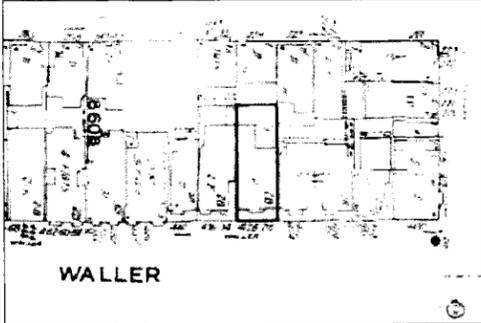
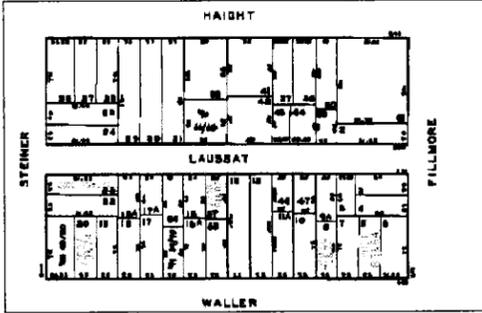


426 / 428 WALLER ST.

SITE PLAN
SCALE 1/8" = 1'-0"



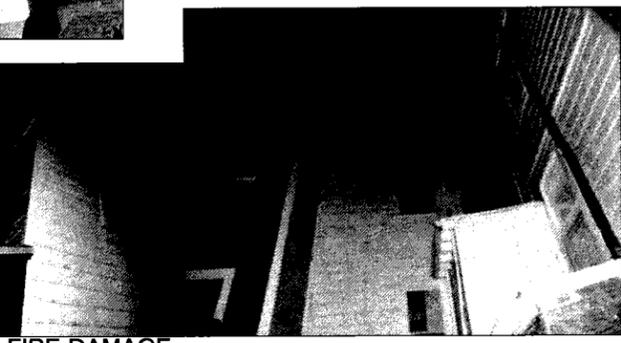
STREET VIEW



WALLER



FRONT ELEV.



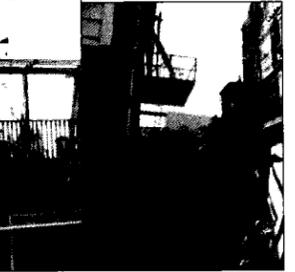
FIRE DAMAGE



BACK YARD



BACK YARD EAST



BACK YARD NORTH



BACK YARD WEST

- PROJECT SCOPE ALTERATIONS DUE TO FIRE DAMAGE**
1. Replace secondary egress with 95 S.F. deck and spiral stair from third floor to second floor
A 155 S.F. second floor deck with stairs to the ground floor.
 2. Increase living space by 60 S.F. per floor within the existing footprint where the old stairs were removed.
 3. Add laundry plumbing at the third floor expanded living space
 4. Add (3) 2-0 x 5-0 new windows to the North wall at 3rd and 2nd floors.
 5. Convert (2) 3-0 x 5-4 windows to 3-0 x 6-8 Patio doors to deck at 3rd and 2nd floor.

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUB-CONTRACTORS. BUILDING DESIGNER OF RECORD SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH 2008 TITLE 24 AND THE 2010 CALIFORNIA BUILDING CODE(S) AND ALL APPLICABLE CITY OF SAN FRANCISCO ORDINANCES WILL BE EMPLOYED DURING THIS PROJECT.
3. WHERE NO DETAILS SHOWN OR NOTED ON THE DRAWINGS THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
4. OPENINGS, POCKETS, SLEEVES, ETC. SHALL NOT BE PLACED IN SLABS, BEAMS, WALLS, COLUMNS AND FOOTINGS UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.
5. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOADS SHALL NOT EXCEED DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL. PROVIDE ADEQUATE SHORING AND BRACING IF LOAD EXCEEDS DESIGN LIVE LOAD OR WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
6. THIS SET OF DRAWINGS REPRESENTS THE FINISHED STRUCTURE. THE METHOD OF CONSTRUCTION IS NOT NECESSARILY INDICATED. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING, SCAFFOLDING ETC.
7. DESIGN LIVE LOADS: ROOF LIVE LOADS 20PSF
FLOOR LIVE LOADS 40 PSF
SEISMIC FORCE ZONE 4
SOIL PROFILE TYPE Sd
DISTANCE TO KNOWN FAULT 0 KM
WIND FORCE 100 MPH
8. ENERGY FENESTRATION U & SHGC VALUES FOR EACH WINDOW MUST BE VERIFIED PRIOR TO THE FINAL INSPECTION. DO NOT REMOVE LABELS UNTIL VERIFIED BY THE FIELD INSPECTOR.

PROJECT DATA
BLOCK # 0860 LOT 010
LOT SIZE = 1875 SF
BUILDING FOOTPRINT SF = 1210 SF
PROPOSED DECK FOOTPRINT = 155 SF

SHEET INDEX
A-1 PLOT PLAN NOTES
A-2 EXISTING FLOOR PLAN
A-3 PROPOSED FLOOR PLAN
A-4 ELEVATIONS
A-5 SECTIONS
A-6 DETAILS
A-7 TITLE 24
A-8 TITLE 24

TREADWELL DESIGN
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Sausalito, CA. 94966
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SECONDARY EGRESS STAIRS
426 428 Waller St.
SAN FRANCISCO CA.

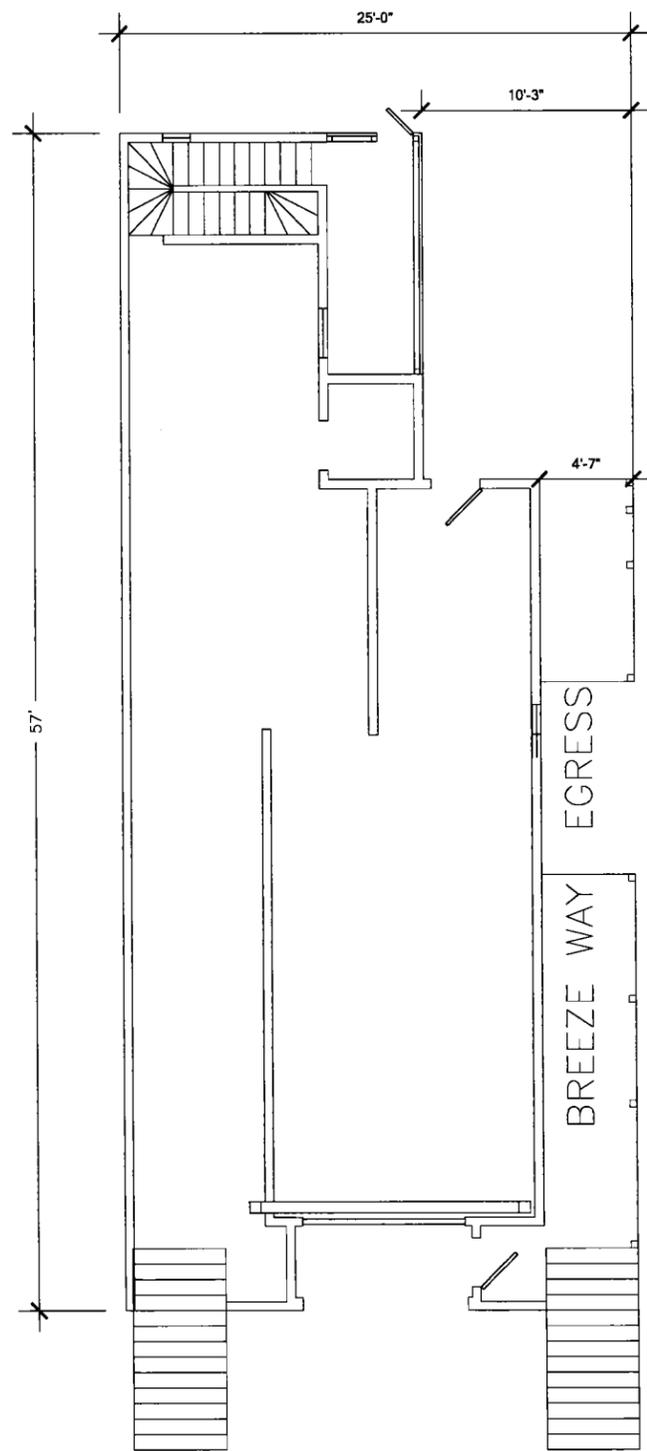
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Date _____

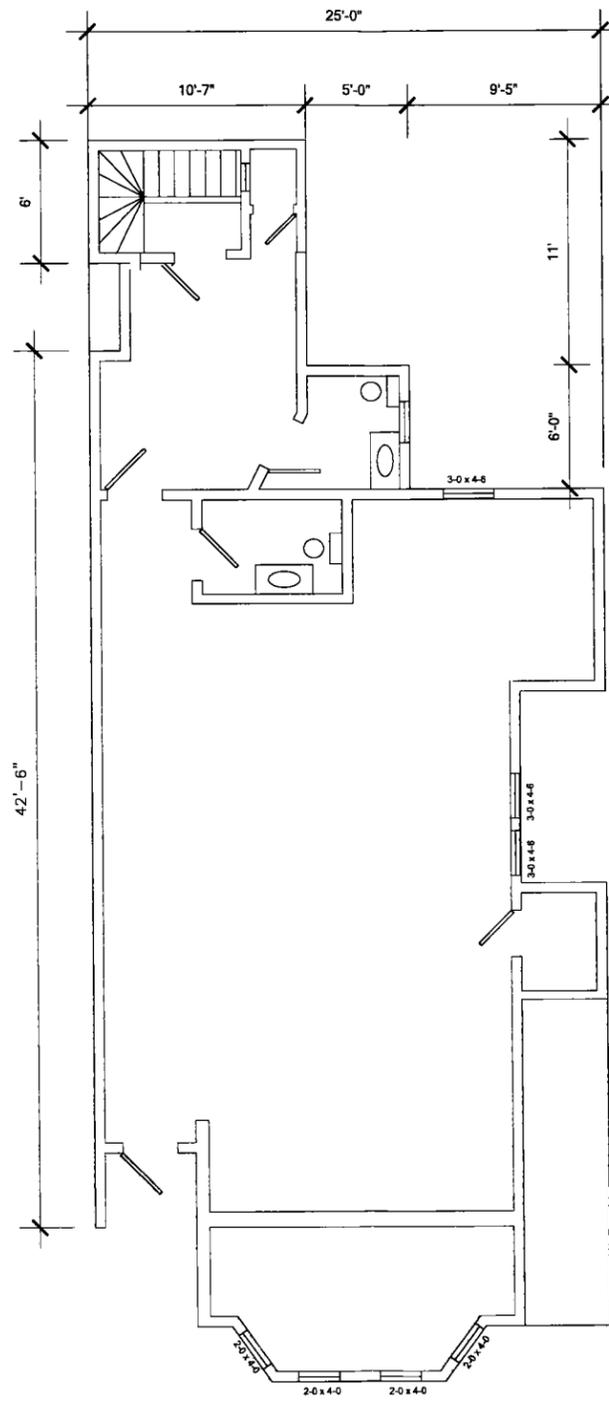
Scale as noted

PLOT PLAN

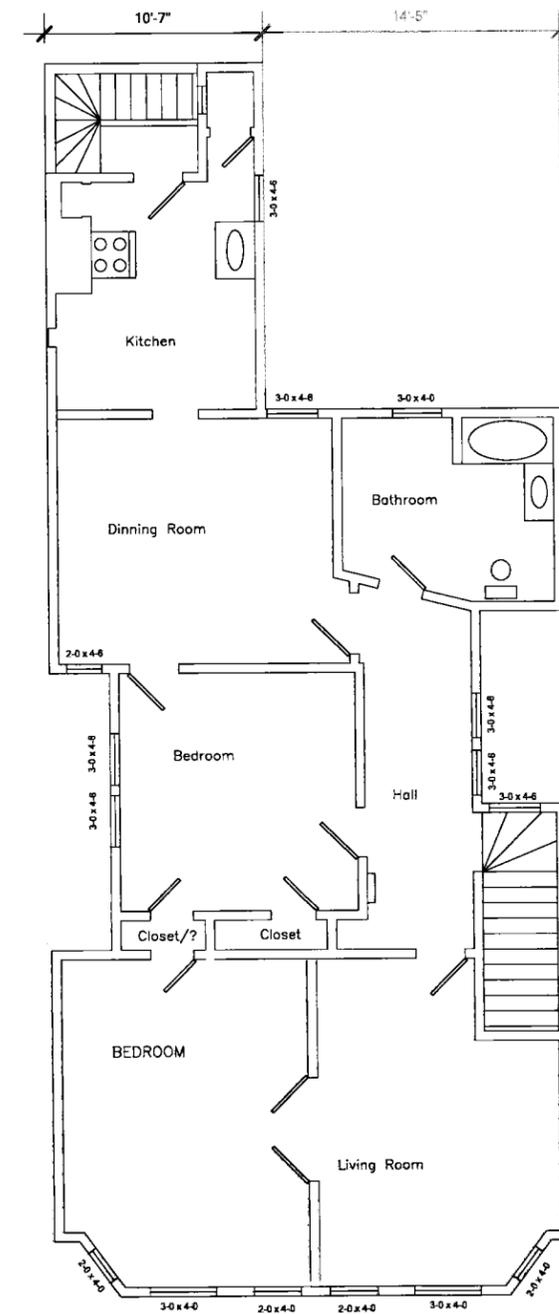
A1



1 Basement



2 428 Waller 1072 S.F.



3 Current Floor Plan 426 Waller 1170 S.F.

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SECONDARY EGRESS STAIRS
 426 428 Waller St.
 SAN FRANCISCO CA.

Drawn by: _____

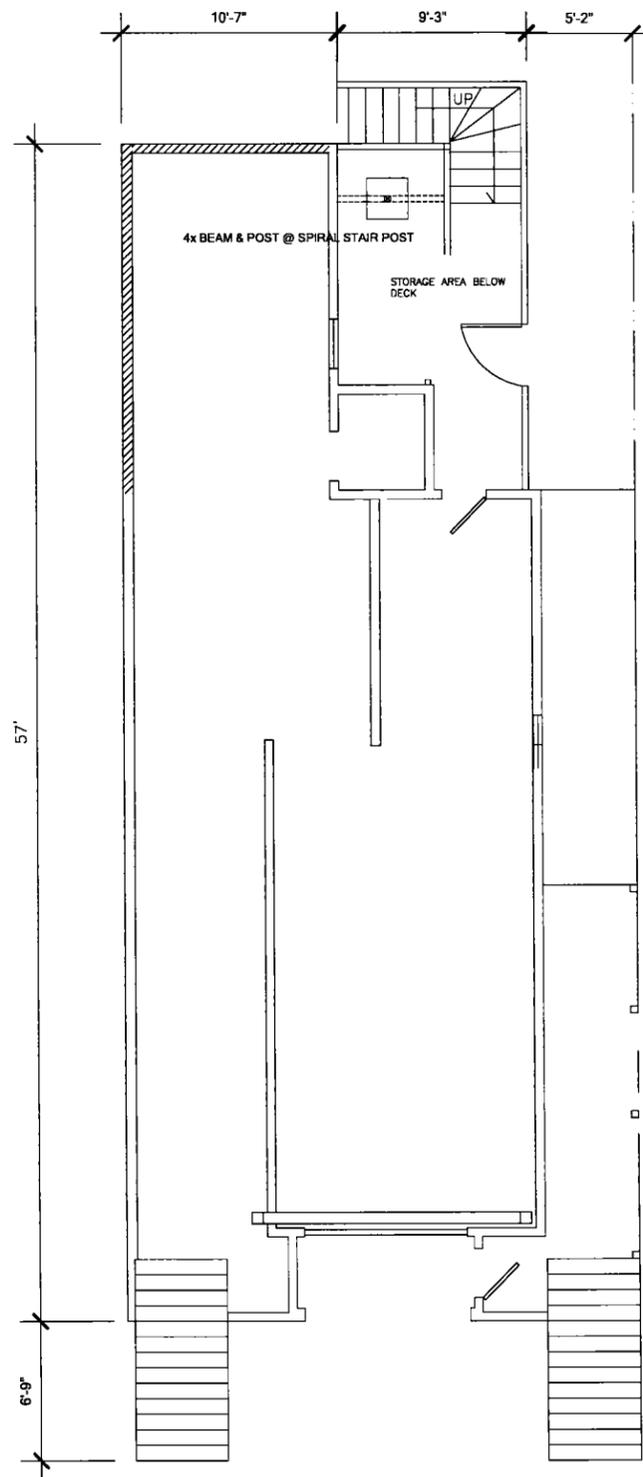
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Scale as noted

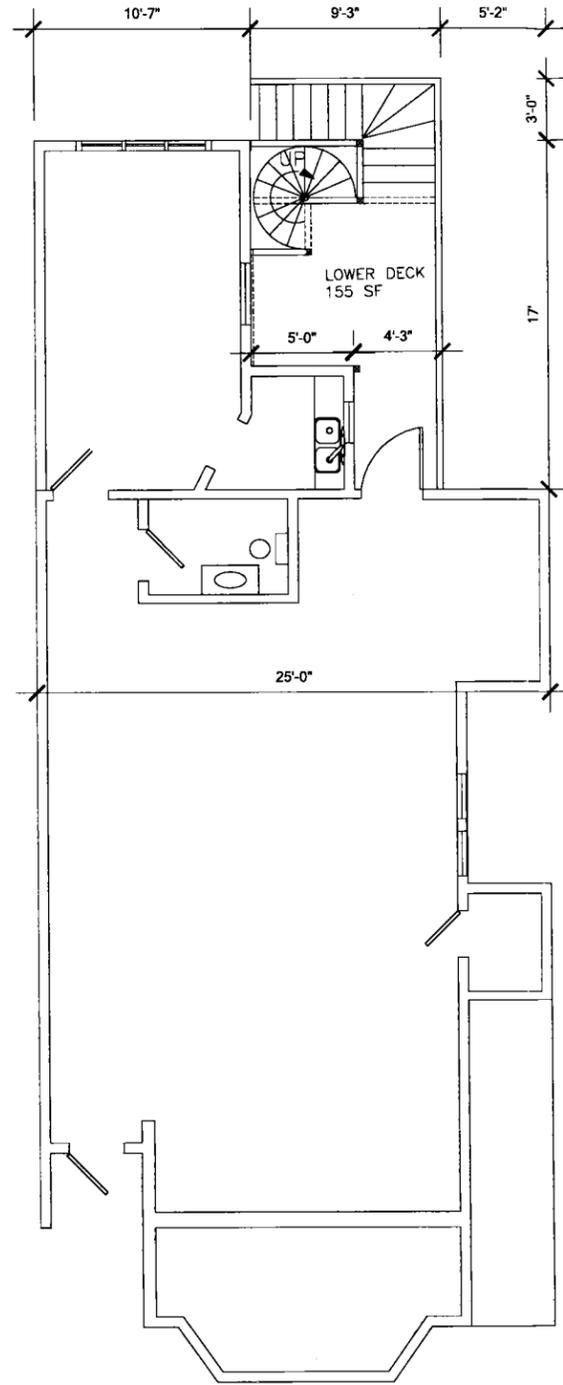
EXISTING FLOOR PLAN

SCALE 1/4" = 1'-0"

A2

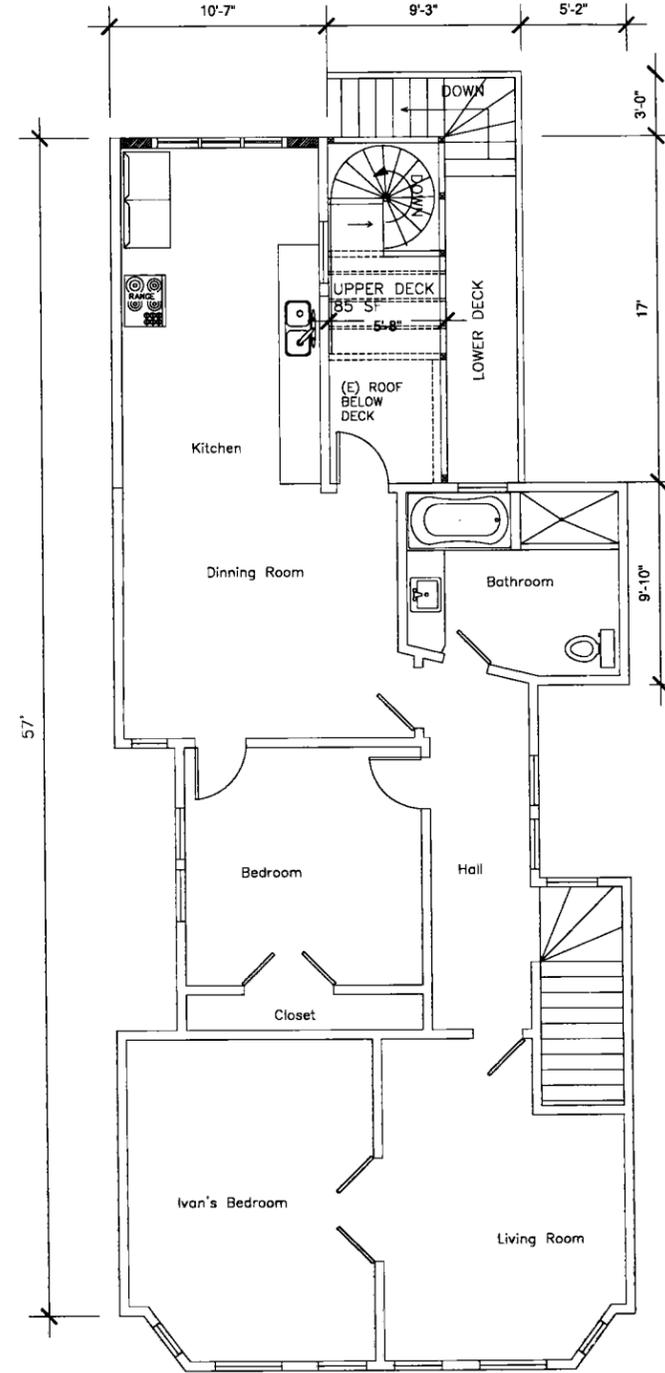


1 Garage 426 and 428 Waller



2 Proposed Floor Plan 428 Waller 2ND Floor

1072 S.F.



3 Proposed Floor Plan 426 Waller 3RD Floor

1170 S.F.

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SECONDARY EGRESS STAIRS
 426 428 Waller St.
 SAN FRANCISCO CA.

Drawn by: _____

Date _____

Scale as noted
 PROPOSED PLAN

SCALE 1/4" = 1'-0"

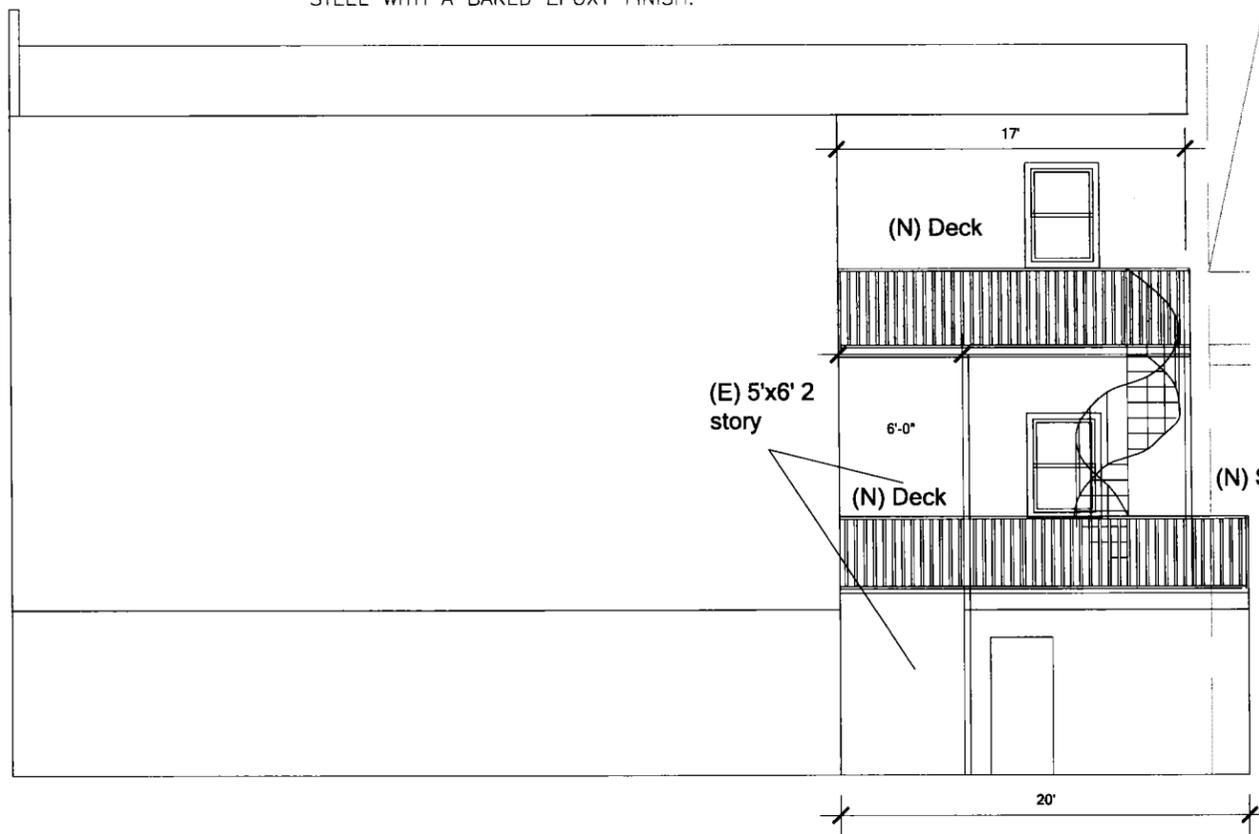
A3



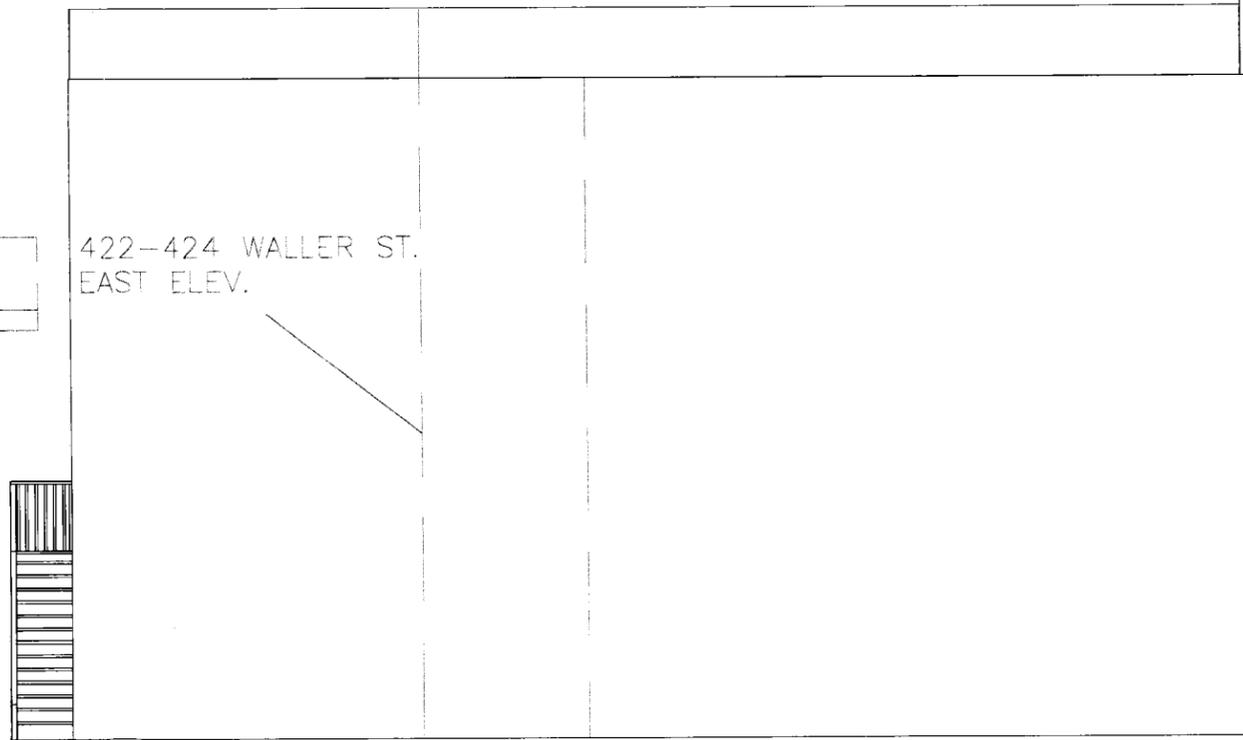
MATERIALS NOTE. THE NEW DECK RAILS AND STAIRS WILL BE MADE OF DECAY RESISTANT WOOD. THE WALLS AT THE FIRST FLOOR WILL BE FINISHED AND PAINTED TO MATCH THE EXISTING HOUSE. THE SPIRAL STAIRS WILL BE MADE OF STEEL WITH A BAKED EPOXY FINISH.

NORTH ELEVATION

434-436 WALLER ST.
WEST ELEV.

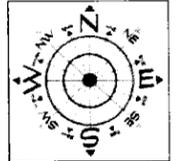


EAST ELEVATION



WEST ELEVATION

TREADWELL DESIGN
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SECONDARY EGRESS STAIRS
426 428 Waller St.
SAN FRANCISCO CA.

Drawn by: _____

Date _____

Scale 1/4" = 1'-0"

ELEVATIONS

A4