/TOP
DR.	DOOR	M.B.	MACHINE BOLT	T.C.	TOP OF CURB
D.O.	DITTO	MECH.	MECHANICAL	TEL.	TELEPHONE
D.S.	DOWNSPOUT	MEMB.	MEMBRANE	TEMP.	TEMPERED
DN.	DOWN	MFR.	MANUFACTURER	TAG	TONGUES GROOVE
(E)	EXISTING	M.H.	MANHOLE	T.S.	TUBE STEEL
EA.	EACH	M.N.	MINIMUM	T.P.	TOP OF PAVEMENT
E.J.	EXPANSION JOINT	M.O.	MASONRY OPENING	T.W.	TOP OF WALL
EL.	ELEVATION	M.R.	MOISTURE RESISTANT	TYP.	TYPICAL
ELECT	ELECTRICAL	MUL.	MULLION	UNF.	UNFINISHED
ELWH.	ELECTRIC WATER HEATER	(N)	NEW	U.O.N.	UNLESS OTHERWISE NOTED
ELEV.	ELEVATOR	N	NORTH	V	VINYL
EMER.	EMERGENCY	N.I.C.	NOT IN CONTRACT	V.I.F.	VERIFY IN FIELD
ENCL.	ENCLOSURE	NO.	NUMBER	V.C.T.	VINYL COMPOSITION TILE
ENG.	ENGINEER	NOM.	NOMINAL	VERT.	VERTICAL
E.P.B.	ELECTRIC PANEL BOARD	N.T.S.	NOT TO SCALE	VEST.	VESTIBULE
EQ.	EQUAL	N.A.	NOT APPLICABLE	V.G.D.F.	VERTICAL GRAN DOUGLAS FR
EXT.	EXTERIOR	O.A.	OVERALL	V.V.C.	VINYL WALL COVERING
E.F.	EXHAUST FAN	O.C.	ON-CENTER	W	WEST OR WATER
ES	EACH SIDE	O.D.	OUTSIDE DIAMETER	W.F.	WOOD FRAME
F	FLOOR	OFF.	OFFICE	W.B.	WOOD BASE
F.D.	FLOOR DRAIN	OPNG.	OPENING	W.C.	WATER CLOSET
FDN.	FOUNDATION	OPP.	OPPOSITE	W.D.W.	WINDOW
F.E.	FIRE EXTINGUISHER	O.P.P.	OPPOSITE HAND	W.O.	WITHOUT
F.E.C.	F.E. CABINET	O.D.R.	OVERFLOW DRAIN	W.T.	WEIGHT
F.F.	FINISH FLOOR	P.LAM	PLASTIC LAMINATE	W.W.F.	WELDED WIRE FABRIC
F.F.W.S.	FLAT HEAD WD. SCREW	PLYWD.	PLYWOOD	W.R.	WATER RESISTANT
F.O.F.	FACE OF FINISH	PAR	PAR		
F.O.S.	FACE OF STUD OR SHEATHING				

GENERAL NOTES

- All details, materials, finishes and assemblies are not necessarily shown. These final finish details including casework and material selections will be worked out by the Owner and Designers during the construction phase.
- All construction shall be in accordance with the Uniform Building Code, applicable edition, and all other pertinent codes, laws, and requirements of the local building officials, whether or not specifically shown on these documents. These documents are not intended to show every detail or condition. Contact the Designer if existing conditions or other circumstances require changes in the work shown, or require clarification or further detailing. All work shall be done in a workmanlike manner, according to the prevailing standards of the industry for each trade.
- The Contractor shall provide all labor, materials, equipment, supervision, and clean-up to accomplish all of the work shown, to provide a complete working installation.
- Contractor shall assume complete and sole responsibility for means and methods of construction, and for all safety measures to protect all property, personnel and third parties from damage or injury. This responsibility shall be continuous and not solely during working hours. Contractor shall defend, indemnify and hold harmless the Designer, and Engineers from any claims of liability, real or alleged, in connection with the performance of his work on this project, excepting for liability arising from the sole negligence of the Designer, or Engineers.
- These documents do not contain provisions for the handling or removal of asbestos or any other hazardous materials. Should any hazardous materials be suspected or encountered, specialists should be called in to investigate and make recommendations.
- Provide all mandatory features required by the T-24 energy code, including weather-stripping, building insulation, pipe insulation, lighting and appliance measures, and other features required by Title 24 or other State, Federal or local codes.
- The scope of work desired by the owner and the work shown on these plans are not intended to upgrade the rest of the structure to today's seismic or other building codes. Only those items changed are designed to meet today's applicable codes.



SITE PLAN
SCALE 1/8" = 1'-0"

PROJECT DIRECTORY

OWNER:
MARK MEINERS
250 EAST HOUSTON STREET
NO. 10-D, NEW YORK, NY 10009
PHONE (917) 957-2039
EMAIL mark704@mac.com

OWNER REPRESENTATIVE:
STEPHANIE GORDON
198 MISSISSIPPI STREET
SAN FRANCISCO, CA 94107
PHONE: (415) 554-8812
EMAIL: stephanie@gpmsf.com

DESIGNER:
DISSENY LLORA
660 DE HARO STREET
SAN FRANCISCO, CA 94107
PHONE/FACS (415) 821.0118
EMAIL: ellarq@sbcglobal.net

TITLE 24 ENERGY:
JOE ACOSTA
MHC ENGINEERS INC.
150 8TH STREET
SAN FRANCISCO, CA
PHONE: (415) 512-7141
EMAIL: mh@mhcngr.com

STRUCTURAL ENGINEER:
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DOUBLE D ENGINEERING
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ellarq@sbcglobal.net
phone: (415) 821.0118

NO.	DATE	COMMENTS
08.20.2012		PERMIT
08.22.2013		ENVIRON. REVIEW

RESIDENTIAL REMODEL
 4089 19TH STREET, SAN FRANCISCO, CA
OWNER: MARK MEINERS
 GORDON PROPERTY MANAGEMENT

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 - A1.0 EXIST/DEMO GROUND FLOOR PLAN
 - A1.0 EXIST/DEMO SECOND FLOOR PLAN
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 - A1.1 SECOND FLOOR PLAN
 - A1.1 ROOF PLAN
 - A1.2 2ND FLR. REFLECTED CEILING PLAN
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 - S4 STRUCTURAL DETAILS

APPLICABLE CODES

- 2010 CALIFORNIA BUILDING CODE
- 2010 CALIFORNIA MECHANICAL CODE
- 2010 CALIFORNIA ELECTRICAL CODE
- 2010 CALIFORNIA PLUMBING CODE
- 2010 TITLE 24-CALIFORNIA ENERGY CODE

PROJECT DATA

PROJECT DESCRIPTION:
REMODEL EXISTING TWO-BUILDING SINGLE-FAMILY RESIDENCE. STRUCTURALLY JOIN BOTH WOOD FRAME STRUCTURES. CREATE SINGLE GARAGE SPACE AT LOWER LEVEL W/CONTIGUOUS SLAB ON GRADE. REMODEL UPPER LEVEL LIVING SPACE. REMOVE EXTERIOR EXTENSIONS, BATH AND KITCHEN. NEW WINDOWS AND DOORS THRUOUT. NEW UPPER LEVEL GREEN ROOF. NEW ROOFTOP DECK AND GUARDRAILS ON REAR OF STRUCTURE. REMOVE ARCHITECTURAL ELEMENTS ON 19TH STREET FACADE.

PROJECT ADDRESS: 4089 19TH STREET
OTHER PROPERTY ADDRESSES: 4097, 4099 19TH STREET & 605, 606 CASTRO STREET

PROJECT AREAS:
SECOND FLOOR: 288 SQ. FT. GROSS CONDITIONED
GROUND FLOOR: 525 SQ. FT. GROSS UNCONDITIONED

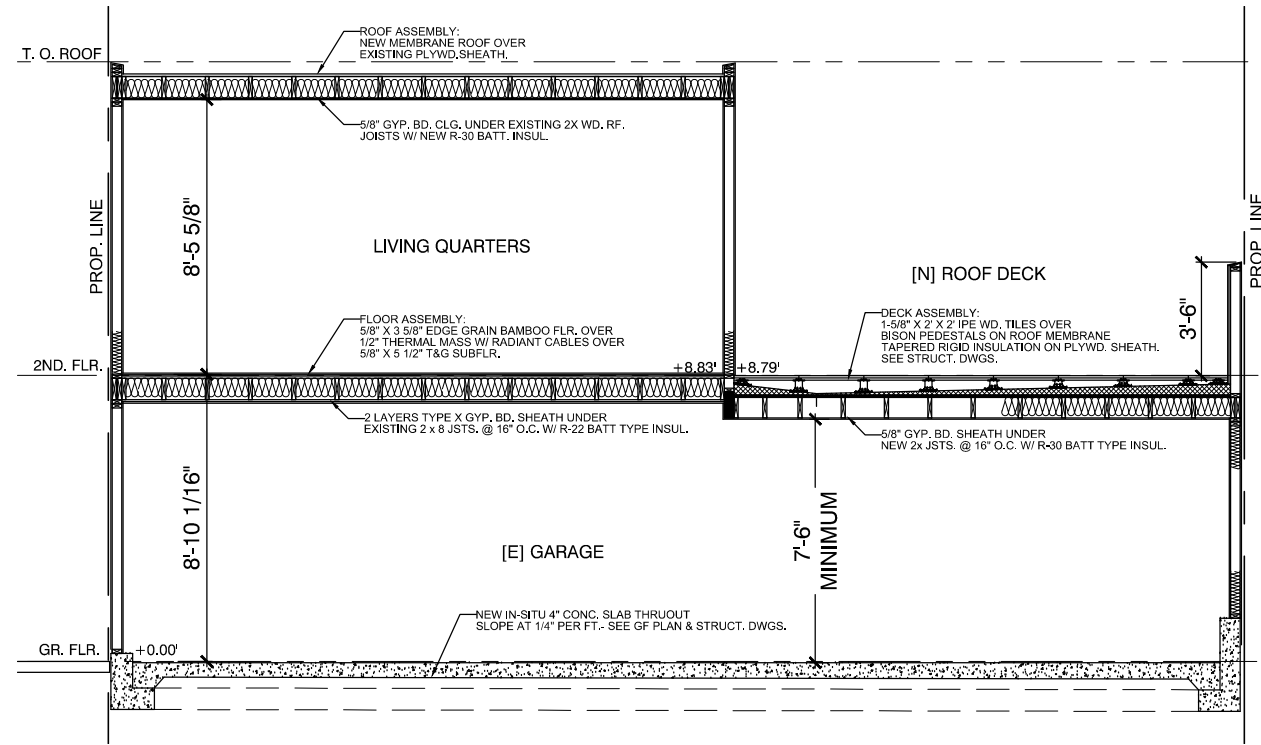
BUILDING CONSTRUCTION TYPE: V-B
ZONING: RH-3
LOT: 077 **BLOCK:** 3602
HEIGHT LIMIT: 40-X
LOT AREA: 2905 SQ. FT.
LOT DIMENSIONS: 35' W. X 83' L.

PROJECT DATA
VICINITY MAP

FILE	
DATE	08.22.2013
SCALE	AS NOTED
PROJ. NO.	
DRAWN	EL
SHEET	

A0.0

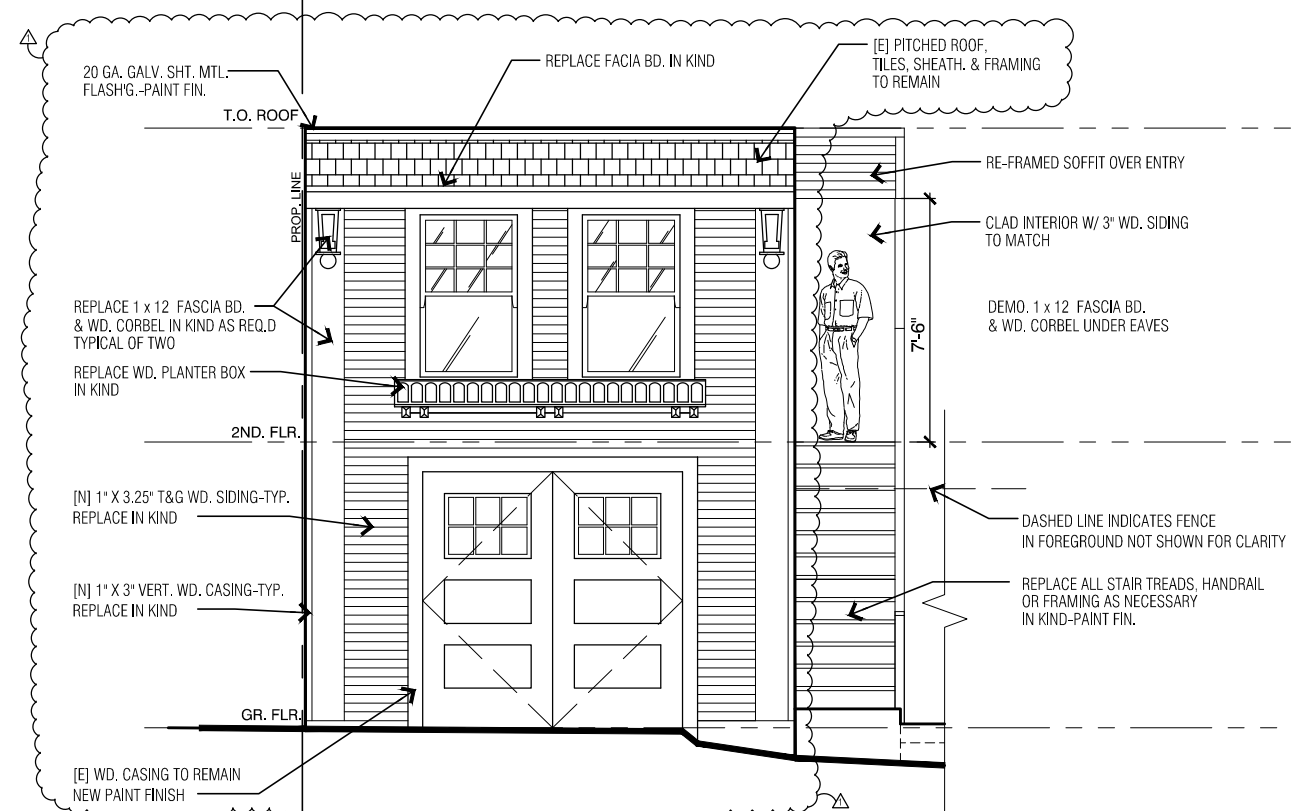
OF SHEETS



LONGITUDINAL SECTION

SCALE 3/8" = 1'-0"

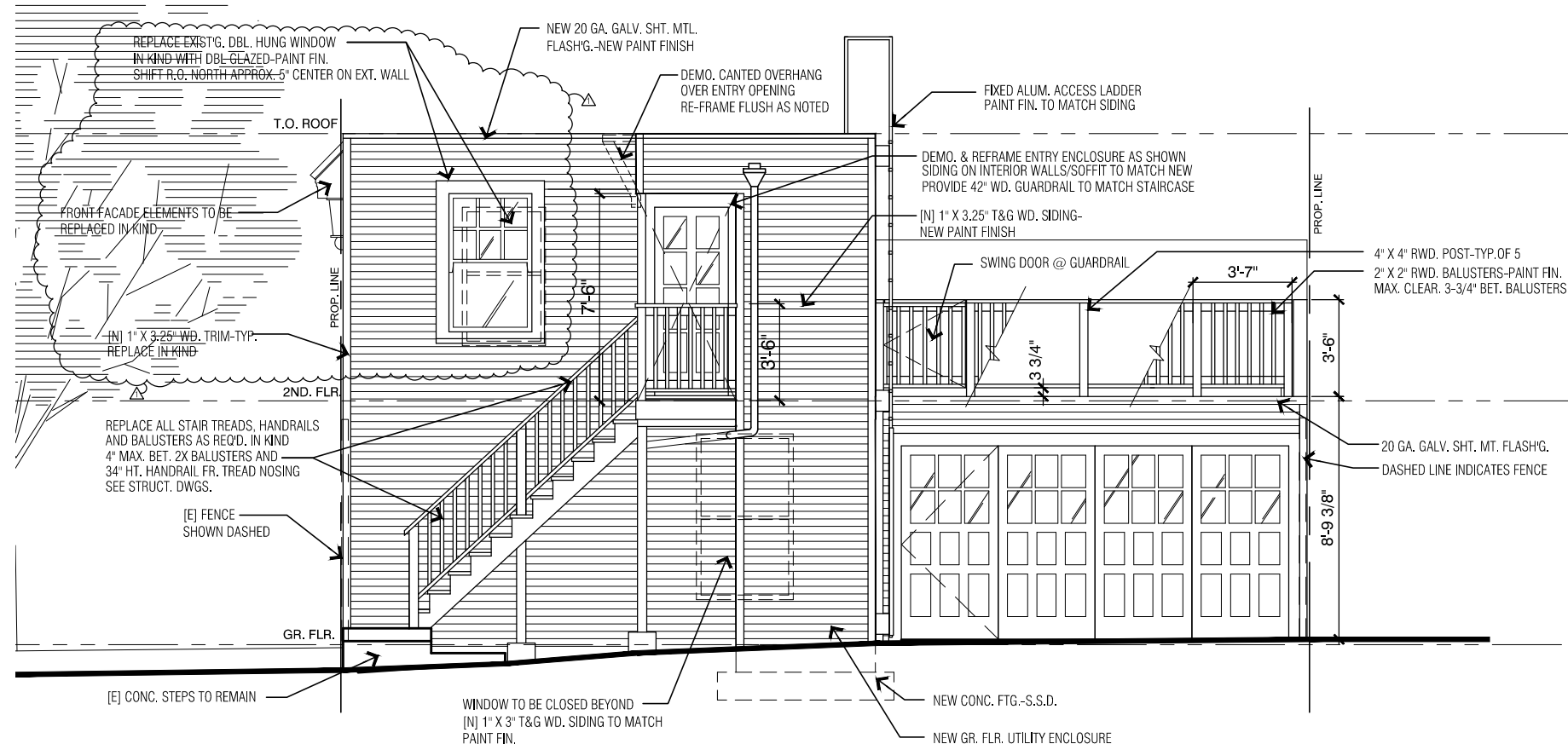
2



NORTH ELEVATION

SCALE 3/8" = 1'-0"

1



WEST ELEVATION

SCALE 3/8" = 1'-0"

3

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eduard llora
600 DE HARO STREET
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ellora@disenyllora.net
415.821.0118

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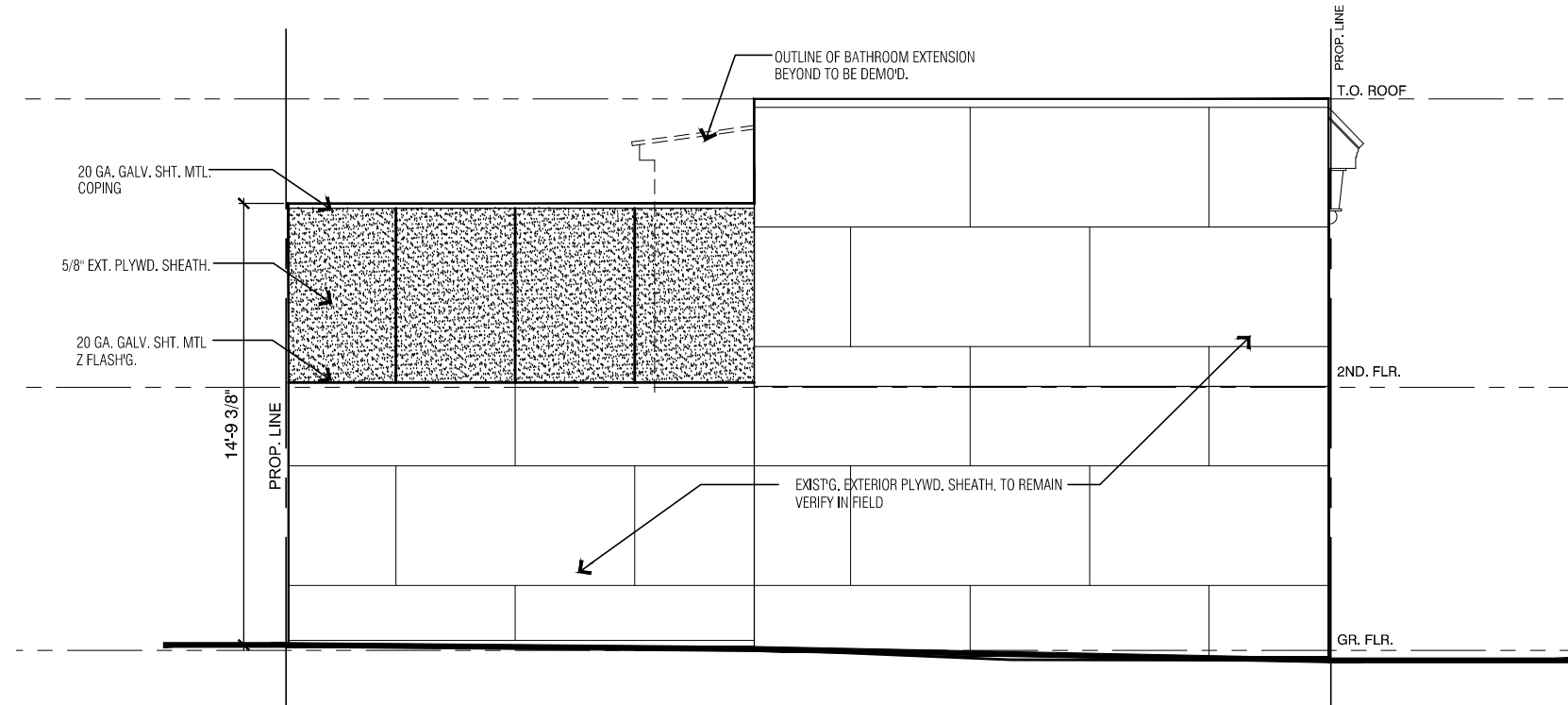
RESIDENTIAL REMODEL
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EXTERIOR ELEVATIONS

FILE	
DATE	08.22.2013
SCALE	AS NOTED
PROJ. NO.	
DRAWN	EL
SHEET	

A2.0

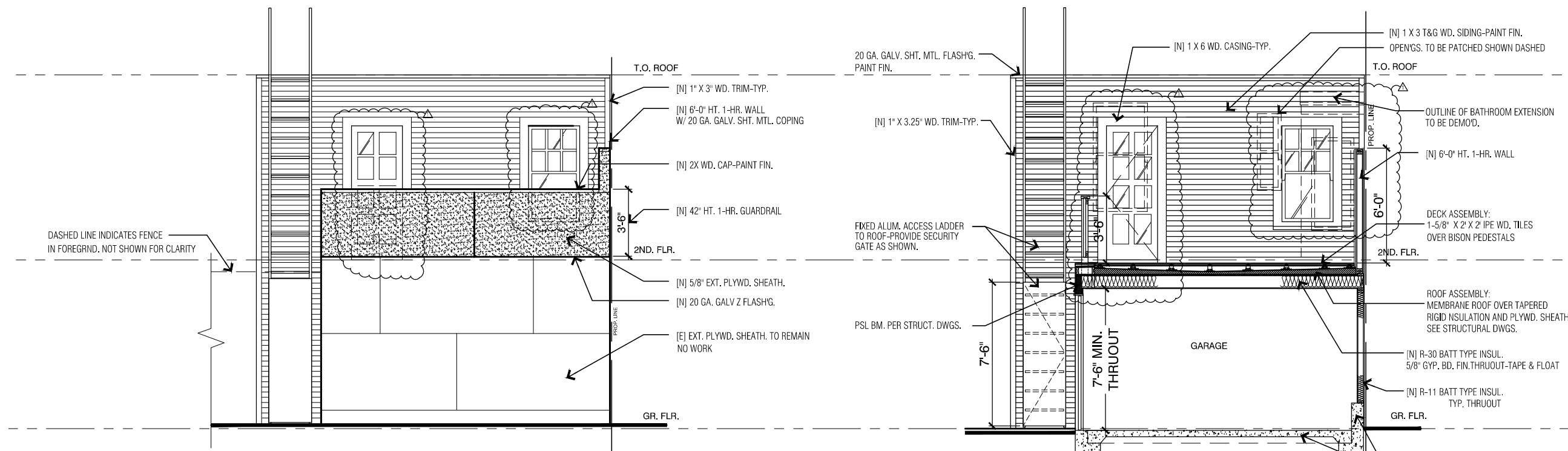
CF SHEETS



EAST ELEVATION

SCALE 3/8" = 1'-0"

1



SOUTH ELEVATION

SCALE 3/8" = 1'-0"

3

SOUTH ELEVATION / SECTION

SCALE 3/8" = 1'-0"

2

disseny llora
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NO.	DATE	COMMENTS
	08 20 2012	PERMIT
	08 22 2013	ENVIRON. REVIEW

RESIDENTIAL REMODEL
4089 19TH STREET, SAN FRANCISCO, CA
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EXTERIOR ELEVATIONS

FILE	
DATE	08 22 2013
SCALE	AS NOTED
PROJ. NO.	
DRAWN	EL
SHEET	

A2.1

OF SHEETS



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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