



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2013**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>68 Potomac St</b>	Case No.: <b>2012.1166V</b>
Cross Street(s): <b>Waller &amp; Duboce Street</b>	Building Permit: <b>TBD</b>
Block / Lot No.: <b>0866/016</b>	Applicant/Agent: <b>Daniel Piechota</b>
Zoning District(s): <b>RH-2 / 40-X</b>	Telephone: <b>415-551-7600</b>
Area Plan: <b>n/a</b>	E-Mail: <b>daniel@sp-architecture.com</b>

### PROJECT DESCRIPTION

The project proposes to expand a deck at the rear of the two-story over garage, single-family dwelling. A previous building permit (BPA 2012.01.24.2803) authorized the construction of a 3-story addition, deck, and rear stairs that are not part of this variance request.

**PER PLANNING CODE SECTION 134** the subject property is required to maintain a rear yard of approximately 20 feet. The proposed deck expansion would encroach approximately 2 feet into the required rear yard; therefore, a variance is required.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Christine Lamorena** Telephone: **415-575-9085** Mail: [christine.lamorena@sfgov.org](mailto:christine.lamorena@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1166V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

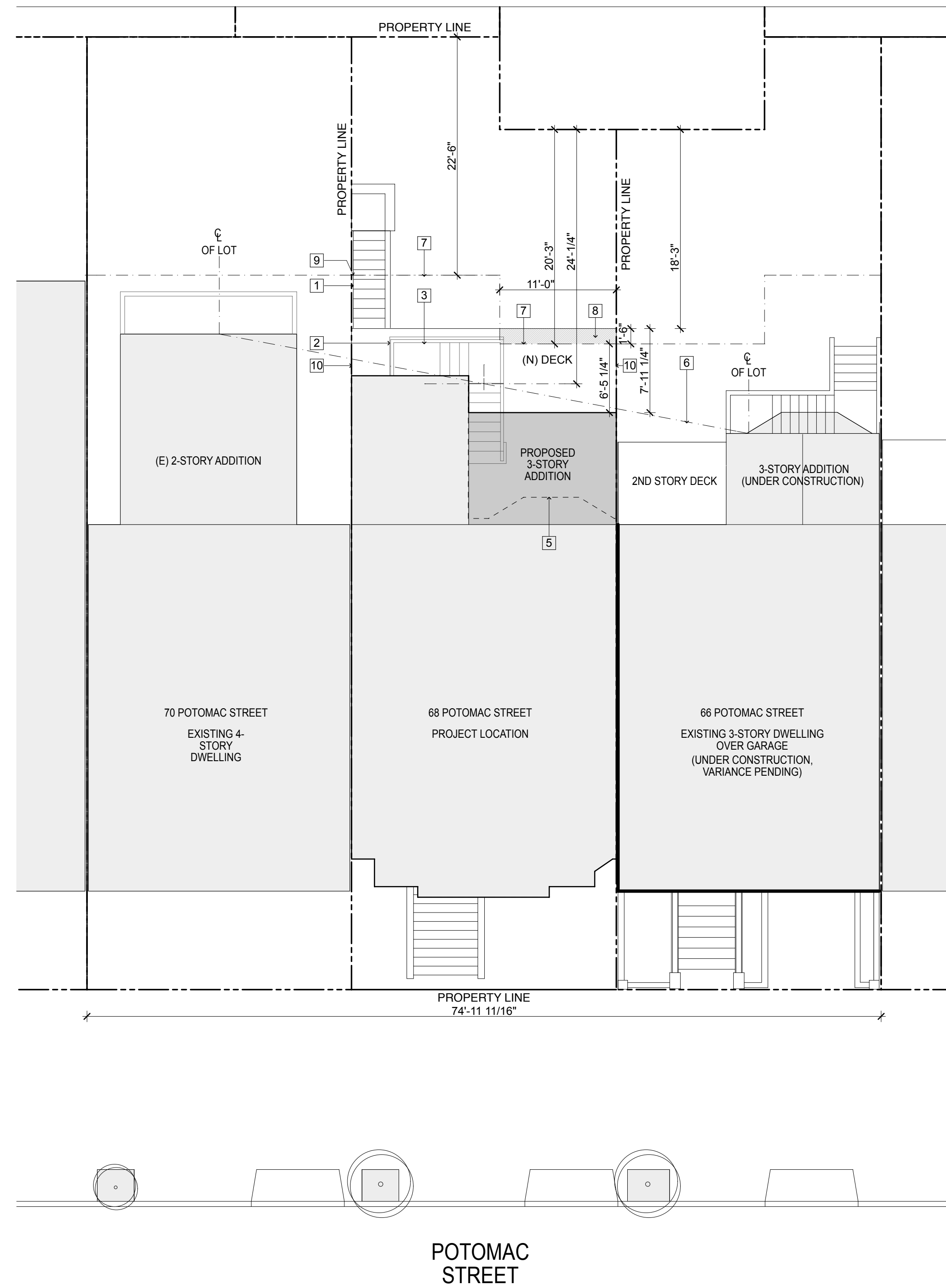
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



POTOMAC STREET

**REAR YARD SETBACK PLAN DIAGRAM 1**

SCALE: 1/8" = 1'-0"

**SHEET NOTES:**

- EXISTING WALLS OR OTHER ITEMS TO BE DEMOLISHED
- EXISTING WALLS OR OTHER ITEMS TO REMAIN

**KEYED NOTES:**

- 1 PROPOSED NEW DECK STAIR
- 2 EXISTING EXTERIOR STAIR, TO BE DEMOLISHED
- 3 EDGE OF PROPOSED NEW DECK, PER SFPC §136(C)25
- 4 LIMIT OF 45% REAR YARD SETBACK, PER §134(A)2 (FOR REFERENCE ONLY)
- 5 EDGE OF EXISTING BUILDING TO BE DEMOLISHED
- 6 LIMIT OF REAR YARD SETBACKS AS ESTABLISHED BY LINE OF AVERAGING METHOD PER §134(C)3
- 7 LINE OF LAST 25% OF LOT
- 8 SHADED AREA OF PROPOSED DECK UNDER REVIEW FOR VARIANCE APPLICATION
- 9 ELEVATION OF NEW EXTERIOR STAIR TO DECK BELOW 36" OUTSIDE OF 25% OF REAR-YARD AREA
- 10 SIDE WALLS AND DECK RAILING TO BE SOLID, FIRE-RATED WALLS

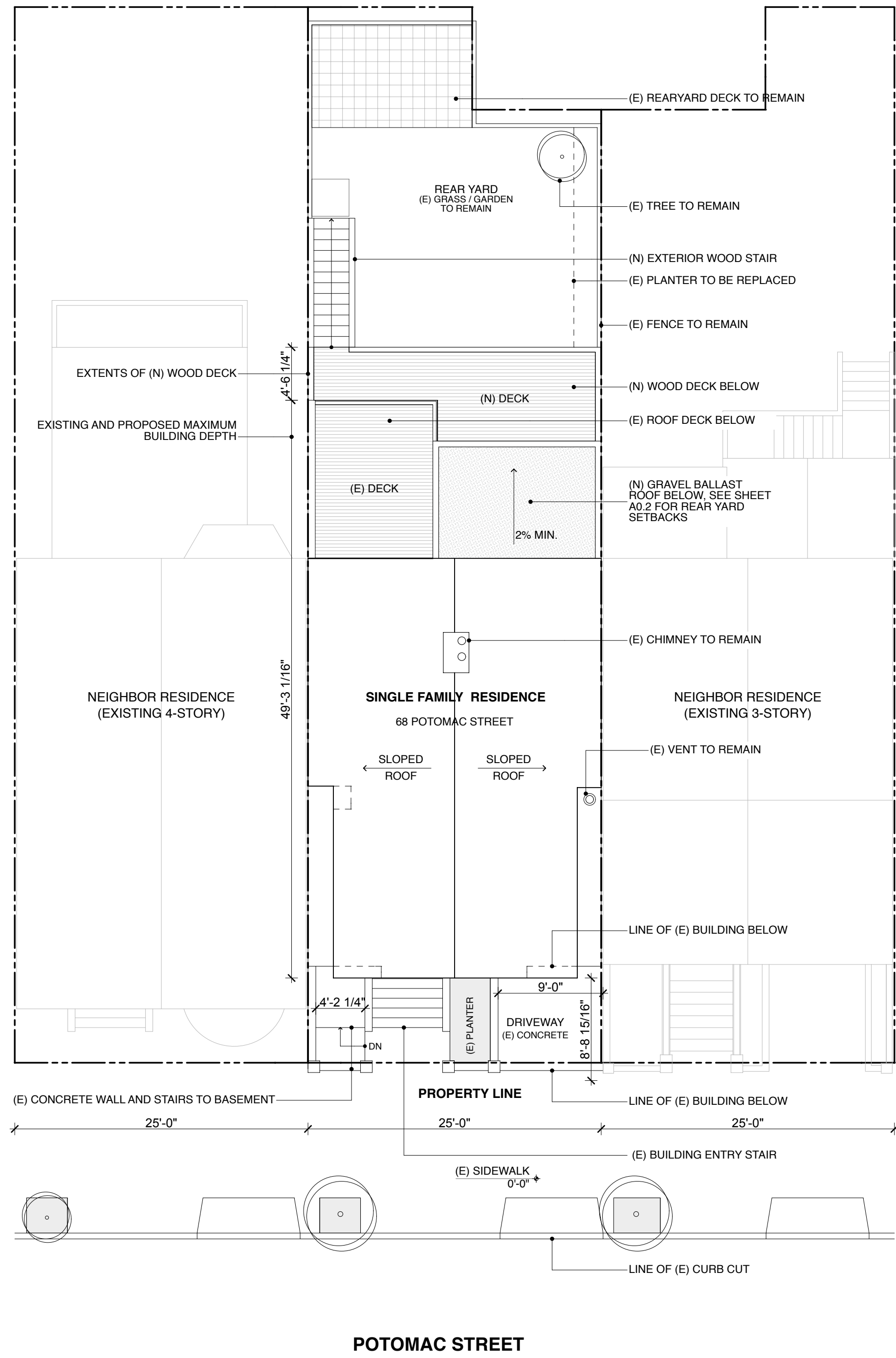


**68 POTOMAC STREET**  
 SAN FRANCISCO, CA 94117

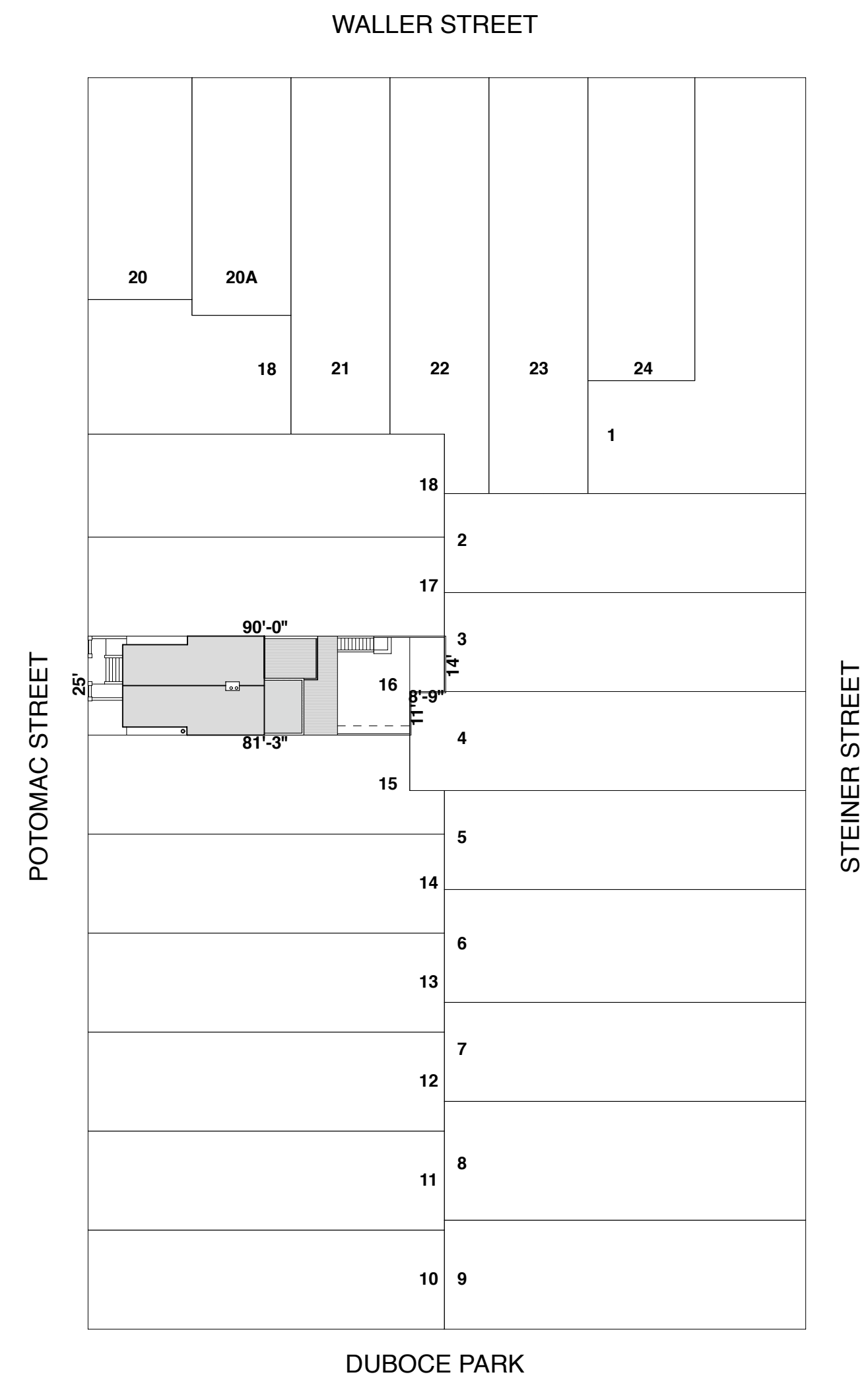
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4	08/06/2012 SUBMIT FOR USE PERMIT
5	01/03/2013 SUBMIT FOR REAR DECK VARIANCE
6	

SETBACK DIAGRAMS	
DATE: 1/3/13	DRAWING BY: AT / CH
SCALE: AS NOTED	CHECKED BY: DP

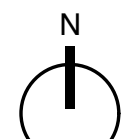
**A0.3**



  
**SITE & ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**LOCATION:** 68 POTOMAC STREET, SAN FRANCISCO, CA 94117  
**APN:** 0866016  
**ZONING:** RH-2  
**USE:** SINGLE FAMILY RESIDENCE

  
**PLOT PLAN**  
 SCALE: 1/32" = 1'-0"

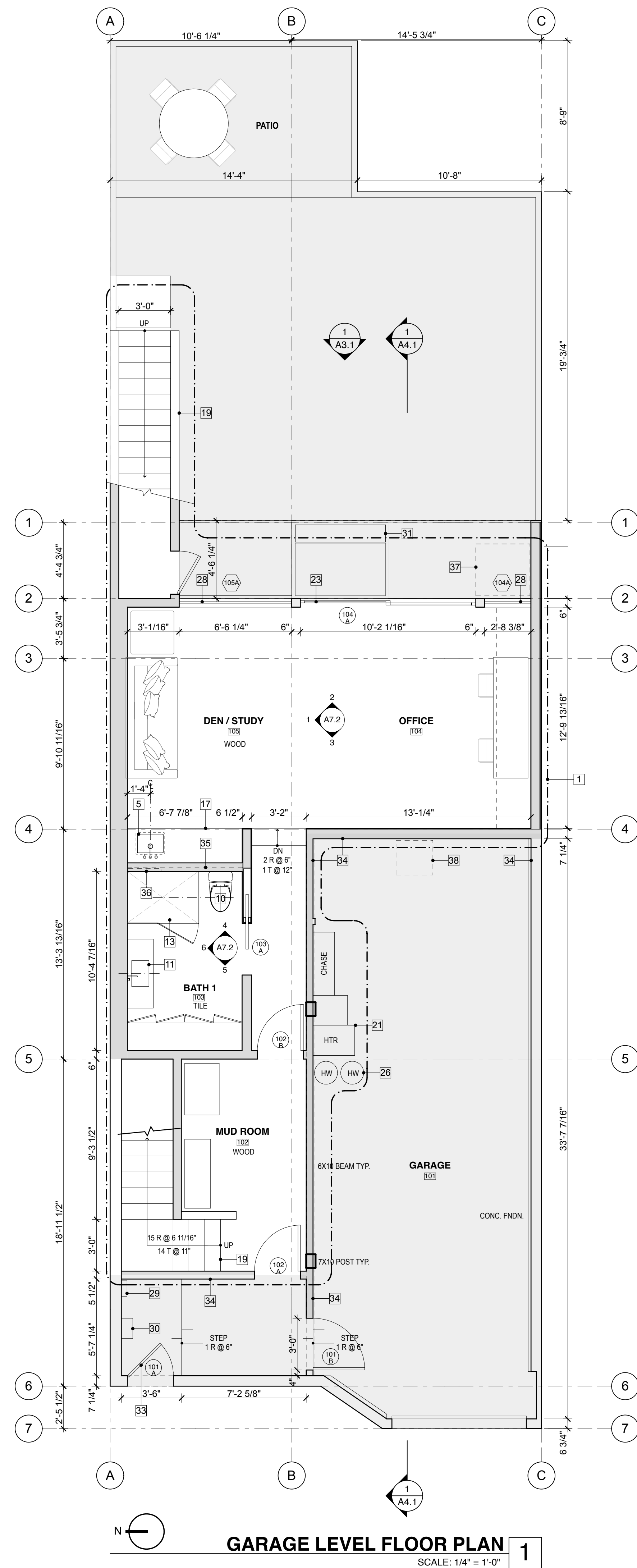
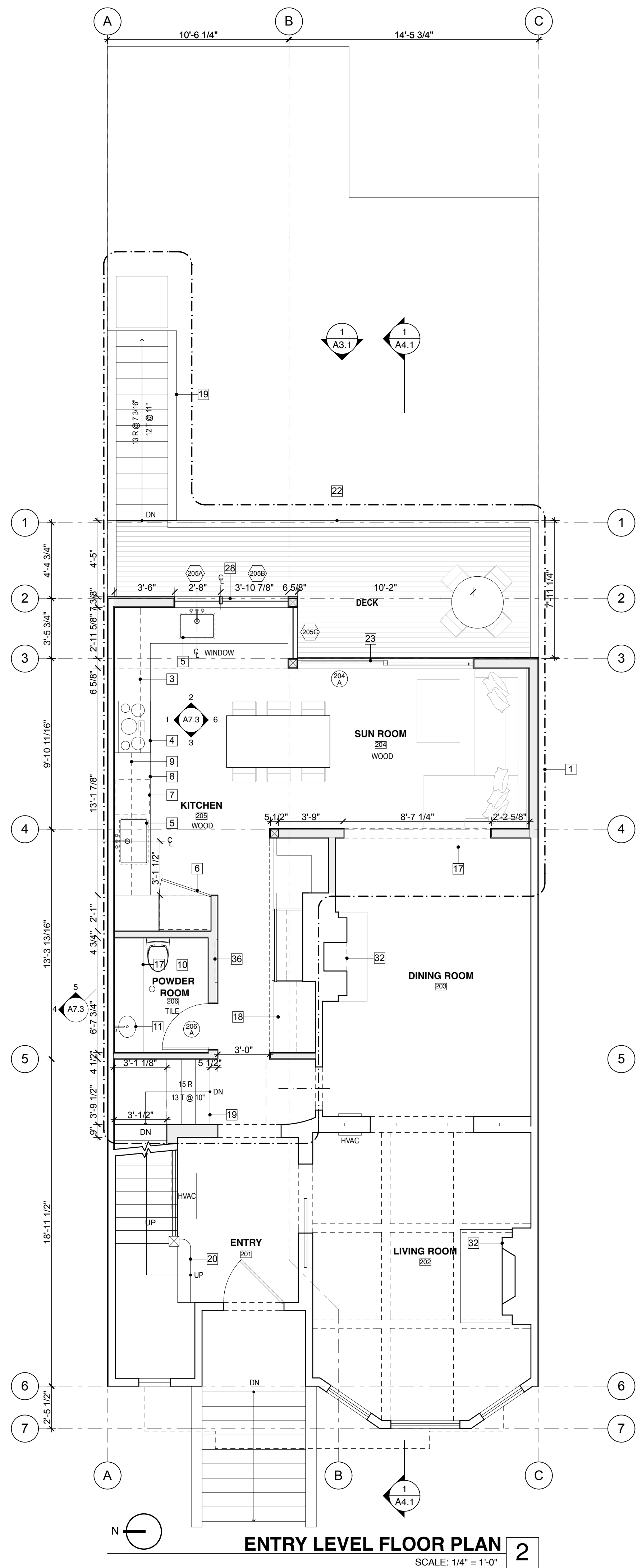


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	6		

**SITE PLAN, ROOF PLAN, & PLOT PLAN**  
 DATE: 1/3/13  
 SCALE: AS NOTED  
 DRAWING BY: AT / CH  
 CHECKED BY: DP





- KEYED NOTES:**
- NEW WALLS - THICKNESS AND FINISH TO MATCH ADJACENT WALLS, U.O.N.
  - EXISTING WALLS OR OTHER ITEMS TO REMAIN
- 1 AREA OF NEW WORK TO BE COMPLETED
  - 2 LINE OF ROOF / STRUCTURE BELOW
  - 3 CUSTOM EXHAUST HOOD ABOVE, VENT TO EXTERIOR THROUGH CEILING AND SIDE WALL
  - 4 36" GAS RANGE AND OVEN
  - 5 STAINLESS STEEL UNDER-COUNTER SINK
  - 6 36" REFRIGERATOR / FREEZER
  - 7 DISHWASHER
  - 8 BASE CABINETS
  - 9 UPPER CABINETS
  - 10 TOILET
  - 11 SINK
  - 12 BATHTUB, INSTALL 1/2" WONDERBOARD UNDER TILES TUB SURROUND
  - 13 SHOWER WITH TEMPERED GLASS ENCLOSURE, INSTALL 1/2" WONDERBOARD UNDER TILE TO HEIGHT OF 70" ABOVE DRAIN INLET
  - 14 GRAVEL BALLAST ROOF ASSEMBLY WITH BUILT-UP CURB & FLASHING
  - 15 WASHER
  - 16 DRYER
  - 17 CUSTOM BUILT-IN CABINETRY
  - 18 (N) COAT CLOSET AND BROOM CLOSET
  - 19 (N) WOOD STAIR
  - 20 (E) WOOD STAIR TO REMAIN
  - 21 (E) HVAC FORCED HOT AIR UNIT
  - 22 WOOD SLAT GUARDRAIL
  - 23 PAINTED ALUMINUM SLIDING DOOR
  - 24 SLOPE ROOF TO ROOF DRAIN, TYP.
  - 25 INTERNAL ROOF DRAIN, VERIFY FINAL LOCATION IN FIELD
  - 26 (E) HOT WATER HEATER TO BE RELOCATED
  - 27 (N) LAUNDRY CHUTE
  - 28 (N) WOOD-CLAD ALUMINUM WINDOW
  - 29 (E) ELECTRICAL PANEL
  - 30 (E) ELECTRICAL METER
  - 31 (N) CONCRETE STEP
  - 32 (E) FIREPLACE
  - 33 (N) WOOD DOOR
  - 34 1-HR RATED WALL ASSEMBLY
  - 35 GLASS OLERESTORY AT MASTER BATHROOM
  - 36 NICHE

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Daniel Piechota, Architect  
SAGAN PIECHOTA architecture  
San Francisco, 94102 Ph. 415.5577600 Fax 415.5517601  
315 Linden Street

**LICENSED ARCHITECT**  
**DANIEL PIECHOTA**  
NO. C22712  
REN. 09/2013  
STATE OF CALIFORNIA

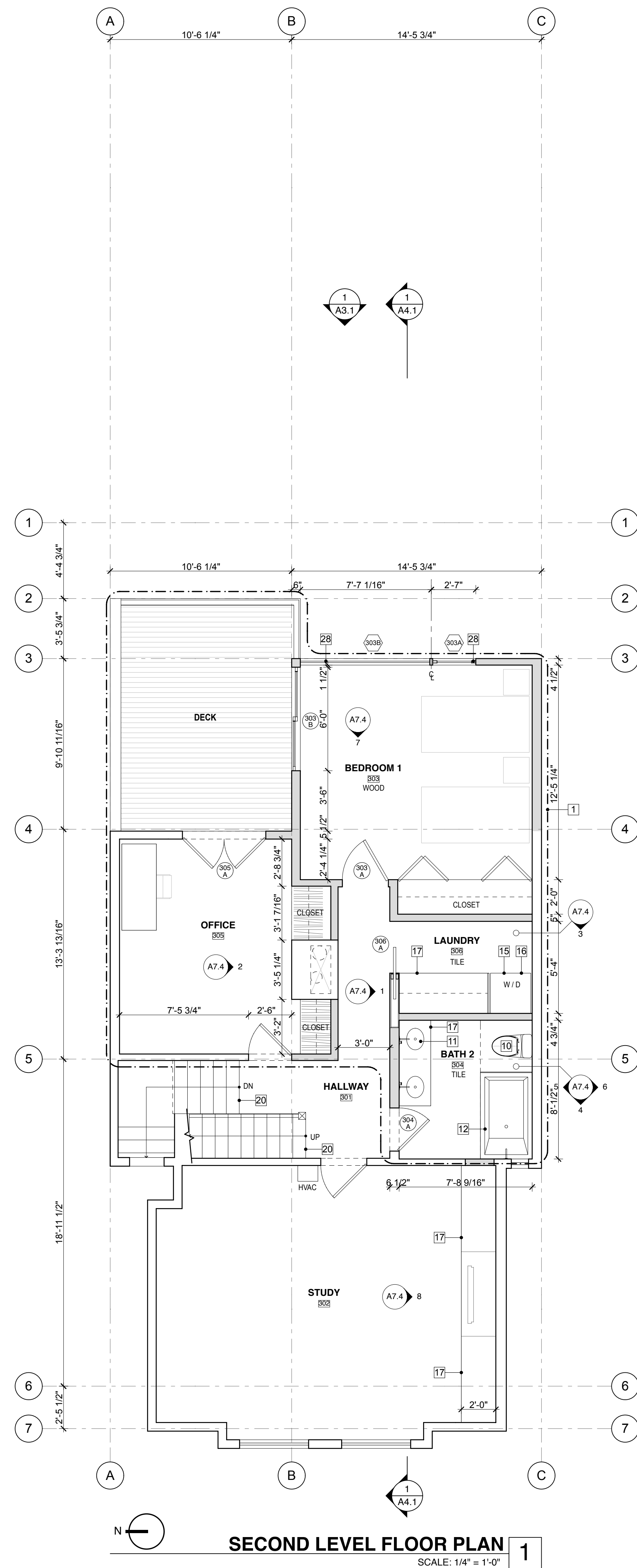
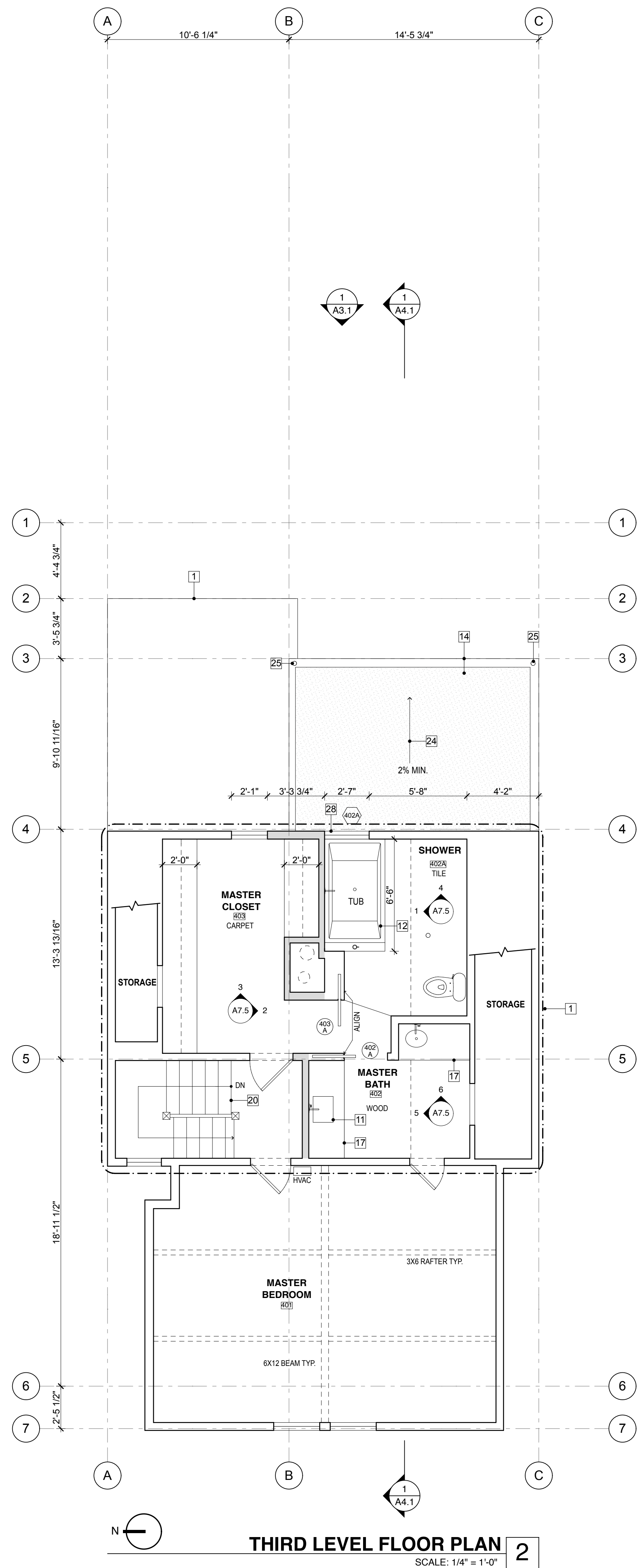
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**FLOOR PLANS**

DATE: 1/3/13 DRAWING BY: AT / CH  
SCALE: AS NOTED CHECKED BY: DP

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- KEYED NOTES:**
- NEW WALLS - THICKNESS AND FINISH TO MATCH ADJACENT WALLS, U.O.N.
  - EXISTING WALLS OR OTHER ITEMS TO REMAIN
- 1 AREA OF NEW WORK TO BE COMPLETED
  - 2 LINE OF ROOF / STRUCTURE BELOW
  - 3 CUSTOM EXHAUST HOOD ABOVE, VENT TO EXTERIOR THROUGH CEILING AND SIDE WALL
  - 4 36" GAS RANGE AND OVEN
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  - 6 36" REFRIGERATOR / FREEZER
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  - 35 GLASS CLERESTORY AT MASTER BATHROOM
  - 36 NICHE

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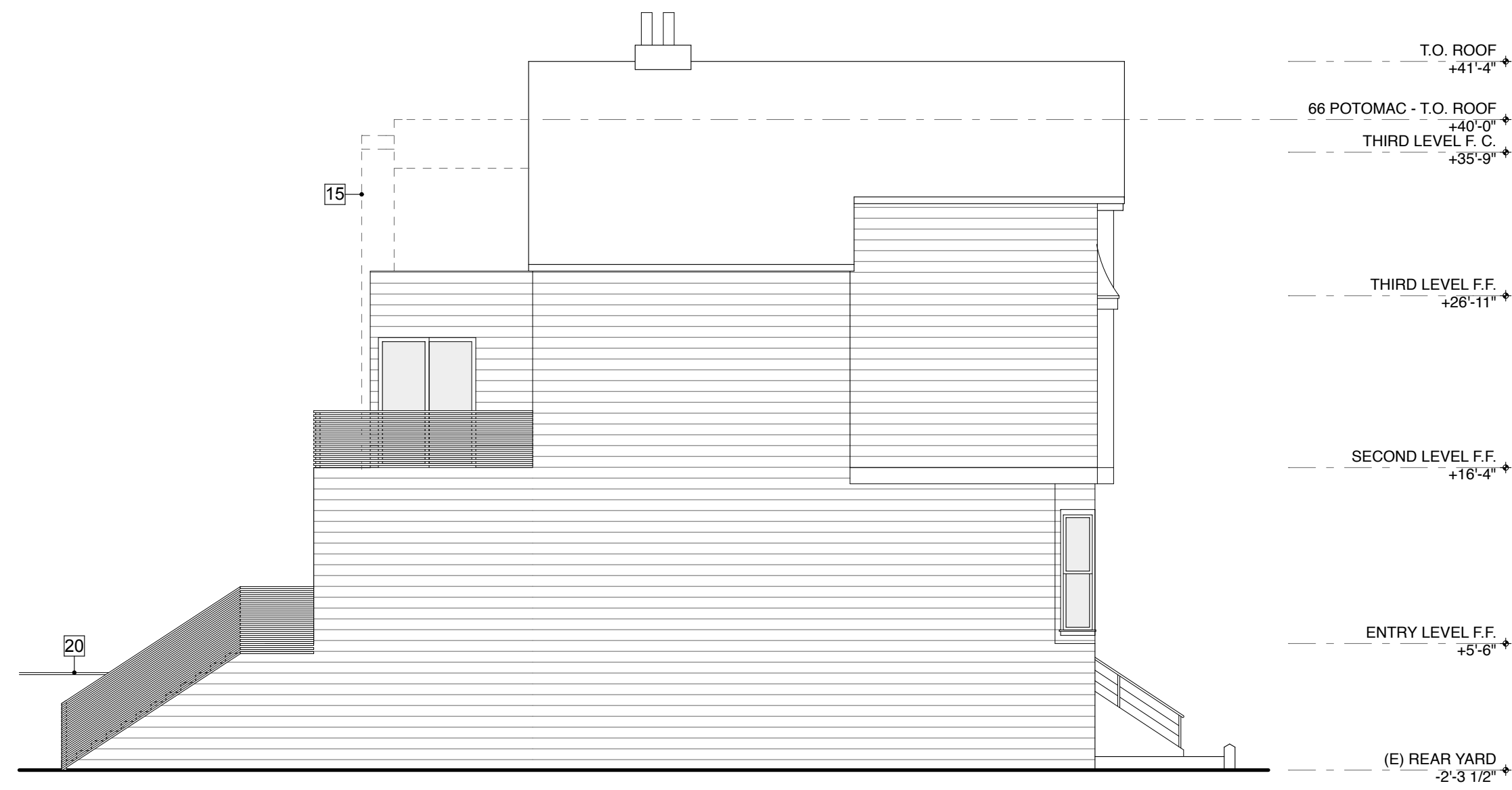
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**FLOOR PLANS**

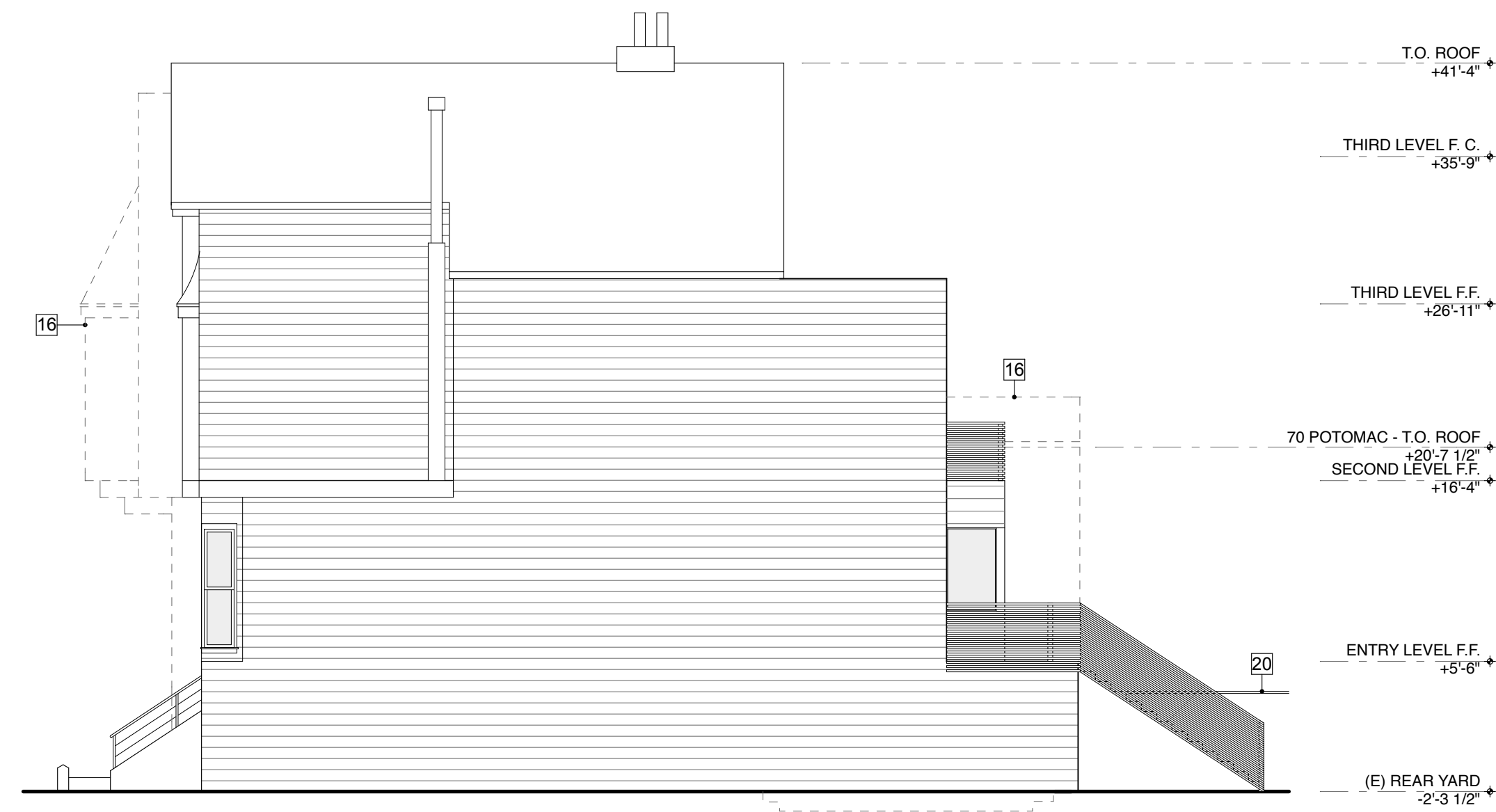
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SCALE: AS NOTED	CHECKED BY: DP

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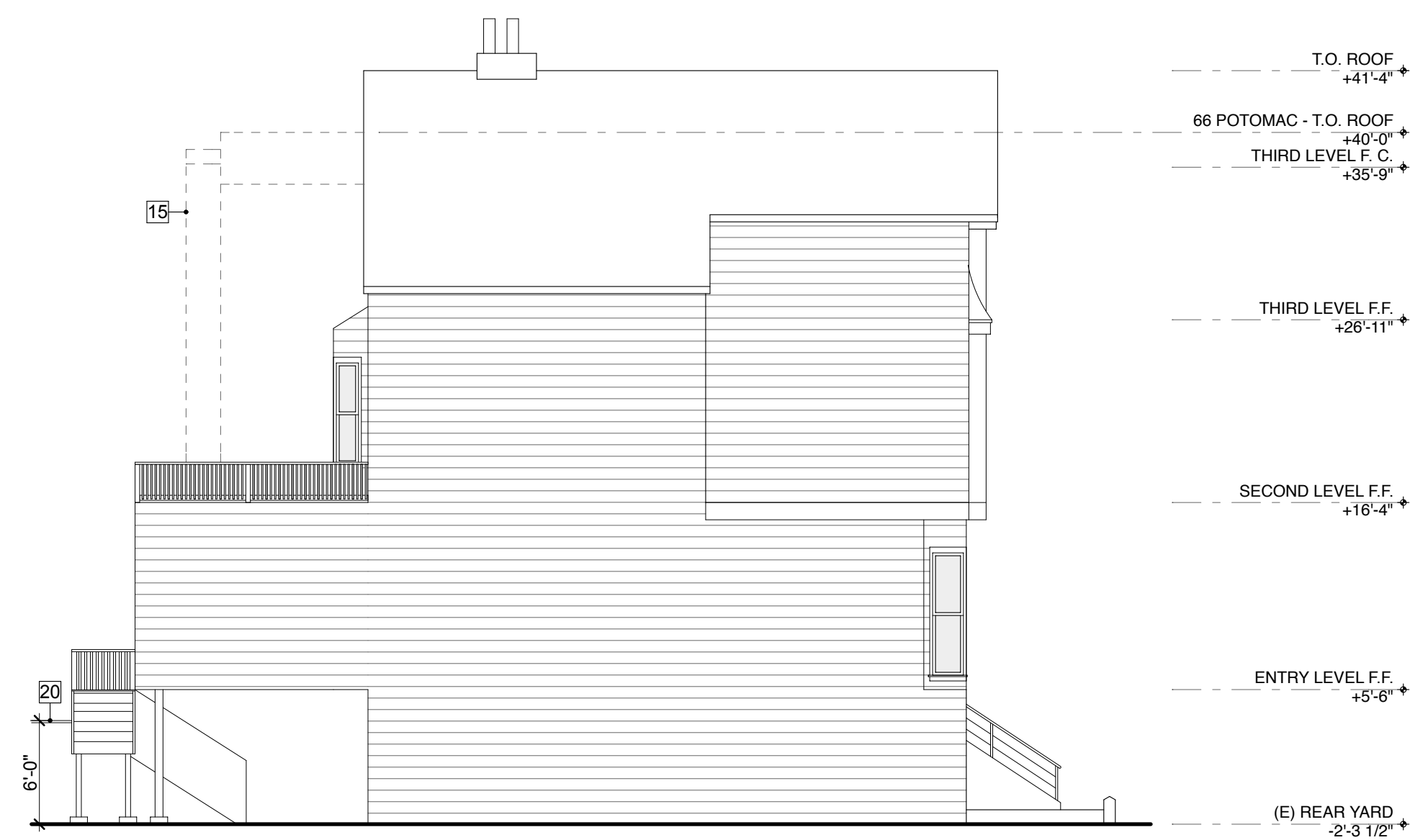




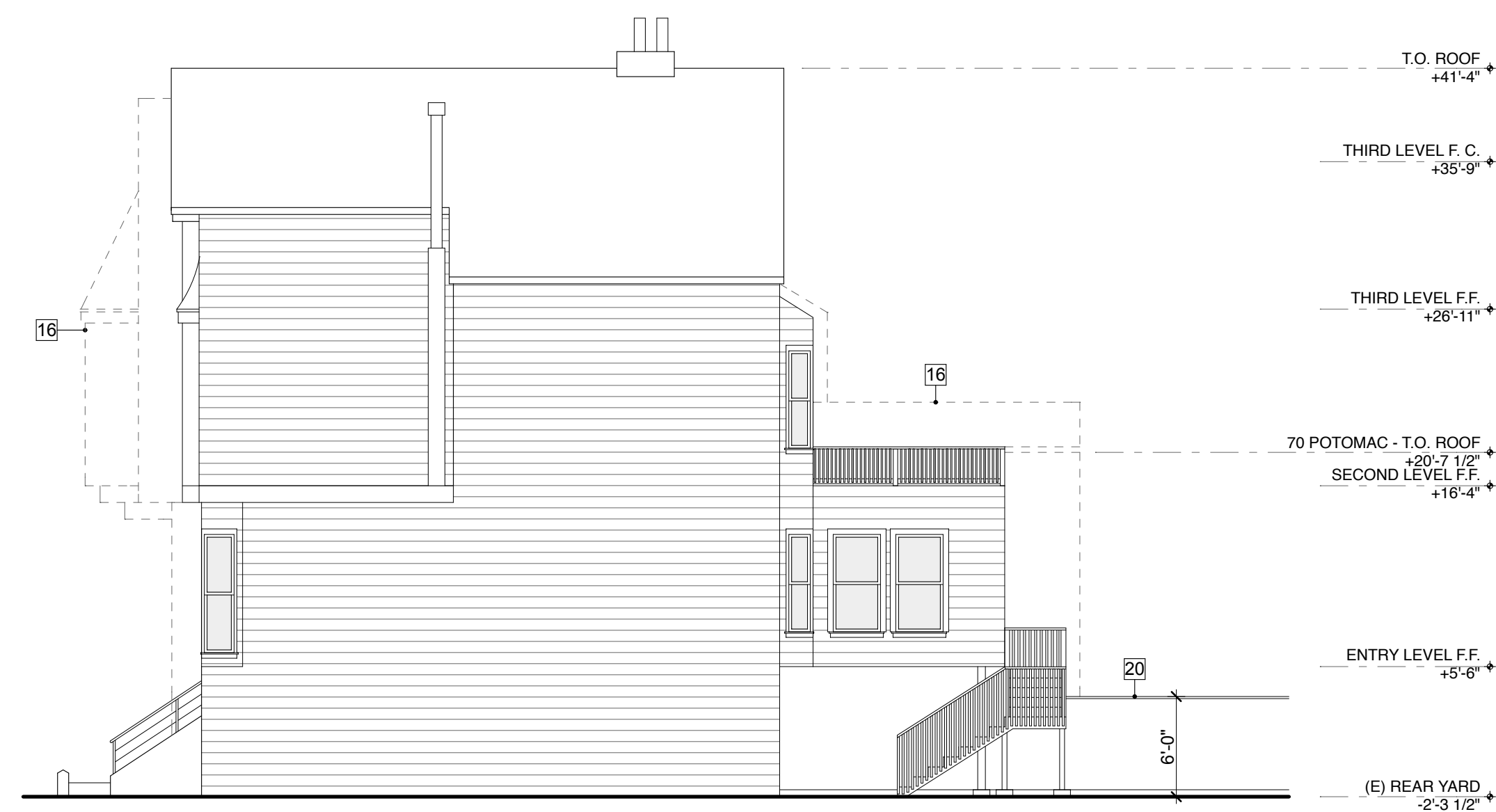
**PROPOSED NORTH ELEVATION** 4  
SCALE: 1/8" = 1'-0"



**PROPOSED SOUTH ELEVATION** 2  
SCALE: 1/8" = 1'-0"



**EXISTING NORTH ELEVATION** 3  
SCALE: 1/8" = 1'-0"



**EXISTING SOUTH ELEVATION** 1  
SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- 1 (E) WOOD WINDOWS TO REMAIN
  - 2 (N) ALUM-CLAD WESTERN FRENCH DOORS
  - 3 (N) 2" x 2" WOOD SLAT RAILING
  - 4 (N) WOOD-CLAD ALUMINUM WINDOW
  - 5 (N) WOOD-CLAD ALUMINUM SLIDING DOOR
  - 6 EXTERIOR WOOD WALL
  - 7 LINE OF NEW CONSTRUCTION
  - 8 (N) EXTERIOR STAIR TO REAR YARD
  - 9 (N) EXTERIOR METAL PANELS
  - 10 (E) GRADE AT REAR YARD
  - 11 PROPOSED GRADE AT GARAGE LEVEL ADDITION
  - 12 (N) EXTERIOR WOOD SIDING
  - 13 GRAVEL BALLAST ROOF ASSEMBLY WITH BUILT-UP CURB AND FLASHING
  - 14 POTOMAC STREET FACADE: NO WORK TO BE DONE
  - 15 OUTLINE OF 66 POTOMAC - CURRENTLY UNDER CONSTRUCTION; BUILDING/PLANNING DEPT. VARIANCE PENDING
  - 16 OUTLINE OF 70 POTOMAC
  - 17 1/2" STEEL RETAINING WALL
  - 18 CONCRETE STEP; SEE PLAN
  - 19 (N) EXTERIOR WD. DOOR
  - 20 (E) WOOD FENCE AT PROPERTY LINE
  - 21 (E) ACCORDION EMERGENCY ESCAPE LADDER



**68 POTOMAC STREET**  
SAN FRANCISCO, CA 94117

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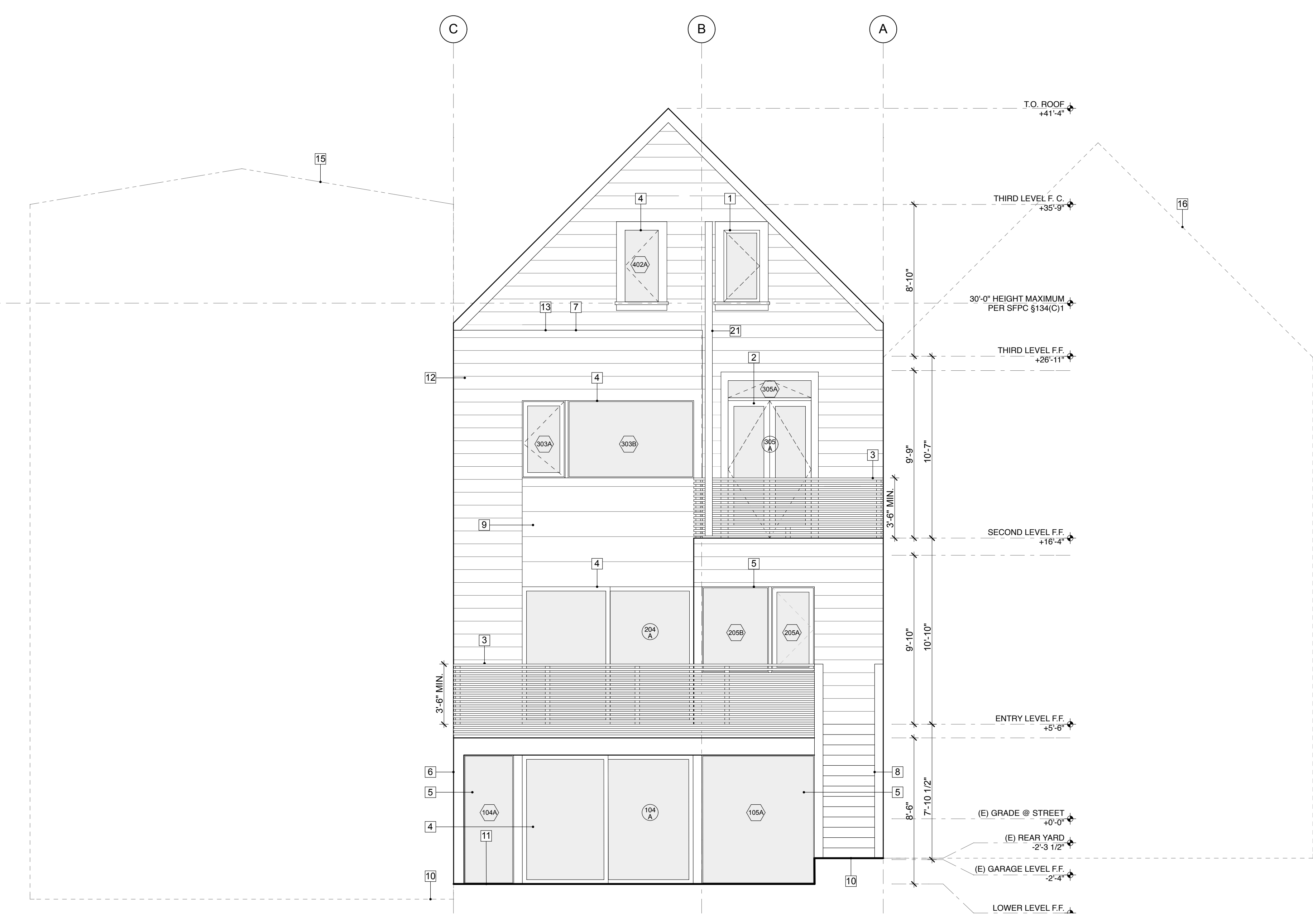
**SIDE YARD ELEVATIONS**

DATE: 1/3/13	DRAWING BY: AT / CH
SCALE: AS NOTED	CHECKED BY: DP





**EXISTING EAST ELEVATION** 2  
SCALE: 1/4" = 1'-0"



**PROPOSED EAST ELEVATION** 1  
SCALE: 1/4" = 1'-0"

- KEYED NOTES:**
- 1 (E) WOOD WINDOWS TO REMAIN
  - 2 (N) ALUM-CLAD WESTERN FRENCH DOORS
  - 3 (N) 2" x 2" WOOD SLAT RAILING
  - 4 (N) WOOD-CLAD ALUMINUM WINDOW
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  - 16 OUTLINE OF 70 POTOMAC
  - 17 1/2" STEEL RETAINING WALL
  - 18 CONCRETE STEP; SEE PLAN
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  - 20 (E) WOOD FENCE AT PROPERTY LINE
  - 21 (E) ACCORDION EMERGENCY ESCAPE LADDER

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**EAST ELEVATIONS**

DATE:	DRAWING BY: AT / CH
1/3/13	
SCALE:	CHECKED BY: DP
AS NOTED	

**A3.2**