



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Open Space)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	615 Union St	Case No.:	2012.1244V
Cross Street(s):	Columbus & Stockton Street	Building Permit:	201207023925
Block / Lot No.:	0117/001	Applicant/Agent:	Stephen Antonaros
Zoning District(s):	NO BEACH / 40-X	Telephone:	415.864.2261
Area Plan:	N/A	E-Mail:	santonaros@sbcglobal.net
PROJECT DESCRIPTION			
<p>The proposal is to convert two shared kitchens into two residential bedrooms in an existing 44 bedroom group housing building. The resulting group housing building would consist of 46 bedrooms. There is no expansion of the building footprint.</p> <p>PER SECTION 135 OF THE PLANNING CODE, the additional two bedrooms within the existing bedroom group housing project require either 60 square feet of open space per bedroom if privately accessed or 160 square feet of open space if commonly accessed. The proposal does not provide any open space; therefore, a variance for open space is required.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Kate Conner Telephone: 415-575-6914 Mail: kate.conner@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2012.1244V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

There is no associated Building Permit Application with this Variance request.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

2 SECOND FLOOR PLAN (3rd Flr Similar)
A.1 Scale: 1/8" = 1'-0"

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For ALL tenant improvement projects in commercial use spaces, this checklist is required to be reproduced on the plan set and signed.

Conditions below must be fully documented by accompanying drawings

5. Read A through G below carefully and check the most applicable box (one box only):

☐ **A:** All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required.

☐ **B:** All existing conditions serving the area of remodel that do not fully comply with access requirements will be fully upgraded with this project.

☒ **C:** Proposed project (check one) ☒ is less than the threshold / ☐ is over the threshold & falls under CBC 1134B.2.1 Ex. 2; Partial upgrades, including Equivalent Facilitation will be provided up to 20% of the project value as itemized on Form C. Priority of upgrades are to be considered in the order listed on p. 2 of the D.A. Checklist. Fill out Hardship request form(s) for non-fully complying items, including for Equivalent Facilitation items. Checking box C means there are still non-complying items serving the area of remodel.

☐ **D:** Access features will either fully comply or be provided with Code defined Equivalent Facilitation. Submit an Unreasonable Hardship Request (UHR) for the Equivalent Facilitation items.

☐ **E:** Hardship appeal to be filed with Access Appeals Commission (AAC). Note: Plan check of items not under AAC consideration will continue while resolution of AAC decision is sought.

☐ **F:** Consisting only of Barrier Removal, Notice of Accessibility Violation (NOV) Compliance or Exempted Work; Fill out Form F.

☐ **G:** Minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previous approved permit application here: _____

Description of revision: _____

EDWIN M. LEE, MAYOR
VIVIAN L. DAY, C.B.O., ACTING DIRECTOR

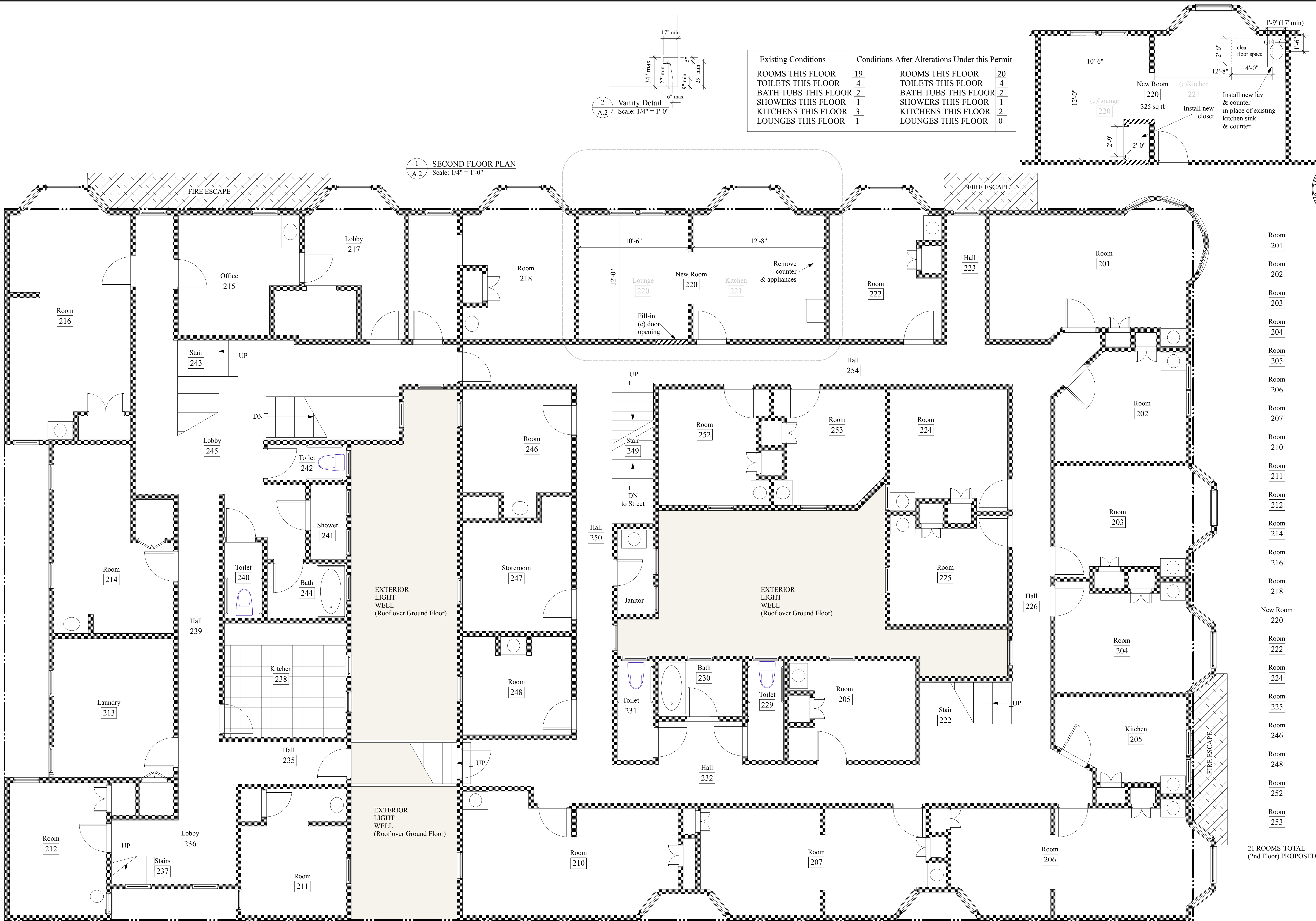
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APPLICABLE CODES:
*2010 California Building Code,
 2010 San Francisco Building Code
 California Historic Building Code
 2010 Mechanical Code,
 2010 Plumbing Code,
 2010 Electrical Code, and
 Amendments to the
 2010 California Building Code*

within 1/4 mile of:
North Beach Special Use District
North Beach Financial and Business or Professional Subdistrict
Broadway Neighborhood Commercial

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2
A.2

Vanity Detail
Scale: 1/4" = 1'-0"

Existing Conditions		Conditions After Alterations Under this Permit	
ROOMS THIS FLOOR	19	ROOMS THIS FLOOR	20
TOILETS THIS FLOOR	4	TOILETS THIS FLOOR	4
BATH TUBS THIS FLOOR	2	BATH TUBS THIS FLOOR	2
SHOWERS THIS FLOOR	1	SHOWERS THIS FLOOR	1
KITCHENS THIS FLOOR	3	KITCHENS THIS FLOOR	2
LOUNGES THIS FLOOR	1	LOUNGES THIS FLOOR	0

1
A.2

SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS

BY

STEPHEN ANTONAROS
ARCHITECT

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San Francisco, California 94114
santonaros@sbcglobal.net
(415) 864 2261
www.antonaros.com

INTERIOR ALTERATIONS

615 UNION STREET "Casa Melissa"

for
Mr. Zahid Shaikh
(415) 225-7377

Block 0117 Lot 001

San Francisco, California

Date(submittal)

5/08/12

Scale

varies

Drawn

SA

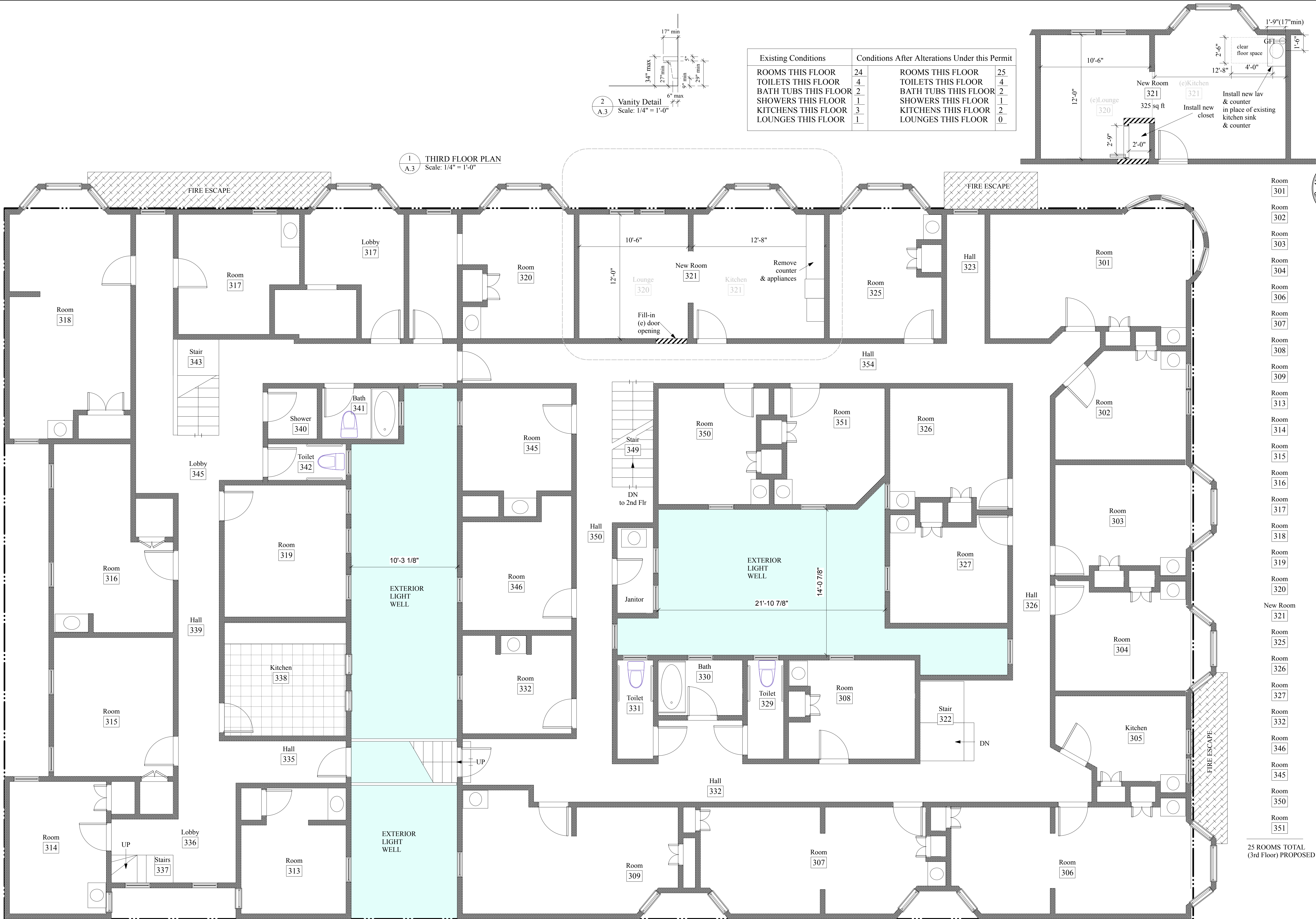
Job

Sheet

A.2

Of

Sheet



Existing Conditions		Conditions After Alterations Under this Permit	
ROOMS THIS FLOOR	24	ROOMS THIS FLOOR	25
TOILETS THIS FLOOR	4	TOILETS THIS FLOOR	4
BATH TUBS THIS FLOOR	2	BATH TUBS THIS FLOOR	2
SHOWERS THIS FLOOR	1	SHOWERS THIS FLOOR	1
KITCHENS THIS FLOOR	3	KITCHENS THIS FLOOR	2
LOUNGES THIS FLOOR	1	LOUNGES THIS FLOOR	0

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Scale

varies

Drawn

SA

Job

Sheet

A.3

Of

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