#### MEMO

### **Disclaimer for Review of Plans**

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377 NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, January 23, 2013

Time: **9:30 AM** 

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance(Open Space)
Hearing Body: Zoning Administrator

PORPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	615 Union St	Case No.:	2012.1244V
Cross Street(s):	Columbus & Stockton Street	Building Permit:	201207023925
Block / Lot No.:	0117/001	Applicant/Agent:	Stephen Antonaros
Zoning District(s):	NO BEACH / 40-X	Telephone:	415.864.2261
Area Plan:	N/A	E-Mail:	santonaros@sbcglobal.net

#### PROJECT DESCRIPTION

The proposal is to convert two shared kitchens into two residential bedrooms in an existing 44 bedroom group housing building. The resulting group housing building would consist of 46 bedrooms. There is no expansion of the building footprint.

**PER SECTION 135 OF THE PLANNING CODE**, the additional two bedrooms within the existing bedroom group housing project require either 60 square feet of open space per bedroom if privately accessed or 160 square feet of open space if commonly accessed. The proposal does not provide any open space; therefore, a variance for open space is required.

#### ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Kate Conner Telephone: 415-575-6914 Mail: kate.conner@sfgov.org

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2012.1244V.pdf">http://sf-planning.org/ftp/files/notice/2012.1244V.pdf</a>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

#### GENERAL INFORMATION ABOUT PROCEDURES

#### VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

#### **BUILDING PERMIT APPLICATION INFORMATION**

There is no associated Building Permit Application with this Variance request.

#### **BOARD OF APPEALS**

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

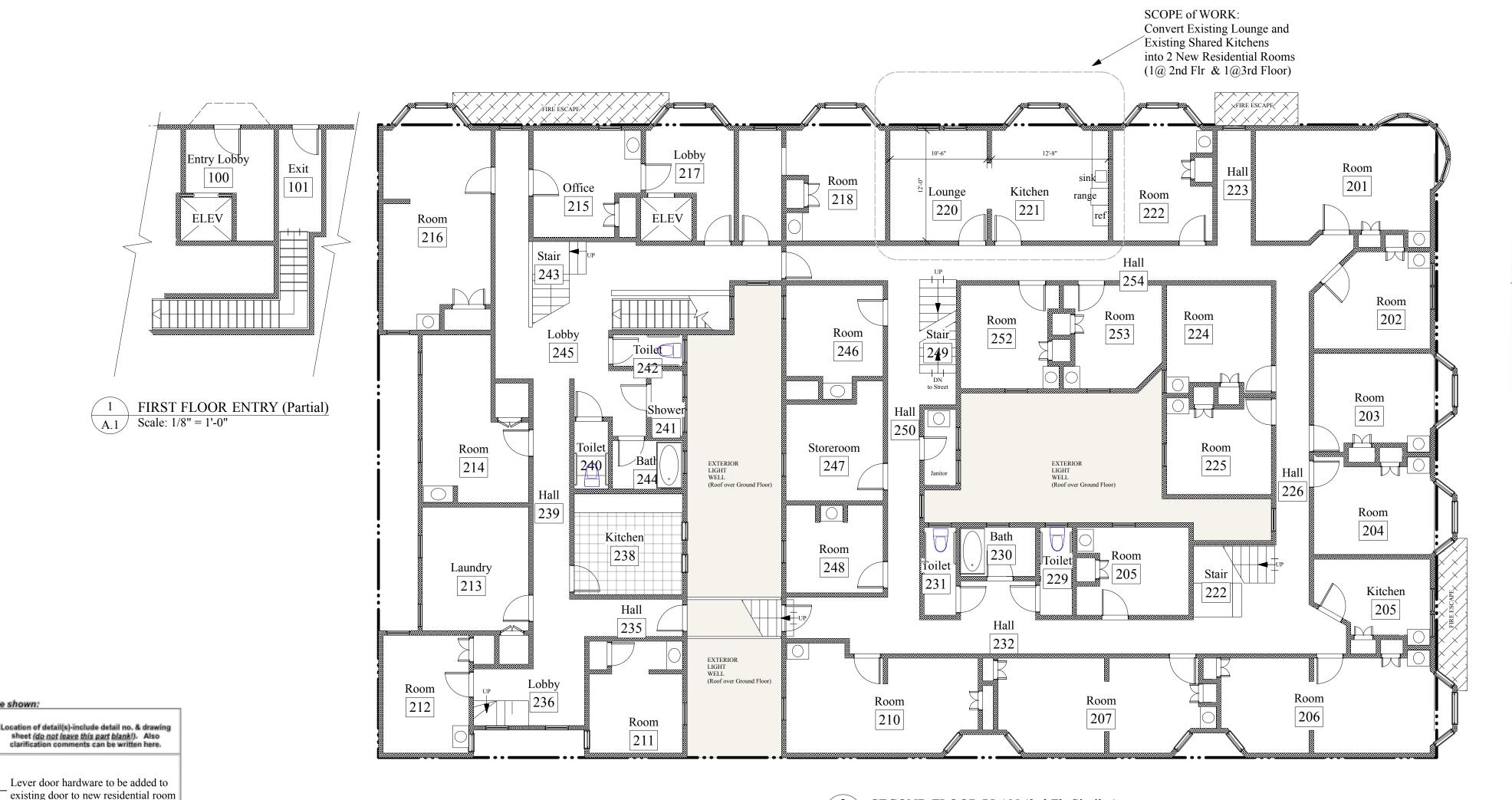
#### ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <a href="http://upn.sfplanning.org">http://upn.sfplanning.org</a> for more information.

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Residential / Restaurant OCCUPANCY | Three-Story Bldg | CLASSIFICATION : R-2 / A2 APPLICABLE CODES: 2010 California Building Code, 2010 Mechanical Code, 2010 Plumbing Code, 2010 Electrical Code, and Amendments to the 2010 California Building Code

 $\sum_{i=1}^{n} 4^{i}$ 

Melissa

Casa

STREET

**NOIND** 

61

ALTERATIONS

INTERIOR

**REVISIONS** 

**Zoning Information:** 

Zoning: North Beach

Neighborhood Commercial 722.92

North Beach Financial and Business or Professsinoal Subdistrict Broadway Neighborhood Commercial

Total Rooms Proposed (under thish permit) = 46

**Total Shared Kitchens = 4** 

EDWIN M. LEE, MAYOR VIVIAN L.DAY, C.B.O., ACTING DIRECTOR

1. Site Address: 615 Union Street	2. Floor: 2nd & 3rd Floors
3. Permit Application No.:	4. Hardship Request No.:
5. Existing Use: Residential Hotel	6. Proposed Use: Residential Hotel
7. Existing Occupancy: R-2	8. Proposed Occupancy R-2

9. Description of proposed work which triggers access compliance upgrades: The address of the project is 615 Union Street

NEW APPROVED

Lever Hardware @ NEW DOORS

None Access
existing & Appeals
not req'd by

7 of 11

Description of revision:

Main entry to building and access

to area of remodel to remain as is

to remain as is

 $\mathbf{X}$ 

 $\mathbf{X}$ 

Partial Equivalent Upgrade / Facilitation/

 $\mathbf{X}$ 

If details are provided from a set of City approved reference drawings, provide its permit application number here:

2. Describe the area of remodel, including which floor: Second and Third Floor rooms

Conditions below must be fully documented by accompanying drawings

3. The construction cost of this project excluding disabled access upgrades is \$ 6,000.00

5. Read A through G below carefully and check the most applicable box (one box only):

"2010 ENR Construction Cost Index" (The cost index & threshold are updated annually).

For ALL tenant improvement projects in commercial use spaces, this checklist is required to be reproduced on the plan set and stened.

1. The proposed use of the project is \_\_Residential-Group Housing (Residential Hotel) \_\_(e.g. Retail, Office, Restaurant, etc.)

(check one) more than / less than the Accessibility Threshold amount of \$ 136,060.00 based on the

A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required.

4. Is this a City project and/or does it receive public funding? Check one: Yes / Y Note: If Yes, then see Step 3 on the

□ B: All existing conditions serving the area of remodel that do <u>not</u> fully comply with access requirements <u>will be</u> fully upgraded with this

upgrades, including Equivalent Facilitation will be provided up to 20% of the project value as itemized on Form C. Priority of

upgrades are to be considered in the order listed on p. 2 of the D.A. Checklist. Fill out Hardship request form(s) for non-fully

D: Access features will either fully comply or be provided with Code defined Equivalent Facilitation. Submit an Unreasonable Hardship

☐ E: Hardship appeal to be filed with Access Appeals Commission (AAC). Note: Plan check of items not under AAC consideration will

☐ G: Minor revision to previously approved permit drawings only. (Note: This shall <u>NOT</u> be used for new or additional work) Provide

☐ F: Consisting only of Barrier Removal, Notice of Accessibility Violation (NOV) Compliance or Exempted Work; Fill out Form F.

complying items, including for Equivalent Facilitation items. Checking box C means there are still non-complying items serving the

X C: Proposed project (check one) X is less than the threshold / □ is over the threshold & falls under CBC 1134B.2.1 Ex. 2; Partial

 $\mathbf{X}$ 

**D.A. CHECKLIST** (p. 2 of 2):

HANDICAP ACCESSIBLE

Note: upgrades below are listed

in priority based on CBC 1134B.2.1 Ex1

serving the area of remodel

upgrade may be required if it

. One accessible entrance

Note: This should be a

primary entrance. Add'l

An accessible route to the

area of remode)

2d. stairs (if no elevator)

At least one accessible

restroom for each sex

Accessible public pay

Accessible drinking

fountains (hi-low).

serving the area of remodel.

Others: path from parking area

P:WebsiteTorms - HundoutsTMchecklist.dec

area of remodel.

**D.A. CHECKLIST** (p. 1 of 2);

Instructions page for additional forms required.

Request (UHR) for the Equivalent Facilitation items.

continue while resolution of AAC decision is sought.

previous approved permit application here:

2b. ramps

2f. other:\_

phone.

6. Signage.

. Visual Alarm.

2c. elevator

each portion of the building or facility shall apply.

10. A. The access feature(s) that will not be provided is (are): Primary Accessible Entrance

 Path of Travel (includes path from parking) Sanitary Facilities B. The code section(s) that requires (require) the specific accessible feature(s) is (are): CBC 1105B.3.2, 1114B

11. Detailed description of the accessible feature(s) that will not be provided. What is the condition now? Note location on the plans or provide attachments if necessary. ADA Compliant Entry, Elevator, Bathrooms, Kitchens not provided as fully complying; Existing facilites lunchanged under this permit to change use of rooms, add lavs and closets

12. Total cost of the project excluding this (these) accessible feature(s):  $\frac{$6,000}{}$ 

B. Percentage of total cost shown on Line 12 (divide line 13 by line 12): 312.5% · ++

A. 

Equivalent fabilitation is provided according to Code Section(s): \_ Description of equivalent facilitation & why full compliance cannot be achieved:

P:\Website\Forms - Handouts\UnreasonableHardship.doc

FOR THE DEPARTMENT OF BUILDING INSPECTION STAFF USE ONLY This exception for unreasonable hardship is: ☐ GRANTED FOR THIS PERMIT ONLY ☐ DENIED\* ☐ REQUIRES AAC RATIFICATION\* \_\_ of the San Francisco Building Code, 2010 Edition Signature of the Plans Examiner: \_\_ Denied for the following reason(s): \_\_\_\_ Signature of the Group Supervisor: (needed only when Denied or requires AAC Ratification) If your Unreasonable Hardship Request is to be denied, the plans examiner shall inform you of the reasons for denying that

request. In addition, the plans examiner's group supervisor shall provide you with a second opinion regarding the denial.

To file an appeal with the Access Appeals Commission (AAC), please pay a filing fee of \$374.00 and submit a document package consisting of eight individually bound notebooks. Please refer to the Access Appeals Commission Information Guide. available at the Customer Services desk, for more complete information. These appeal copies will be distributed by the Secretary of the AAC to each of the Commissioners. One copy is kept on file with the Secretary to the Commission for review as requested by any member of the public.

> Secretary, Access Appeals Commission 1660 Mission Street, 3<sup>rd</sup> Floor San Francisco, CA 94103

SECOND FLOOR PLAN (3rd Flr Similar)

A.1 Scale: 1/8'' = 1'-0''

■ Cost constraints □ Physical constraints □ Legal constraints □ Other constraints \_\_\_\_\_

Description of constraint (Unreasonable Hardship). Provide attachments as needed.

Fully upgrading this existing residential hotel would require extensive reconstruction at all existing

Note: Ratification by the Access Appeals Commission is generally required for Unreasonable Hardship Requests when the work is

valued over the threshold amount based on the ENR Construction Cost Index for the year 2011, \$132,536.28, and no equivalent

facilitation is provided. Refer to the California Code of Regulations, Title 24 part 2, Section 1.9.1, Section 202 and Section 11348.

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UNREASONABLE HARDSHIP REQUEST

16. Applicant's Name (Print): Stephen Antonaros

B. Equivalent facilitation is not provided because of the following:

oors, landings, elevator, shared bathrooms and shared kitchens.

☐ Owner

17. Applicant's Address: 2261 Market Street #324, SF, CA 94114

## Form C: DISABLED ACCESS 20% RULE

This form is only required when box "C" is checked off on the D.A. Checklist and is for providing an itemized list of the estimated costs for the expenditures used for disabled access upgrades for this project. Reproduce this form along with the D.A. Checklist and the Unreasonable Hardship Request form(s) on

Based on CBC 1134B,2.1, Exception 1, only projects with a construction cost less than the valuation threshold (current ENR Construction Cost Index Amount) are eligible for the 20% rule, where the project must provide disabled access upgrades up to 20% of the cost of construction in the required priority as listed on p. 2 of the D.A. Checklist. In general, projects valued over the threshold are not eligible for the 20% rule (see CBC 1134,2,1 Exception 2 for a possible exception).

CBC 1134B.2.1 Exception 2 (abbreviated): In alteration projects involving buildings & facilities previously approved & built without elevators, areas above & below the ground floor are subject to the 20% disproportionality provisions described in Exception 1, even if the value of the project exceeds the valuation threshold in Exception 1. Refer to the Code for the types of buildings & facilities that qualifies for this 20% disproportionality provisions when project valuation is over the threshold.

Contractor's

8 of 11

	Estimated Cost		DBI Revised Cost
A) Cost of Construction:     (Excluding accessibility upgrade)	\$	6,000	\$
B) 20% of A):	\$	1,200	\$
List the Upgrade Expenditures and the	ir respec	tive construction	cost below:
1. Entry door hardware upgrades	\$	1,200	\$
2.	\$		\$
3.	\$		\$
4.	\$		\$
5.	\$		\$
6.	\$		\$
7.	\$		\$
8.	\$		\$
9.	\$		\$
Total Upgrade Expenditures Must approximately equal to Line B	\$	1200	\$

126.458 SCOPE of WORK Convert Existing Lounges and **Existing Shared Kitchens** into 2 New Residential Rooms (1@ 2nd Flr & 1@3rd Floor) INDEX of DRAWINGS: A1: Existing 2nd & 3rd Floors / Site Plan A2: New 2nd Floor A3: New 3rd Floor

Block 0117 Lot 001

UNION

TYPE: Type 5B

2010 San Francisco Building Code California Historic Building Code

**Block:** 0117 **Lot:** 001

within 1/4 mile of: North Beach Special Use District

**Existing Use:** Two Floors of Residential (R-2 Occupancy) over Ground Floor Restaurant (A-2 Occupancy)

**Allowable Residential Rooms** (under Group Housing Definition) [Generally, 1 bedroom per140 sq. ft. lot area § 208]

Lot Area: 7,906.50 sq ft

Allowed # of rooms = 140 sqft/lot area= 7907/140= **56 Rooms** 

Existing Residential Rooms = 44 (20@ 2nd flr + 24 @ 3rd flr)New Rooms Proposed under this Permit = 2 (325 sq ft each)

**Total Shared Baths = 6+** 

Work under this permit will convert 2 (two) Shared Kitchens to new Residential Rooms

> Date(submittal) 5/08/12 Scale varies SA Drawn

Sheet

P:\Wcbsite\Forms - Handouis\DAchecklistdoe

# Existing restrooms (shared) are CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION UNREASONABLE HARDSHIP REQUEST

Add new ADA bath, upgrade to level floors, Install new Entry door and level landing outside new door

CBC 1103B.1 - Accessibility to buildings or portions of buildings shall be provided for all occupancy classifications except as modified or enhanced by this chapter (11B). Occupancy requirements in this chapter may modify general requirements, but never to the exclusion of them. When a building or facility contains more than one use, the occupancy specific accessibility provisions for

We request that this project be granted an exception from the following specified requirements of Title 24 Part 2 of the California

Code of Regulations because compliance would create an unreasonable hardship as defined in Section 202 of Title 24.

13. A. Cost of the accessible feature(s), which will not be provided: \$125,000 ++

Please submit appeals in person to: (415) 575-6923



