



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard and Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 4014 - 4016 25Th Street	Case No.: 2012.1250V
Cross Street(s): Noe St + Sanchez Street	Building Permit: N/A
Block / Lot No.: 6537/008	Applicant/Agent: Henry Karnilowicz
Zoning District(s): RH-2 / 40-X	Telephone: 415-621-7533
Area Plan: N/A	E-Mail: occexp@aol.com

PROJECT DESCRIPTION

The proposal is to legalize an existing rear building extension and deck, which were built by previous owner without variance and permit. A previous variance (V79.33) was granted on 10/22/1979; however, that authorization expired in 1982 prior to issuance of a building permit. The rear addition includes a deck and stairs for both units and a new laundry room at the rear of the top unit. The total rear addition extends 16' 8" from the rear wall of the building for the total 25' width of the lot.

SECTION 134 OF THE PLANNING CODE requires a rear yard of approximately 51' 3" for the subject property. The addition encroaches approximately 9' 4" into the required rear yard; therefore, the project requires a variance from Section 134.

SECTION 188 OF THE PLANNING CODE prohibits the expansion or replacement of a noncomplying structure. Because a portion of the building encroache into the required rear yard, it is considered a legal noncomplying structure. Therefore, the proposed expansion would be contrary to Section 188 of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Jessica Look** Telephone: **415.575.6812** Mail: Jessica.look@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1250V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

12/23/2012 1:43:28 AM

SHEET
A-001

ABANCHOR BOLT

ACASPHALTIC CONCRETE

ACCACCESSIBLE

AC TILEACOUSTICAL TILE

ADAREA DRAIN

ADJADJUSTABLE

AFFABOVE FINISHED FLOOR

AFGABOVE FINISHED GRADE

ALTALTERNATE

ALALUMINUM

APPROXAPPROXIMATE

APACCESS PANEL

APSACCESS PANEL (SECURITY)

ARCHARCHITECTURAL

ASPHASPHALT

BDBOARD

BITUMBITUMINOUS

BLDGBUILDING

BLKBLOCK

BLKGBLOCKING

BMBeam

BOTBOTTOM

CABCABINET

CEMENT

CERCERAMIC

CI CAST IRON

CJCORNER JOINT

CLCEILING

CLOSETCLOSET

CLRCLEAR

CONTRCOUNTER

COLCOLUMN

COMMCOMMUNICATION

CONCConcrete

CONNCONNECTION

CONSTRCONSTRUCTION

CONTCONTINUOUS

CORRCORRIDOR

CORDCOORDINATE

CTRCENTER

CTCERAMIC TILE

DBLDOUBLE

DIA DIAMETER

DIMDIMENSION

DNDOWN

DO DOOR OPENING

DOOR

DS DOWNSPOUT

DWGDRAWING

DWRDRAWER

(E) EXISTING

E EAST

EA EACH

EJ EXPANSION JOINT

ELECELECTRICAL

ELEV ELEVATION

ENCL ENCLOSURE

ENGR ENGINEER

ENT ENTRANCE

EQELECTRICAL PANELBOARD

EQPT EQUIPMENT

EXC EXCAVATE

EXP EXPANSION

EXPO EXPOSED

EXT EXTERIOR

FDN FOUNDATION

FEC FIRE EXTINGUISHER CABINET

FHC FIRE HOSE CABINET

FIN FINISH

FIXT FIXTURE

FLASH FLASHING

FLEX FLEXIBLE

FLR FLOOR

FLUOR FLUORESCENT

FOC FACE OF CONCRETE

FOF FACE OF FINISH

FOS FACE OF STUDS

FOW FACE OF WALL

FRFP FIREPROOF

FRP FIBER REINFORCED PLASTIC

FTG FOOTING

FURN FURNICE

FURR FURRING

FUT FUTURE

GA GAUGE

GALV GALVANIZED

GB GRAB BAR

GL GLASS OR GLAZED

GM GAS METER

GND GROUND

GR GRADE

GWB GYPSUM WALL BOARD

GYP GYPSUM

H HIGH

HB HOSE BIB

HC HOLLOW CORE

HD HEAD

HDWR HARDWARE

HM HOLLOW METAL

HORIZ HORIZONTAL

HP HIGH POINT

HT HEIGHT

ID INSIDE DIAMETER (DIM.)

IN INCH

INSUL INSULATION

INT INTERIOR

INV INVERT

ISOL ISOLATION

JOINT

KIT KITCHEN

KP KICK PLATE

LAM LAMINATED

LAUN LAUNDRY

LAV LAVATORY

LF LINEAR FEET

LP LOW POINT

LT LIGHT

MACH MACHINE

MAT MAX

MB MACHINE BOLT

MECH MECHANICAL

MEMB MEMBRANE

MET METAL

MFR MANUFACTURER

MH MANHOLE

MIN MINIMUM

MIR MIRROR

MISC MISCELLANEOUS

MO MASONRY OPENING

MR MOP RACK

MTD MOUNTED

N NORTH

NOT IN CONTRACT

NO NUMBER

NOM NOMINAL

NTS NOT TO SCALE

OA OVERALL

OC ON CENTER

OD OVER/LOW DRAIN

OFF OFFICE

OFCI OWNER FURNISHED - CONTRACTOR INSTALLED

OH OPPOSITE HAND

OPNG OPENING

OPP OPPOSITE

PB PHOTO BOOTH

PBO PROVIDED BY OWNER

PBX TELEPHONE SWITCHBOARD

PC PRECAST

PL PLASTER

PLBG PLUMBING

PLYVD PLYWOOD

PR PAIR

PROP PROPOSED

PT POINT

PTN PARTITION

QTY QUANTITY

R RISER OR RADIUS

RCP REFLECTED CEILING PLAN

RD ROOF DRAIN

RECP RECESSED

RECT RECTANGULAR

REF REFERENCE

REINF REINFORCING

REQ REQUIRED

REP REPRESENTATIVE

RESIL RESILIENT

RM ROOM

RO ROUGH OPENING

RUB RUBBER

RWL RAIN WATER LEADER

S SOUTH

SAB SOUND ATTENUATING BATT

SAD SEE ARCHITECTURAL DWG.

SC SOLID CORE

SCHED SCHEDULE

SF SQUARE FOOT

SECU SECURE

SECT SECTION

SHR SHOWER

SHT SHEET

SM SIMILAR

SKLT SKYLIGHT

SOH SIMILAR OPPOSITE HAND

SPEC SPECIFICATION

SPKR SPEAKER

SQ SQUARE

STL STEEL

SST STAINLESS STEEL

SSD SEE STRUCTURAL DWG.

STAG STAGGERED

STD STANDARD

STR STRUCTURAL

SURF SURFACE

SUSP SUSPENDED

SYM SHEET VINYL

SYMM SYMMETRICAL

TC TOP OF CURB

TEL TELEPHONE

TEMP TEMPERED

TG TEMPERED GLASS

THRES THRESHOLD

THK THICK

TLT TOILET

TLWH TANKLESS WATER HEATER

TOP TOP OF CONCRETE

TOP TOP OF PARAPET

TP TOP OF PAVEMENT

TPD TOILET PAPER DISPENSER

TR TOILET ROLL

TRD TREAD

TV TELEVISION

TW TOP OF WALL

TWH TANKLESS WATER HEATER

TYP TYPICAL

UNF UNFINISHED

UON UNLESS OTHERWISE NOTED

V OR VAC VACUUM

VCT VINYL COMPOSITION TILE

VENT VENTILATION

VERT VERTICAL

VEST VESTIBULE

VF VERRY IN FIELD

VP VISION PANEL

W WEST

WC WATER CLOSET

WD WOOD

WDW WINDOW

WG WIRE GLASS

WH WATER HEATER

WO WHERE OCCURS

WP WATERPROOF

WS WEATHERSTRIPPING

WSCOT WAINSCOT

WT WEIGHT

WI WITH

WIO WITHOUT

 REGULATIONS BUILDING CODE: 2010 SAN FRANCISCO BUILDING CODE, CONSISTING OF THE 2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS 2010 SAN FRANCISCO RESIDENTIAL CODE, CONSISTING OF TEH 2010 CALIFORNIA RESIDENTIAL BUILDING CODE WITH SAN FRANCISCO AMIENDMENTS MECHANICAL CODE: 2010 SAN FRANCISCO MECHANICAL CODE, CONSISTING OF THE 2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS PLUMBING CODE: 2010 SAN FRANCISCO PLUMBING CODE, CONSISTING OF TEH 2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS ELECTRICAL CODE: 2010 SAN FRANCISCO ELECTRICAL CODE, CONSISTING OF THE 2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS ENERGY CODE: 2010 SAN FRANCISCO ENERGY CODE, CONSISTING OF THE 2010 CALIFORNIA ENERGY CODE WITH NO LOCAL AMENDMENTS HOUSING CODE: 2010 SAN FRANCISCO HOUSING CODE | | OWNERS DANIEL KUNZMANN AND KRISTINA LAMBERS 4014 25 STREET SAN FRANCISCO, CA 94114 TEL (415) 628-6186 HANNAH GLASS 4016 25TH STREET SAN FRANCISCO, CA 94114 TEL (415) 628-0232 | | 1. THE FOLLOWING GENERAL NOTES APPLY TO THE ENTIRE SET OF DRAWINGS AS LISTED BY THE INDEX OF DRAWINGS. 2. THE WORK INCLUDED IN THIS CONTRACT SHALL CONSIST OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE BY THE OWNER. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND HAUL-OFF OF DEMOLISHED MATERIALS AND SHALL LEAVE ALL AREAS OF THE PREMISES IN A CLEAN AND USABLE MANNER. 4. ALL WORK DEPICTED ON THE DRAWINGS IS NEW U.O.N. 5. ALL PARTS OF THE WORK, INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC. MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITY HAVING JURISDICTION OVER THE PROJECT, WHETHER LISTED OR NOT, IN THE EVENT OF A CONFLICT, THE MOST STRINGENT SHALL APPLY. 6. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. 7. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL WORK PRIOR TO PROCEEDING WITH THE WORK. ALL EXISTING CONDITIONS NOT SHOWN OR INDICATED ON THESE PLANS ARE TO REMAIN UNCHANGED. 8. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT DOCUMENTS AS REQUIRED. 9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING EXISTING FIRE RESISTIVE ASSEMBLIES WHEN DAMAGED OR REMOVED DURING CONSTRUCTION. 10. COORDINATE ALL WORK AND CONSTRUCTION SCHEDULING WITH OWNER. 11. THE OWNER DOES NOT ASSUME RESPONSIBILITY FOR EXISTING CONDITIONS OR DEFECTS IN EXISTING CONSTRUCTION, NOR WILL THE OWNER OR ARCHITECT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, OR PROCEDURES OF CONSTRUCTION OR SAFETY. THIS REMAINS THE RESPONSIBILITY OF EACH CONTRACTOR. 12. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. VAGUE DIMENSIONS ARE NOTED AS "OLEAF", THEY ARE CODE OR FUNCTIONAL REQUIREMENTS AND MUST BE MAINTAINED FROM FINISHED FACES. CONFER WITH THE OWNER FOR ANY CLARIFICATION REQUIRED. 13. WRITTEN DIMENSIONS AND NOTES TAKE PRECEDENCE. 14. LEGAL EXITS SHALL NOT BE BLOCKED AT ANY TIME. ACCESS TO AREA OF WORK, INTERIOR AREA TO BE DEMOLISHED AS WORK AREA, INTERIOR AND EXTERIOR AREA WHICH MAY BE USED FOR EQUIPMENT AND MATERIAL STORAGE AS WELL AS WORKING SPACE SHALL BE AS INDICATED BY INSTRUCTIONS FROM OWNER. 15. ALL WORK SHALL BE DONE IN A NEAT AND WORKMAN LIKE MANNER ACCORDING TO THE BEST TRADE PRACTICE BY THOSE SKILLED IN EACH PARTICULAR TRADE. ALL WORK INCLUDING BUT NOT LIMITED TO EQUIPMENT, FIXTURES, PIPING, ETC. SHALL BE PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT AND ADJUSTMENT, OR CENTERED. 16. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURERS' RECOMMENDATIONS. 17. COORDINATE WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO IRRIGATION PIPES, ELECTRICAL CONDUITS, WATER LINES, DRAINAGE LINES, GAS LINES, WASTE SYSTEMS, ETC. 18. PROTECT ALL EXISTING SITE CONDITIONS TO REMAIN, INCLUDING INTERIOR, EXTERIOR, TREES, SHRUBS, PAVING, FENCES, ETC. 19. DETAILS, IF SHOWN, ARE TYPICAL, U.O.N.; SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. 20. WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWER DRIVEN PINS INTO EXISTING REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. 21. VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL CONDITIONS BEFORE THE ORDERING OR INSTALLATION OF ANY ITEM OF WORK. 22. WHERE LOCATIONS OF NEW DOORS OR WINDOWS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL ORS LACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS. 23. COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BACKING AND REINFORCING IN WALLS FOR WALL-MOUNTED OR WALL-SUPPORTED ITEMS SUCH AS CABINETRY. 24. ALL GLASS AND GLAZING USED IN THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE 2010 CBC. 25. FINISHED WORK SHALL BE FIRM, WELL AND SECURELY ANCHORED, IN TRUE ALIGNMENT, PLUMB, AND LEVEL, WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE CLOSE FITTING, NEAT, AND WELL SCRIBED. FINISHED WORK SHALL NOT HAVE EXPOSED, UNSIGHTLY, ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE | |

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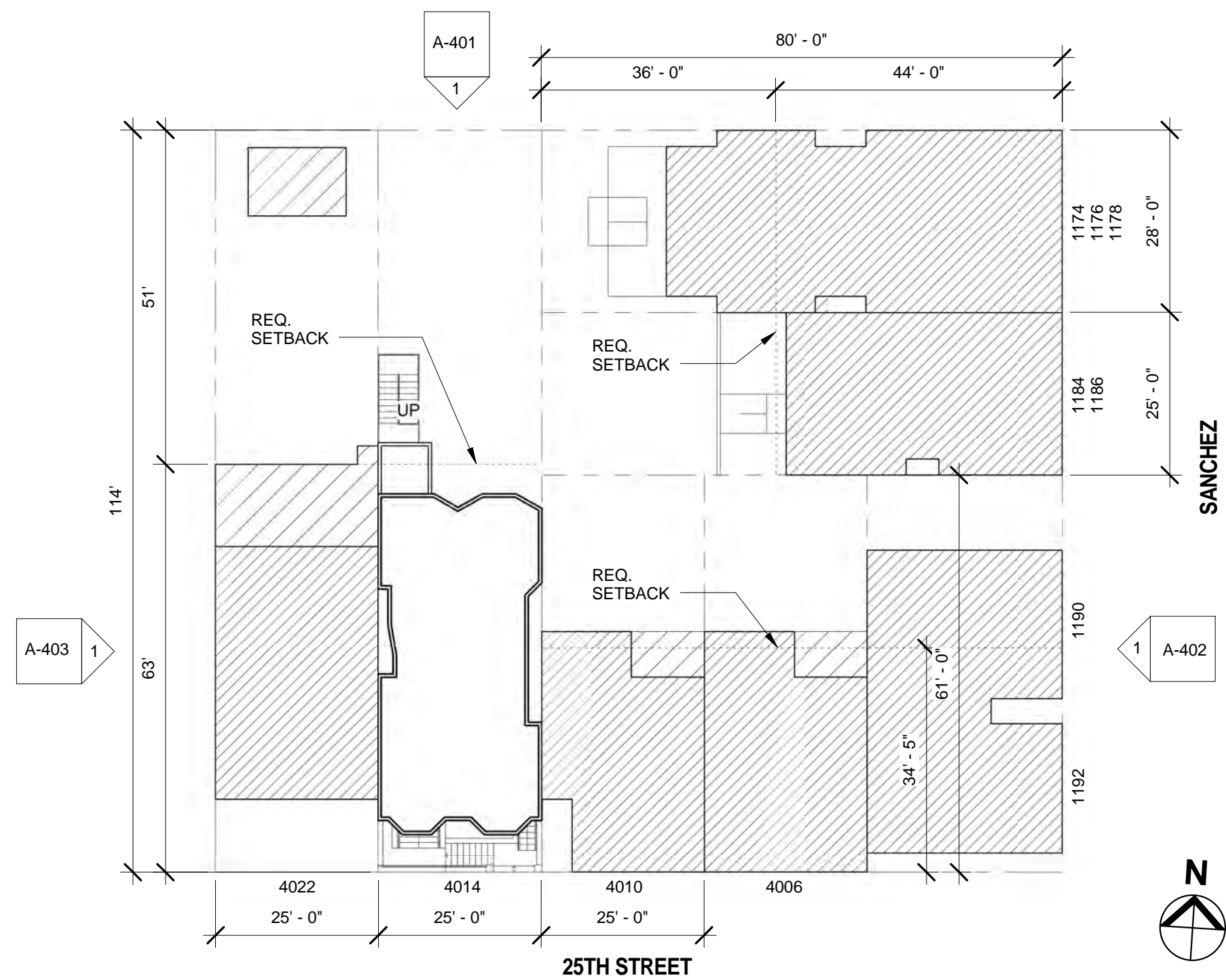
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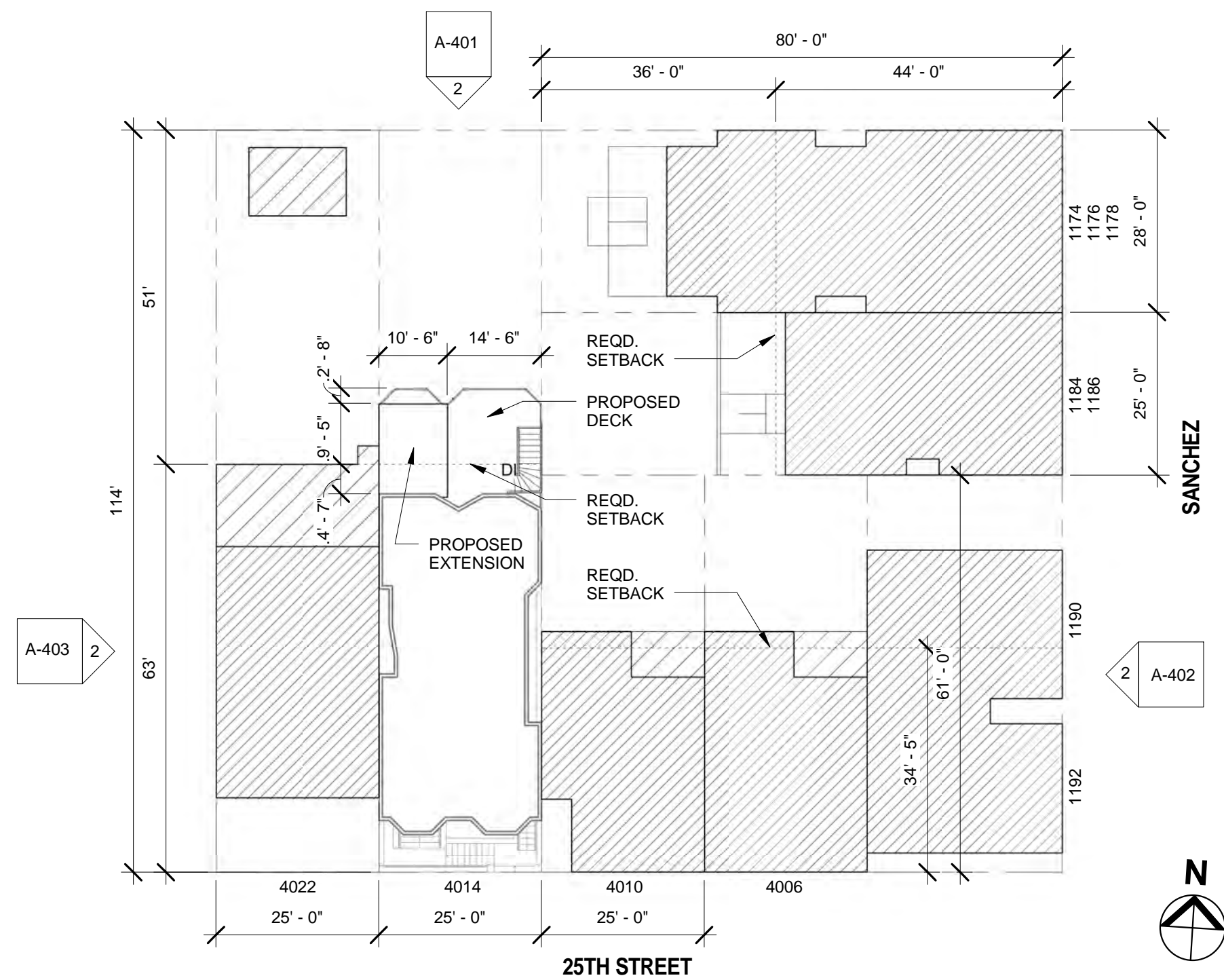
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① PLOT PLAN - ORIGINAL
1" = 20'-0"



② PLOT PLAN - PROPOSED
1" = 20'-0"

STAMP

4014 - 4016 25TH STREET
VARIANCE APPLICATION

GLASS, KUNZMANN, LAMBERS

4014 - 4016 25TH STREET
SAN FRANCISCO, CA 94114

APPROVALS

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.

003

TITLE

PLOT PLANS

DRAWN BY
CHECKED BY

Author
Checker

SCALE

1" = 20'-0"

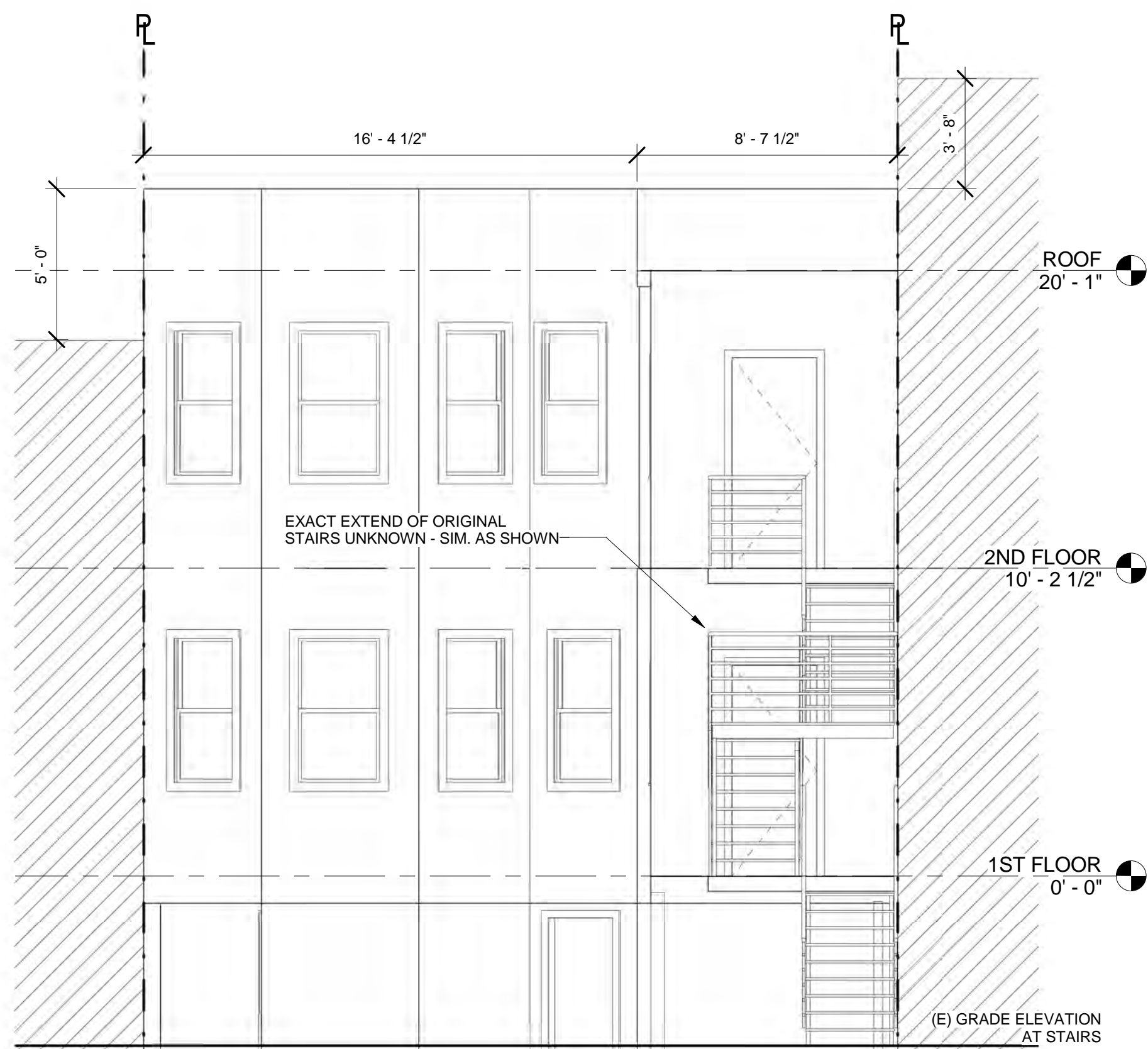
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09/22/2012

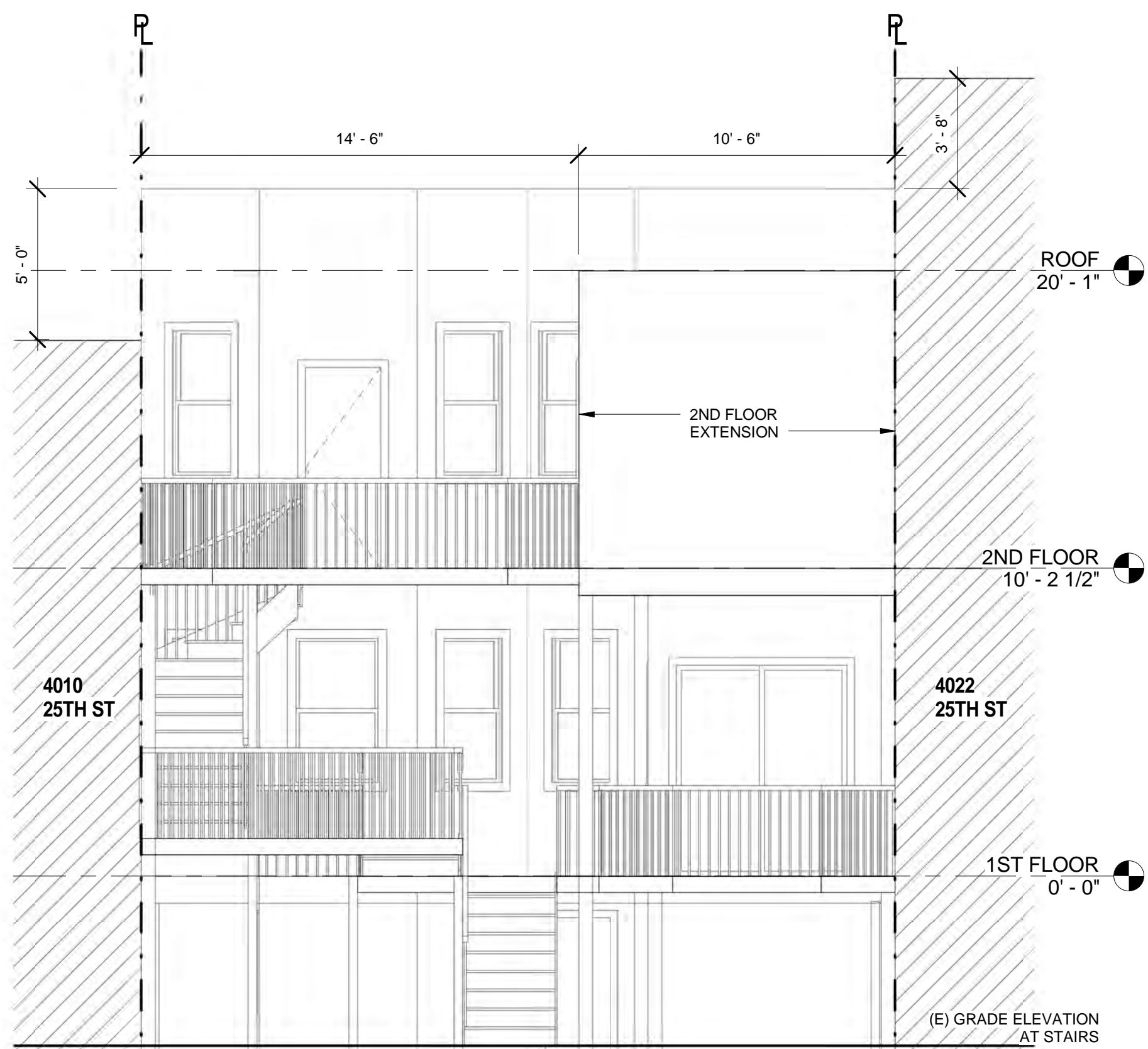
SHEET

A-010

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① YARD ELEVATION - ORIGINAL
1/4" = 1'-0"



② YARD ELEVATION - PROPOSED
1/4" = 1'-0"

STAMP

4014 - 4016 25TH STREET
VARIANCE APPLICATION

GLASS, KUNZMANN, LAMBERS

4014 - 4016 25TH STREET
SAN FRANCISCO, CA 94114

APPROVALS

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.

003

TITLE

EXTERIOR ELEVATIONS

DRAWN BY
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SCALE

1/4" = 1'-0"

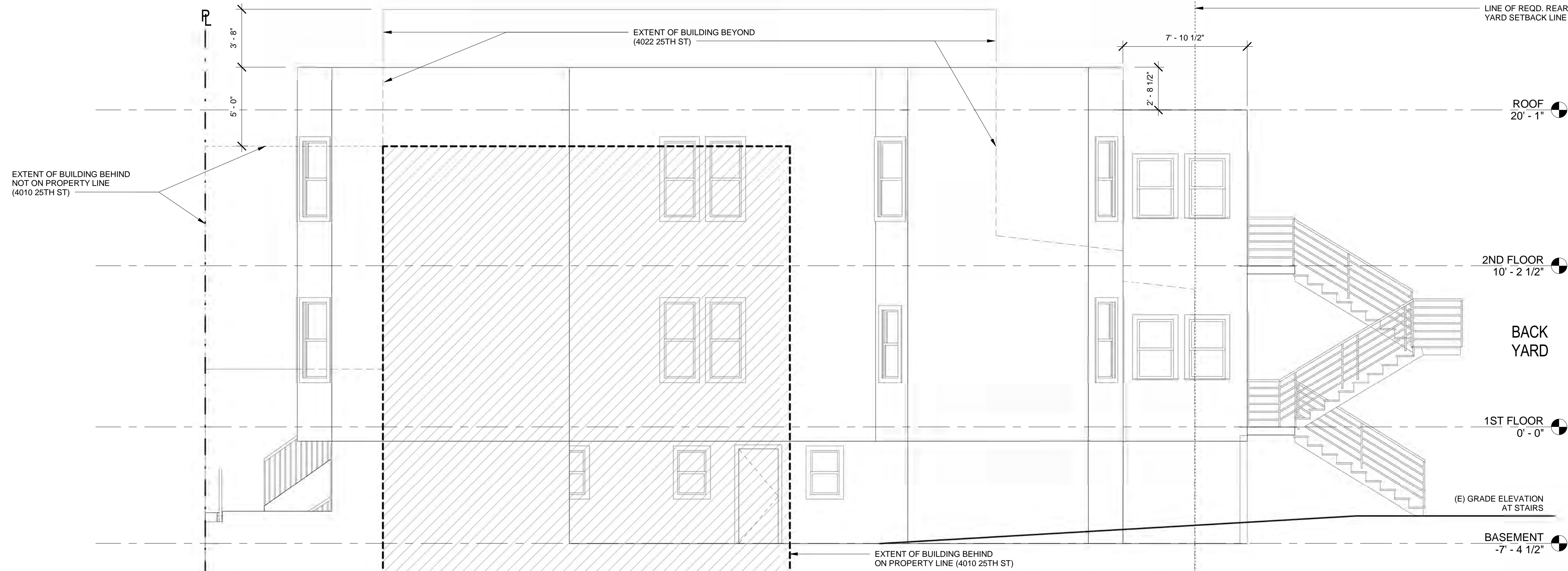
DATE

09/22/2012

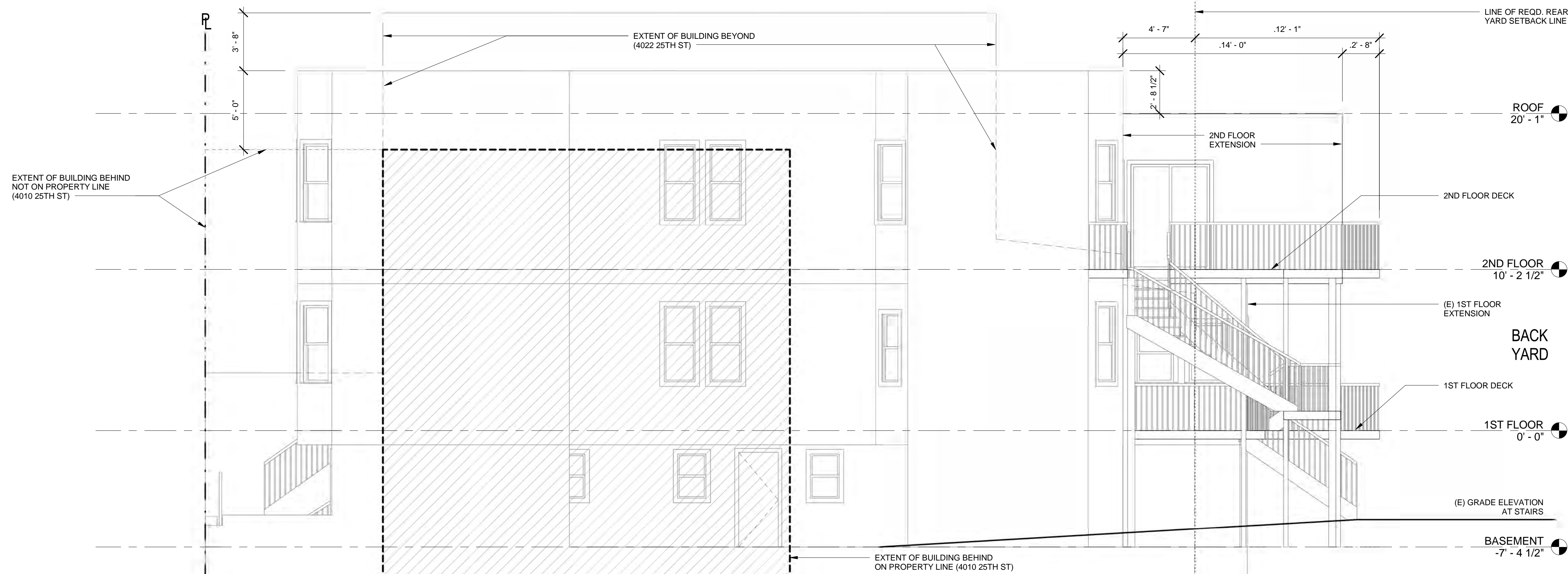
SHEET

A-401

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① EAST ELEVATION - ORIGINAL
1/4" = 1'-0"



② EAST ELEVATION - PROPOSED
1/4" = 1'-0"

STAMP

4014 - 4016 25TH STREET
VARIANCE APPLICATION

GLASS, KUNZMANN, LAMBERS

4014 - 4016 25TH STREET
SAN FRANCISCO, CA 94114

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REVISIONS

NO.	DATE	DESCRIPTION

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SCALE

1/4" = 1'-0"

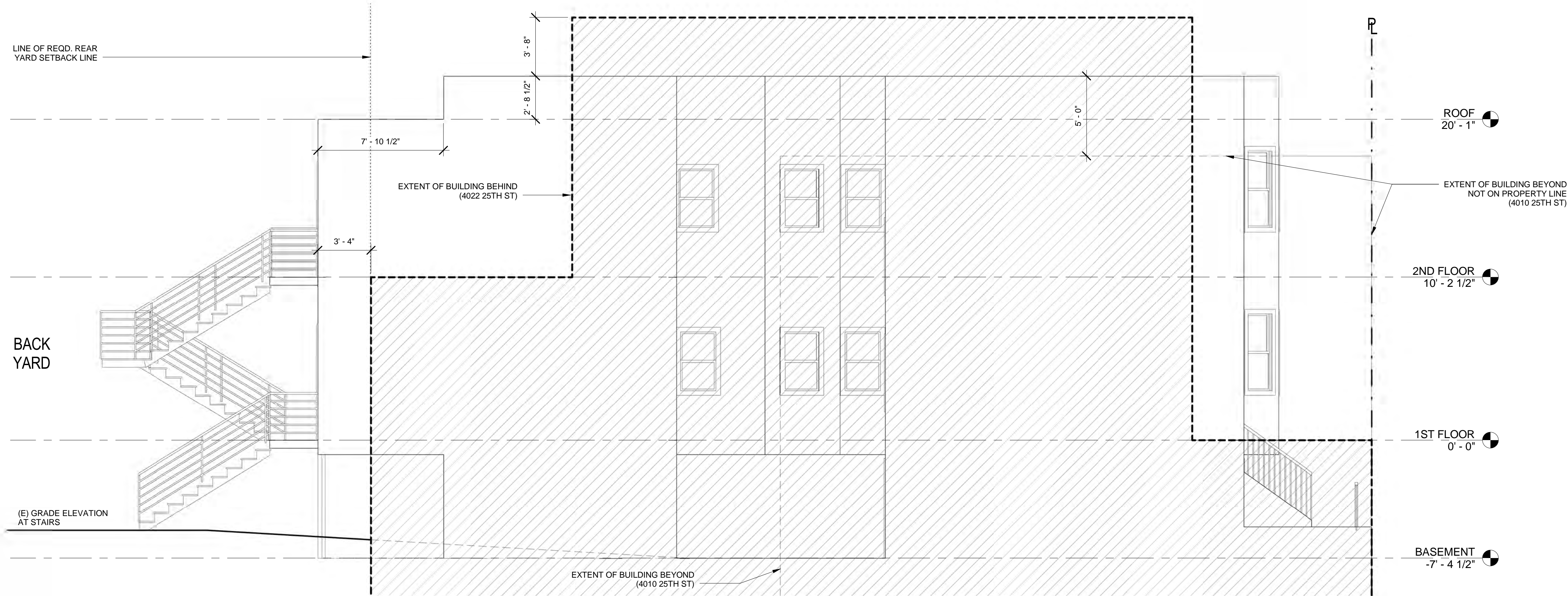
DATE

09/22/2012

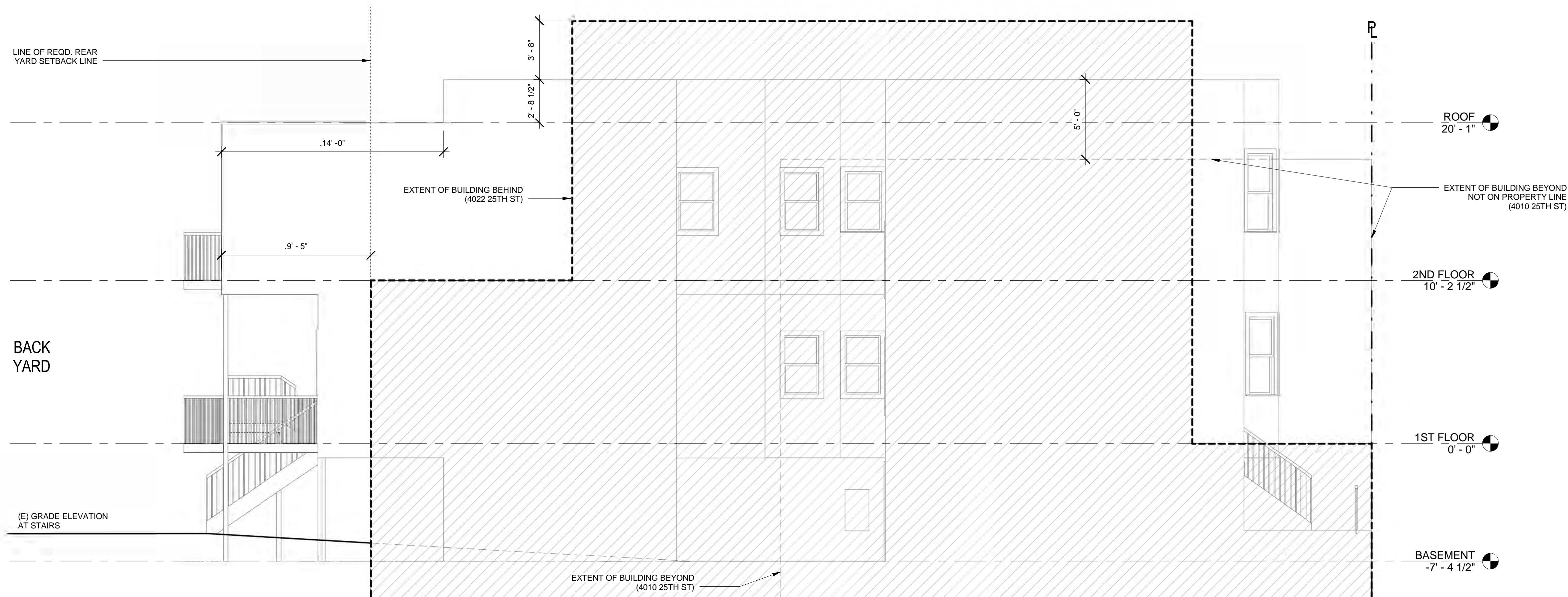
SHEET

A-402

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① WEST ELEVATION - ORIGINAL
1/4" = 1'-0"



② WEST ELEVATION - PROPOSED
1/4" = 1'-0"

STAMP

4014 - 4016 25TH STREET
VARIANCE APPLICATION

GLASS, KUNZMANN, LAMBERS

4014 - 4016 25TH STREET
SAN FRANCISCO, CA 94114

APPROVALS

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.

003

TITLE

EXTERIOR ELEVATIONS

DRAWN BY
CHECKED BY

Author
Checker

SCALE

1/4" = 1'-0"

DATE

09/22/2012

SHEET

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