



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 28, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard, Exposure and Open Space)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 160 Russ Street	Case No.: 2012.1128V
Cross Street(s): Folsom & Howard Streets	Building Permit: 201208207754
Block / Lot No.: 3731/084	Applicant/Agent: ERIC DUMICAN
Zoning District(s): RED / 65-X	Telephone: 415-495-9322
Area Plan: East SoMa Area Plan	E-Mail: edumican@dumicanmosey.com

PROJECT DESCRIPTION

The proposal includes interior alterations, facade alterations, and a change in use from automotive repair to two dwelling units. The proposal would also establish a new roof deck for one of the dwelling units.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 25 feet. Currently, the existing light industrial building occupies the majority of the subject lot and encroaches into the required rear yard. Conversion of the building to a residential use is considered an intensification of the existing non-complying structure and requires a variance from the rear yard requirement.

PER SECTION 135 OF THE PLANNING CODE, all dwelling units must have access to either private or common useable open space. The proposal includes construction of one dwelling unit (Dwelling Unit No. 2), which does not have access to useable open space; therefore, a variance is required from Planning Code Section 135.

PER SECTION 140 OF THE PLANNING CODE, all dwelling units must directly face an open area, public street or public alley at least 25-ft in width. The proposal includes construction of one dwelling unit (Dwelling Unit No. 2), which does not directly face onto an open area, public street or public alley; therefore, a variance is required from Planning Code Section 140.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre** Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1128V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

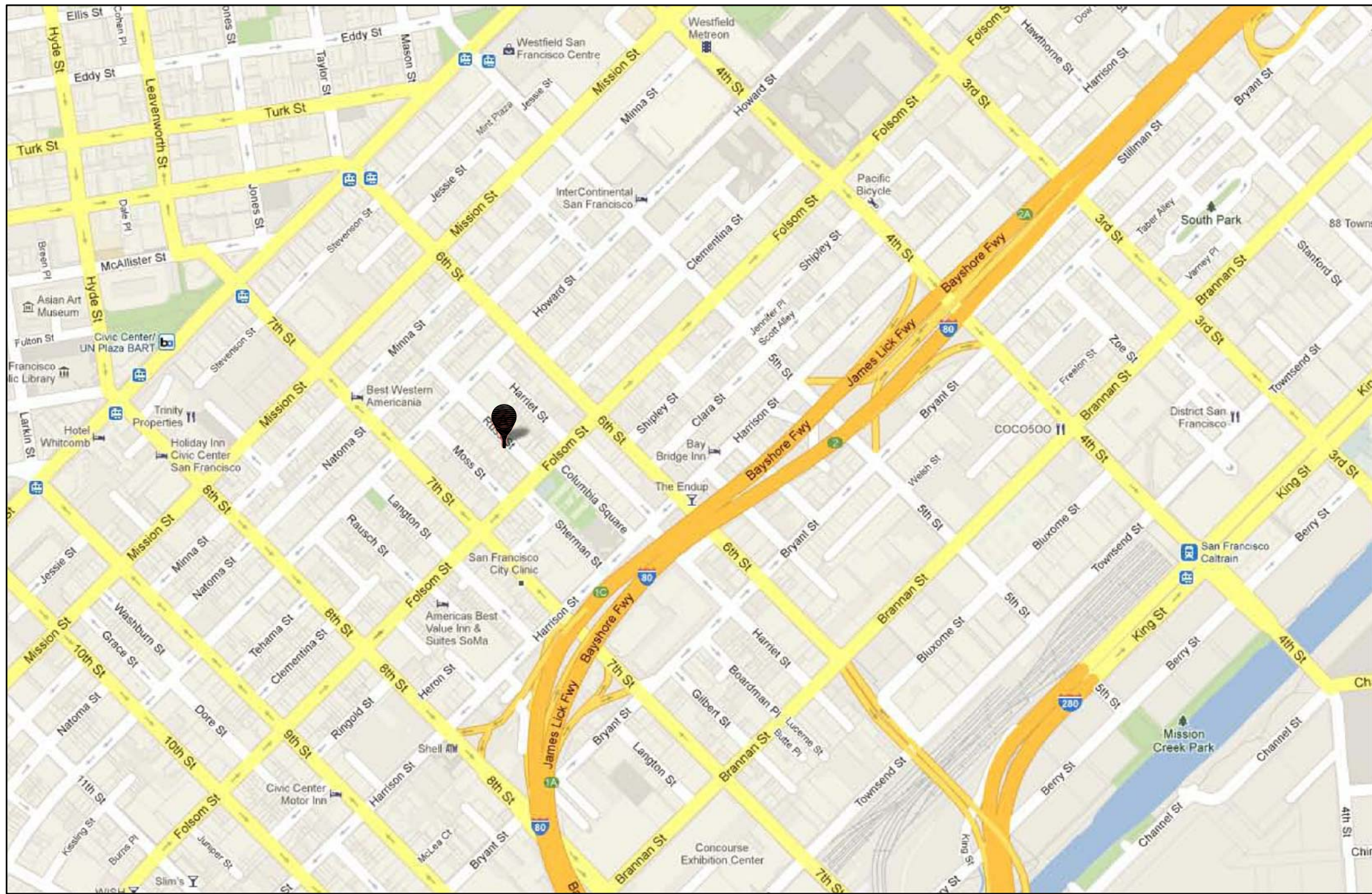
VARIANCE APPLICATION

16 AUGUST 2012

1 PLANNING REVISIONS - 07/26/2013



2 EXISTING SITE PHOTO



1 LOCATION MAP

PROJECT DATA			
PROJECT ADDRESS:	160-164 RUSS STREET SAN FRANCISCO, CA 94103		
YEAR BUILT:	1923		
BLOCK:	3731		
LOT:	084		
ZONING:	RED (SOUTH OF MARKET 'RESIDENTIAL ENCLAVE DISTRICT')		
HEIGHT LIMIT:	65'-X		
EXISTING:	PROPOSED:		
CONSTRUCTION TYPE:	TYPE "III-B"	CONSTRUCTION TYPE:	TYPE "III-B" (NO CHANGE)
OCCUPANCY:		OCCUPANCY:	
- FIRST FLOOR:	'S-1' STORAGE (MOTOR VEHICLE REPAIR GARAGE)	- FIRST FLOOR:	'R-3' RESIDENTIAL DWELLING UNIT 'U' PRIVATE GARAGE 'B' BUSINESS
- SECOND FLOOR:	'B' BUSINESS	- SECOND FLOOR:	'R-3' RESIDENTIAL DWELLING UNIT
NUMBER OF FLOORS:	2	NUMBER OF FLOORS:	2 (NO CHANGE)

SQUARE FOOTAGE CALCULATIONS:			
EXISTING:	PROPOSED:		
FLOOR 1:	FLOOR 1:		
- HABITABLE AREA:	(+/-) 4740 GSF.	- HABITABLE AREA (RESIDENTIAL DWELLING UNIT #1):	(+/-) 388 GSF.
		- HABITABLE AREA (RESIDENTIAL DWELLING UNIT #2):	(+/-) 615 GSF.
FLOOR 2:		- HABITABLE AREA (COMMERCIAL UNIT):	(+/-) 2173 GSF.
- HABITABLE AREA:	(+/-) 4740 GSF.	- PRIVATE GARAGE & STORAGE AREA:	(+/-) 551 GSF.
		- SUB-TOTAL (FLOOR 1):	(+/-) 3727 GSF.
		FLOOR 2:	
		- HABITABLE AREA (RESIDENTIAL DWELLING UNIT #1):	(+/-) 4298 GSF.
		- EXTERIOR TERRACE/"LIGHT-COURT" AREA (RESIDENTIAL DWELLING UNIT #1):	(+/-) 482 GSF.
		- SUB-TOTAL (FLOOR 2):	(+/-) 4740 GSF.
		ROOF:	
		- PRIVATE ROOF DECK AREA (RESIDENTIAL DWELLING UNIT #1):	(+/-) 959 GSF.

TOTAL HABITABLE AREA:	(+/-) 9480 GSF.	TOTAL HABITABLE AREA (BY USE):	
		- HABITABLE AREA (RESIDENTIAL DWELLING UNIT #1):	(+/-) 4646 GSF
		- HABITABLE AREA (RESIDENTIAL DWELLING UNIT #2):	(+/-) 615 GSF.
		- HABITABLE AREA (COMMERCIAL UNIT):	(+/-) 2173 GSF.
		- PRIVATE GARAGE & STORAGE AREA:	(+/-) 551 GSF.
		TOTAL HABITABLE AREA:	(+/-) 7985 GSF
		TOTAL EXTERIOR SPACE (RESIDENTIAL UNIT #1):	
		- EXTERIOR TERRACE/"LIGHT-COURT" AREA (RESIDENTIAL DWELLING UNIT #1):	(+/-) 482 GSF.
		- PRIVATE ROOF DECK AREA (RESIDENTIAL DWELLING UNIT #1):	(+/-) 959 GSF.
		TOTAL EXTERIOR SPACE (RESIDENTIAL UNIT #1):	(+/-) 1441 GSF

CODES:	
2010 CALIFORNIA BUILDING CODE*	
2010 CALIFORNIA PLUMBING CODE*	
2010 CALIFORNIA ELECTRIC CODE*	
2010 CALIFORNIA MECHANICAL CODE*	
2010 CALIFORNIA GREEN STANDARDS BUILDING CODE	
2010 CALIFORNIA RESIDENTIAL CODE*	
2010 CALIFORNIA ENERGY CODE	
*AND AS AMENDED BY THE CITY OF SAN FRANCISCO	

160-164 RUSS STREET
SAN FRANCISCO, CA 94103

PROJECT DESCRIPTION:

THE SCOPE OF WORK GENERALLY CONSISTS OF THE RENOVATION AND ALTERATIONS TO AN EXISTING 2-STORY, CONCRETE BUILDING INCLUDING: 1) CONVERSION OF THE GROUND FLOOR FROM THE EXISTING AUTO REPAIR SHOP TO A RESIDENTIAL DWELLING UNIT AT THE FRONT OF THE BUILDING AND ARTIST STUDIO/GALLERY AT THE REAR OF THE BUILDING, 2) CONVERSION OF THE SECOND FLOOR FROM EXISTING COMMERCIAL SPACE TO A RESIDENTIAL DWELLING UNIT, 3) NEW PRIVATE ROOF DECK AND STAIR SERVING THE SECOND FLOOR RESIDENTIAL DWELLING UNIT, 4) RESTORATION OF EXISTING HISTORIC ELEMENTS OF THE FRONT FACADE, 5) ALTERATIONS TO NON-HISTORIC ELEMENTS OF THE FRONT FACADE, 6) STRUCTURAL ALTERATIONS AND FULL SEISMIC RETROFIT, 7) MODIFICATIONS TO EXISTING MECHANICAL-, PLUMBING AND ELECTRICAL SYSTEMS

DRAWING LIST:

- COVER SHEET
- 1 A0.0 RENDERING: RUSS STREET FACADE
A0.1 EXISTING DEMO SITE PLAN (FOR REF. ONLY)
& SUMMARY OF PLANNING CODE STANDARDS
A0.2 PROPOSED SITE/ROOF PLAN
A0.3 BUILDING CODE ANALYSIS AND DIAGRAMS
- D1.1 EXISTING/DEMOLITION FIRST FLOOR PLAN
D1.2 EXISTING/DEMOLITION SECOND FLOOR PLAN
D1.3 EXISTING/DEMOLITION ROOF PLAN
A1.1 PROPOSED FIRST FLOOR PLAN
A1.2 PROPOSED SECOND FLOOR PLAN
A1.3 PROPOSED ROOF DECK PLAN
A1.4 PROPOSED UPPER ROOF PLAN
- D2.1 EXISTING/DEMOLITION EXTERIOR ELEVATION (EAST)
D2.2 EXISTING/DEMOLITION EXTERIOR ELEVATION (WEST)
D2.3 EXISTING/DEMOLITION EXTERIOR ELEVATION (NORTH AND SOUTH)
A2.1 PROPOSED EXTERIOR ELEVATION (EAST)
A2.2 PROPOSED EXTERIOR ELEVATION (WEST)
A2.3 PROPOSED EXTERIOR ELEVATION (NORTH AND SOUTH)
- A3.1 LONGITUDINAL BUILDING SECTION 'A-A'
A3.2 LONGITUDINAL BUILDING SECTION 'B-B'
A3.3 LONGITUDINAL BUILDING SECTION 'C-C'

GEOTECHNICAL INFORMATION:

THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING; FOUNDATION EXCAVATIONS; PREPARATION OF SUBGRADE AND UNDERLAYMENT BENEATH SLAB ON GRADE; AND FINAL DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY HERZOG GEOTECHNICAL ENGINEERS, DATED JUNE 14, 2012. HERZOG GEOTECHNICAL ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (415-388-8355) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

PROJECT TEAM:	
OWNERS:	ARCHITECT:
MICHAEL ISARD & KLARI REIS 81 LANGTON STREET, SUITE 11 SAN FRANCISCO, CA 94103 T: (KLARI); (415) 710-7500 E: (MICHAEL); MISARD@MICHAELISARD.COM E: (KLARI); KLARIART@GMAIL.COM	DUMICAN MOSEY ARCHITECTS 880 HARRISON STREET, NO. 302 SAN FRANCISCO, CA 94107 T: 415.495.9322 F: 415.651.9280 E: EDUMICAN@DUMICANMOSEY.COM C: ERIC DUMICAN
STRUCTURAL ENGINEER:	GEOTECHNICAL CONSULTANT
YU-STRANDBERG ENGINEERING 410 12TH STREET, SUITE 200 OAKLAND, CA 94607 T: (510) 783-0475 F: (510) 783-0476 E: PETER@YUSENGINEERING.COM C: PETER YU, S.E.	HERZOG GEOTECHNICAL 70 WOODSIDE LANE MILL VALLEY, CA 94841 T: (415) 388-3355 F: (415) 388-0286 E: HERZOGGEO@EARTHLINK.NET C: CRAIG HERZOG, G.E.

DUMICAN MOSEY
ARCHITECTS

NOT FOR CONSTRUCTION



160-164 RUSS STREET
SAN FRANCISCO, CA. 94103

DUMICAN MOSEY
ARCHITECTS

880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

NOT FOR CONSTRUCTION

Job No.	12104.00	
Issue	Date	
VARIANCE APPLICATION	08/16/12	
PLANNING REVISIONS	07/26/13	

Drawing Title

RENDERING:
RUSS STREET FACADE

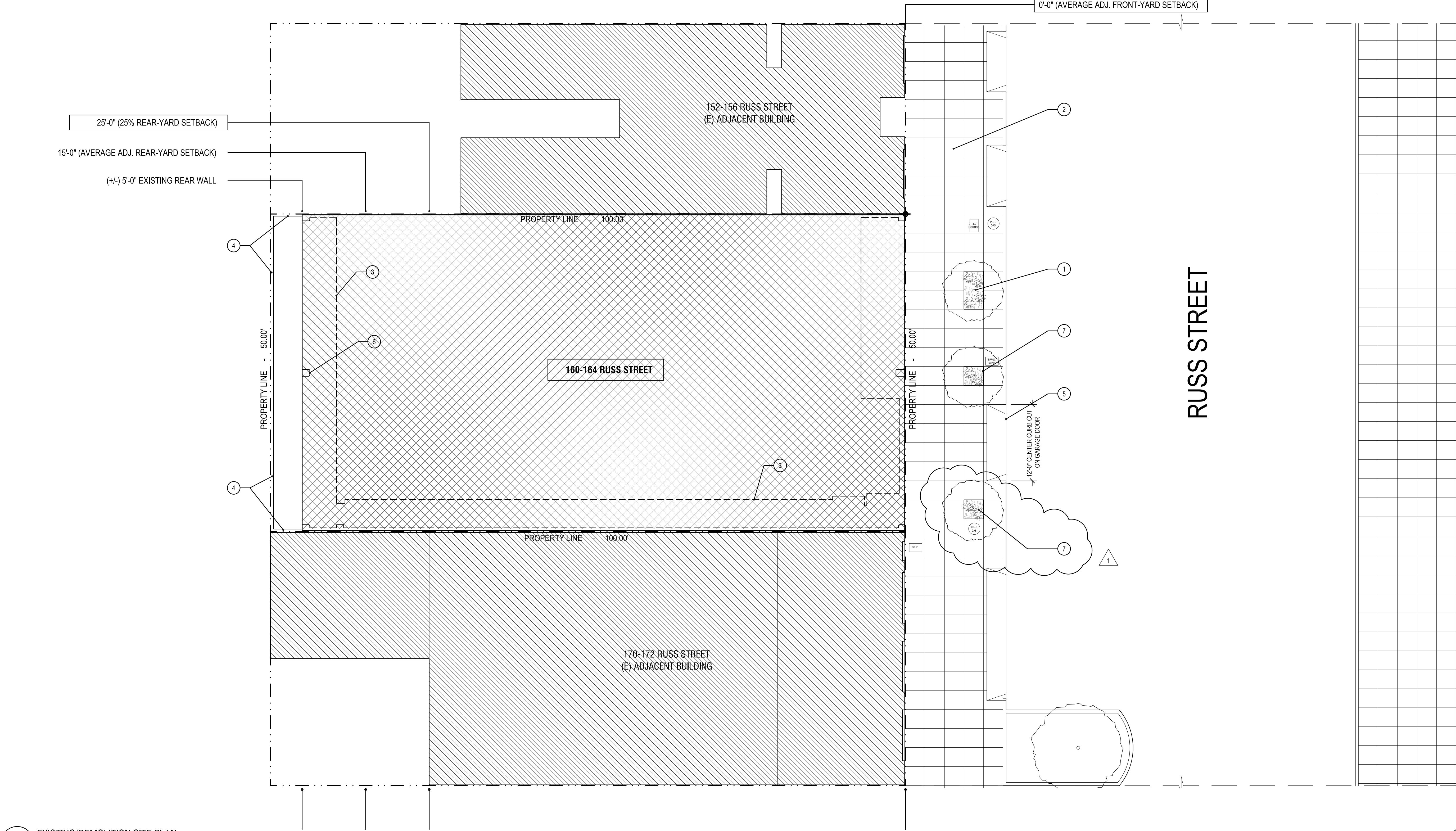
Sheet Number

A0.0



Job No.	2104.00	
Issue	Date	
VARIANCE APPLICATION	8/16/12	

A0.1



1 EXISTING/DEMOLITION SITE PLAN

GENERAL NOTES

1. THIS SITE PLAN IS GRAPHIC IN-NATURE AND DOES NOT REPRESENT A SURVEY

SHEET NOTES

- 1 (E) TREE TO REMAIN
- 2 (E) SIDEWALK TO REMAIN; TYP.
- 3 LINE OF (N) BUILDING ENVELOPE AT FIRST FLOOR; REF. SHEET A1.1
- 4 (N) WOOD FENCE; TYP.
- 5 (N) CURB CUT; TYP.
- 6 LINE OF (E) CONCRETE COLUMN TO REMAIN
- 7 (N) 15-GALLON TREE; SPECIES T.B.D.

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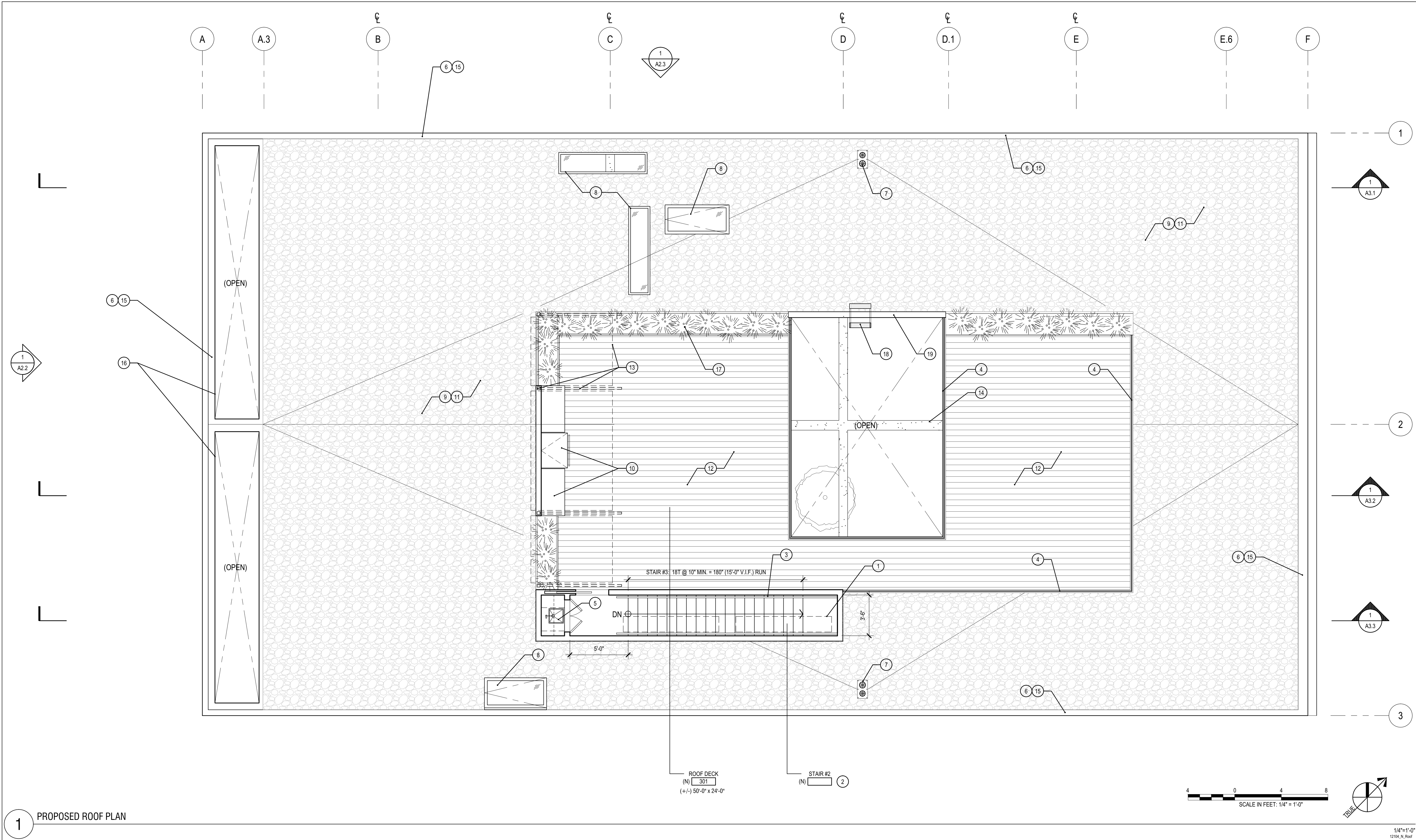
Job No.	12104.00
Issue	Date
VARIANCE APPLICATION	08/16/12
PLANNING REVISIONS	07/26/13

Drawing Title

PROPOSED
SITE PLAN

Sheet Number

A0.2



<p>GENERAL NOTES</p> <p>1. ALL WORK IS (N) U.O.N.</p> <p>2. REF. S-SERIES FOR STRUCTURAL INFO; TYP.</p> <p>3. PROVIDE CRICKETS & MAINTAIN (E) ROOF DRAINAGE PATTERNS, U.O.N.</p> <p>4. CONTRACTOR SHALL INSPECT (E) DRAINAGE SYSTEM AND REPAIR/REPLACE ANY NON-FUNCTIONING COMPONENTS.</p> <p>5. PROVIDE CRICKETS AND/OR CANTS AT ALL SKYLIGHTS, CHIMNEYS, MECHANICAL EQUIPMENT, AND OTHER LOCATIONS AS REQUIRED FOR POSITIVE DRAINAGE TOWARD DRAINS.</p> <p>6. FLASH AND SEAL ALL ROOF PENETRATIONS AS REQUIRED FOR A WATER-TIGHT INSTALLATION</p> <p>7. PATCH AND REPAIR FLASHING AT ADJACENT BUILDING TO PROVIDE POSITIVE DRAINAGE; TYP.</p>	<p>SHEET NOTES</p> <p>1 LINE OF (N) FIXED ALUMINUM SKYLIGHT ASSEMBLY ABOVE; TYP.</p> <p>2 (N) WOOD-FRAMED STAIR ASSEMBLY; REF. BUILDING SECTIONS</p> <p>3 (N) WOOD HANDRAIL @ 36" ABOVE STAIR NOSING; TYP.</p> <p>4 (N) CANTILEVERED CLR. LAMINATED GLASS GUARDRAIL ASSEMBLY @ 42" A.F.F.; TYP.</p> <p>5 (N) BAR SINK, SOLID-SURFACE COUNTERTOP AND UNDER-COUNTER REFRIGERATOR</p> <p>6 (E/N) 1-HR FIRE RESISTANCE RATED ROOF PARAPET ASSEMBLY @ 2'-6" MIN. ABOVE ROOF; TYP.</p> <p>7 (N) ROOF DRAIN w/ OVERFLOW</p> <p>8 (N) OPERABLE ALUMINUM SKYLIGHT ASSEMBLY</p> <p>9 (N) DECORATIVE RIVER ROCK w/ (N) ROOF MEMBRANE; TYP.</p> <p>10 (N) BUILT-IN GRILL, CABINETRY AND COUNTERTOP</p>	<p>11 (N) MOD. BITUMEN ROOF ASSEMBLY (SLOPE: 1/4" 1'-0" MIN., TYP.)</p> <ul style="list-style-type: none">• CLASS-A SELF ADHERED MOD. BITUMEN ROOFING SYSTEM (COLOR T.B.D.) w/• RIGID INSULATION; TAPERED TO ACHIEVE ROOF SLOPE• (E/N) ROOF SHEATHING• ROOF FRAMING. REFER TO S-SERIES DWGS. <p>12 (N) PALLETIZED WOOD DECK ASSEMBLY (1' X 6" IPE) w/ (N) STRUCTURE; TYP.</p> <p>13 (N) METAL OUTRIGGER SUPPORT ASSEMBLY w/ MOTORIZED RETRACTABLE FABRIC CANOPY; TYP.</p> <p>14 LINE OF (E) STRUCTURE BELOW</p> <p>15 (N) METAL COPING; TYP.</p> <p>16 (N) OPENING IN (E) ROOF; TYP. (TYP. OF 2)</p> <p>17 (N) 15-GALLON BAMBOO PLANTINGS w/ BUILT-IN WOOD PLANTER AND IRRIGATION SYSTEM; TYP.</p> <p>18 (N) CODE-COMPLIANT ALTERNATING TREAD DEVICE</p>	<p>19 (N) WOOD PARAPET CONSTRUCTION; T.O. WALL @ 42" ABOVE T.O. ROOF; TYP.</p>	<p>WALL TYPES LEGEND</p> <p>(E) CONCRETE WALL TO REMAIN</p> <p>(N) CONCRETE SHEAR WALL</p> <p>(N) PARTITION</p> <p>(N) 1-HR FIRE RESISTANCE RATED SEPARATION</p> <p>(E) 2-HR FIRE RESISTANCE RATED SEPARATION</p> <p>(N) 2-HR FIRE RESISTANCE RATED SEPARATION</p>
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160-164 RUSS STREET

SAN FRANCISCO, CA. 94103

DUMICAN MOSEY ARCHITECTS

880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

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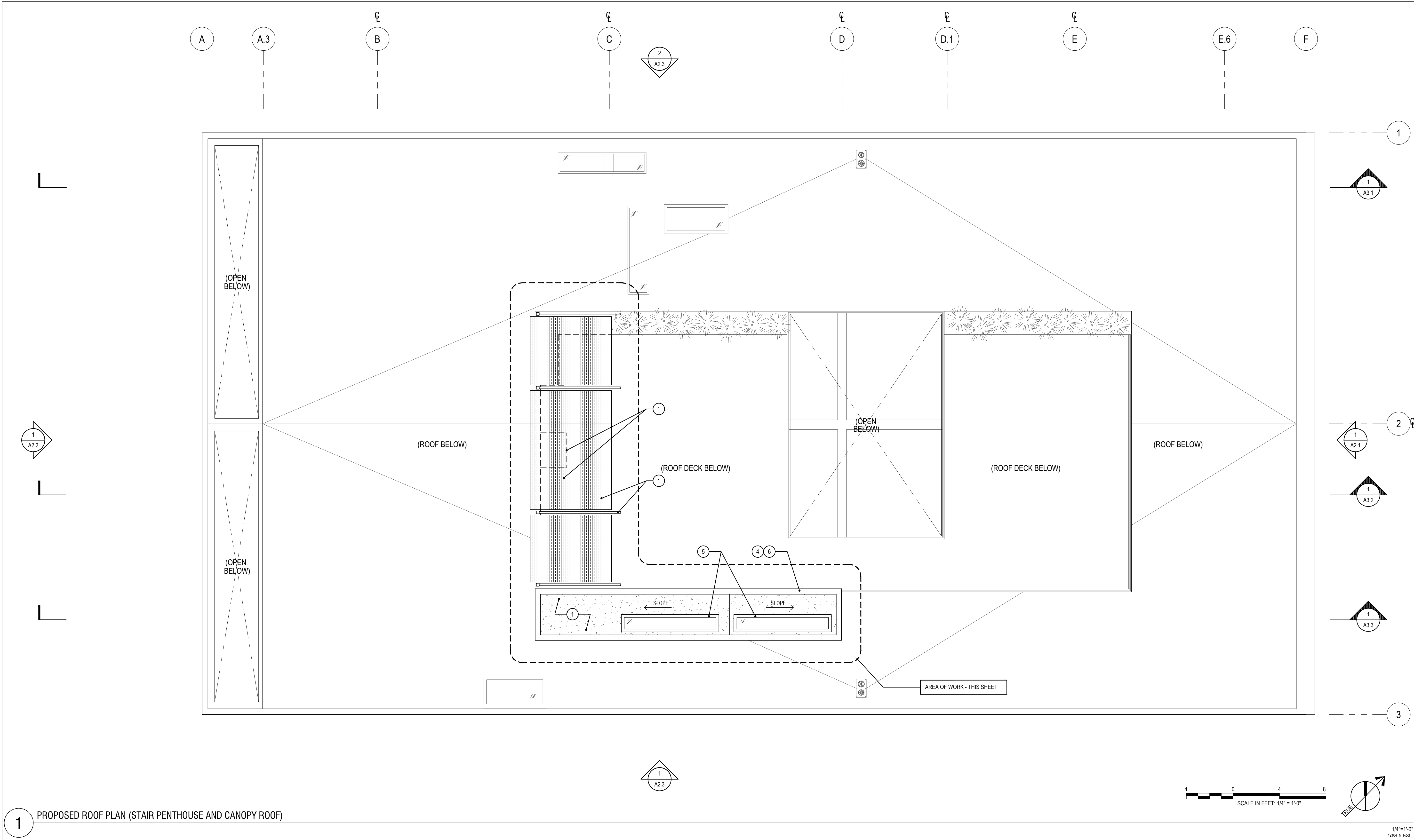
Job No.	12104.00
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VARIANCE APPLICATION	8/16/12

Drawing Title

PROPOSED ROOF PLAN

Sheet Number

A1.3



1 PROPOSED ROOF PLAN (STAIR PENTHOUSE AND CANOPY ROOF)

GENERAL NOTES	SHEET NOTES			WALL TYPES LEGEND
<div>1. ALL WORK IS (N) U.O.N.</div> <div>2. REFER TO ROOF PLAN, SHEET A1.3 FOR MORE INFORMATION, GENERAL NOTES AND SHEET NOTES.</div> <div>3. REF. S-SERIES FOR STRUCTURAL INFO</div>	<div>1 (N) MOD. BITUMEN ROOF ASSEMBLY (SLOPE: 1/4" 1'-0" MIN., TYP.)<ul style="list-style-type: none">CLASS-A SELF ADHERED MOD. BITUMEN ROOFING SYSTEM (COLOR T.B.D.) w/RIGID INSULATION, TAPERED TO ACHIEVE ROOF SLOPE(E/N) ROOF SHEATHINGROOF FRAMING. REFER TO S-SERIES DWGS.</div> <div>2 (N) METAL OUTRIGGER SUPPORT ASSEMBLY w/ MOTORIZED RETRACTABLE FABRIC CANOPY</div> <div>3 LINE OF (N) CABINETRY BELOW</div> <div>4 (N) STAIR PENTHOUSE ASSEMBLY, TYP.</div> <div>5 (N) FIXED ALUMINUM SKYLIGHT ASSEMBLY, TYP. OF (2)</div> <div>6 (N) METAL COPING, TYP.</div>			<div>(E) CONCRETE WALL TO REMAIN</div> <div>(N) CONCRETE SHEAR WALL</div> <div>(N) PARTITION</div> <div>(N) 1-HR FIRE RESISTANCE RATED SEPARATION</div> <div>(E) 2-HR FIRE RESISTANCE RATED SEPARATION</div> <div>(N) 2-HR FIRE RESISTANCE RATED SEPARATION</div>

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Drawing Title
PROPOSED ROOF PLAN
(STAIR PENTHOUSE
AND CANOPY ROOF)

Sheet Number
A1.4

SCALE IN FEET: 1/4" = 1'-0"

GENERAL NOTES	SHEET NOTES	LEGEND
<p>1. NOT ALL KEYNOTES ARE USED EVERY SHEET.</p> <p>2. ALL REMOVED MATERIALS SHALL BE DISPOSED/RECYCLED PER CITY OF SAN FRANCISCO REQUIREMENTS.</p> <p>3. REFER TO SHEETS D2.1, D2.2, D2.3 FOR DEMOLITION ELEVATION INFO.</p> <p>4. REFER TO SHEETS A1.1, A1.2, A1.3, A2.1, A2.2, A2.3 FOR ADDITIONAL INFO.</p> <p>5. REMOVE (E) CONSTRUCTION AS REQUIRED TO INSTALL (N) STRUCTURAL MEMBERS AND ASSEMBLIES.</p> <p>6. G.C. TO PRESERVE AND PROTECT THE FOLLOWING HISTORICAL ELEMENTS OF THE FACADE: I. CONCRETE COLUMNS II. HORIZONTAL CONCRETE 'BANDS' III. EXTERIOR WINDOW SYSTEM IV. ORNAMENTAL BAND AT PARAPET</p>	<p>1 LINE OF ADJACENT BUILDING (FOR REF. ONLY)</p> <p>2 REMOVE (E) EXTERIOR WALL ASSEMBLY TO EXTENTS INDICATED BY HATCH; TYP.</p> <p>3 REMOVE (E) METAL GATE, FRAME AND OPENER ; TYP.</p> <p>4 REMOVE (E) METAL EXTERIOR DOOR AND FRAME</p> <p>5 REMOVE (E) TRANSOM WINDOW</p> <p>6 REMOVE (E) METAL AND FABRIC CANOPY; TYP.</p> <p>7 PREP (E) WINDOWS FOR (N) PAINT; (E) GLAZING TO REMAIN; TYP.</p> <p>8 PREP (E) HISTORIC ELEMENTS FOR RESTORATION AND PAINTING; TYP.</p> <p>9 REMOVE (E) COPING; TYP.</p>	<p>— — (E) CONSTRUCTION TO BE REMOVED</p> <p>— — (E) VERTICAL ASSEMBLY TO BE REMOVED</p>

760-164 RUS
SAN FRANCISCO, CA. 94103

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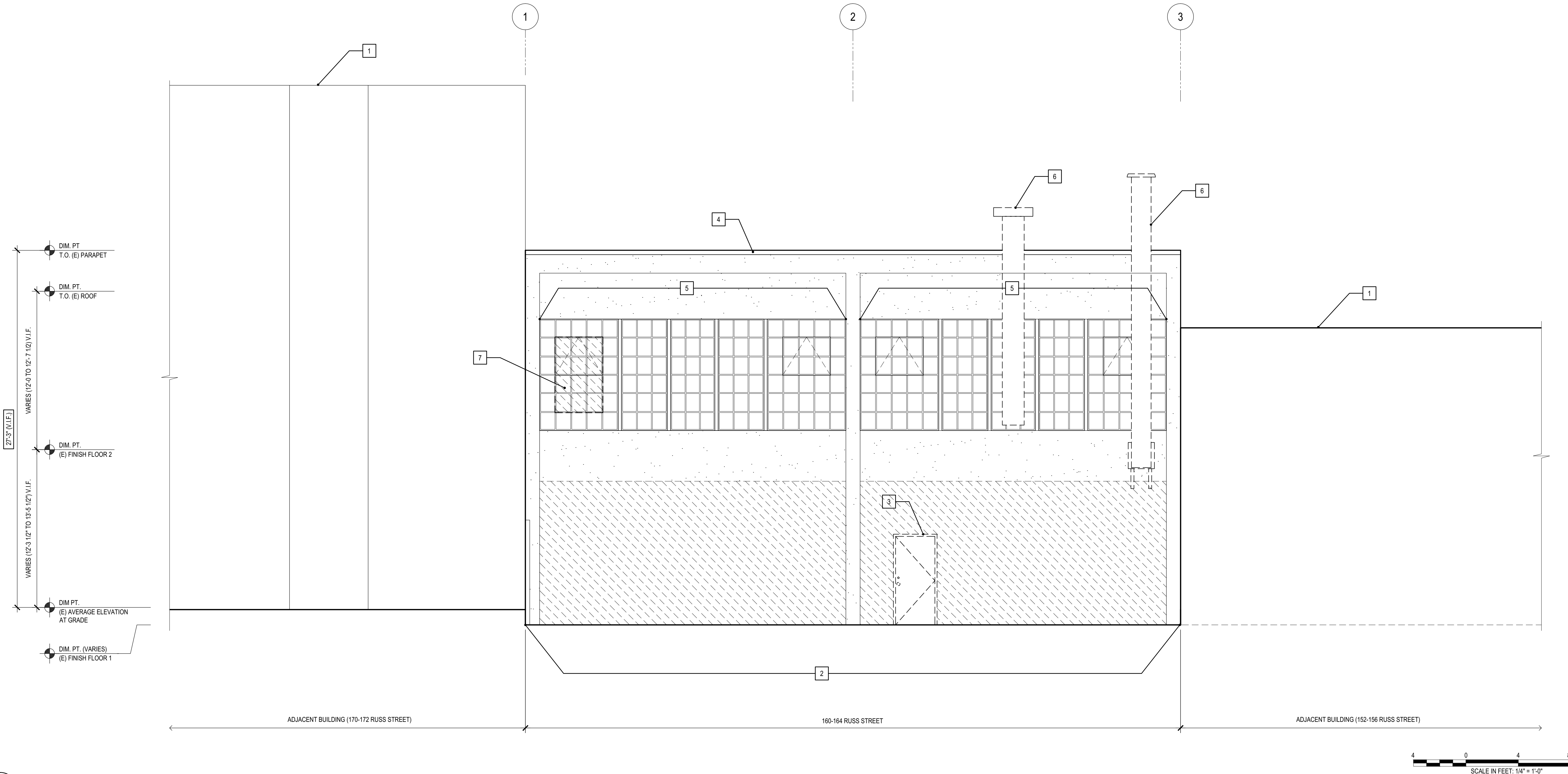
Drawing Title

EXISTING/DEMOLITION
EXTERIOR ELEVATION
(EAST)

Sheet Number

D2.1

NOTE: 65'-0" HEIGHT LIMIT NOT SHOWN



1 EXISTING/DEMOFRONT EXTERIOR ELEVATION - WEST (REAR FACADE)

GENERAL NOTES

- NOT ALL KEYNOTES ARE USED EVERY SHEET.
- ALL REMOVED MATERIALS SHALL BE DISPOSED/RECYCLED PER CITY OF SAN FRANCISCO REQUIREMENTS.
- REFER TO SHEETS D2.1, D2.2, D2.3 FOR DEMOLITION ELEVATION INFO.
- REFER TO SHEETS A1.1, A1.2, A1.3, A2.1, A2.2, A2.3 FOR ADDITIONAL INFO.
- REMOVE (E) CONSTRUCTION AS REQUIRED TO INSTALL (N) STRUCTURAL MEMBERS AND ASSEMBLIES.
- G.C. TO PRESERVE AND PROTECT THE FOLLOWING HISTORICAL ELEMENTS OF THE FACADE:
 - CONCRETE COLUMNS
 - HORIZONTAL CONCRETE 'BANDS'
 - EXTERIOR WINDOW SYSTEM
 - ORNAMENTAL BAND AT PARAPET

SHEET NOTES

- LINE OF ADJACENT BUILDING (FOR REF. ONLY)
- REMOVE (E) EXTERIOR WALL ASSEMBLY TO EXTENTS INDICATED BY HATCH; TYP.
- REMOVE (E) METAL EXTERIOR DOOR AND FRAME
- REMOVE (E) COPING; TYP.
- REMOVE (E) GLAZING FROM (E) WINDOW SYSTEM, (E) WINDOW SYSTEM TO REMAIN, PROTECT FROM DAMAGE; TYP.
- REMOVE (E) MECHANICAL DUCTS AND EQUIPMENT; TYP.
- REMOVE (E) STEEL WINDOW ASSEMBLY AS INDICATED; MODIFY AS REQUIRED INTO OPERATIONAL SECTION TO FULFILL EGRESS REQUIREMENTS INDICATED ON SHEET A2.2.

LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- (E) VERTICAL ASSEMBLY TO BE REMOVED

160-164 RUSS STREET

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DUMICAN MOSEY
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t: 415.495.9322 f: 415.651.9290

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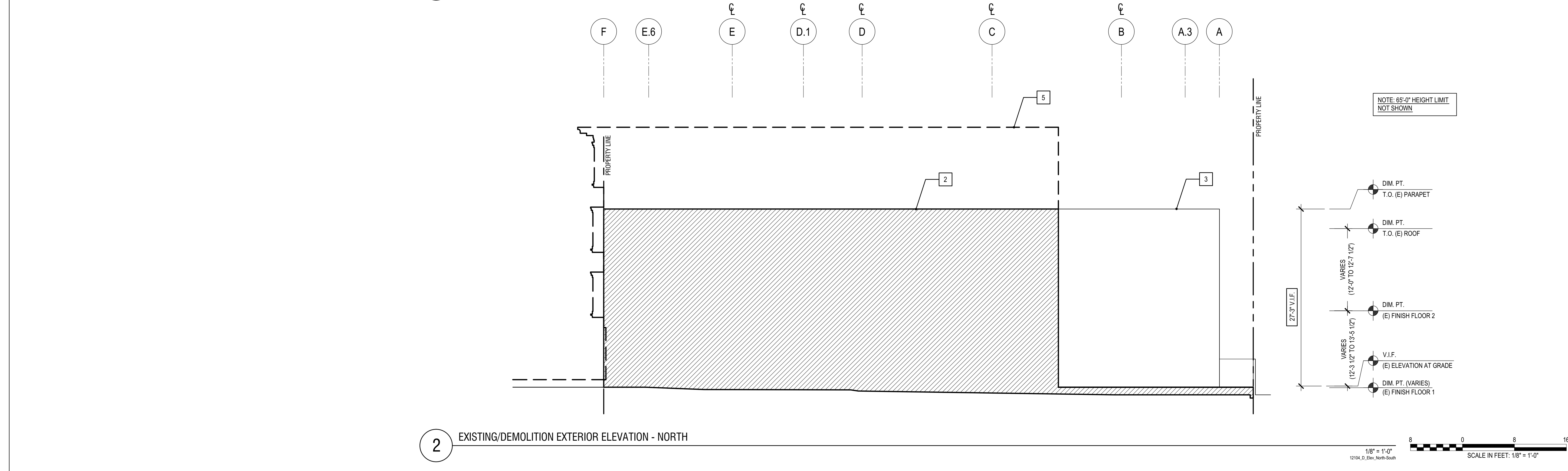
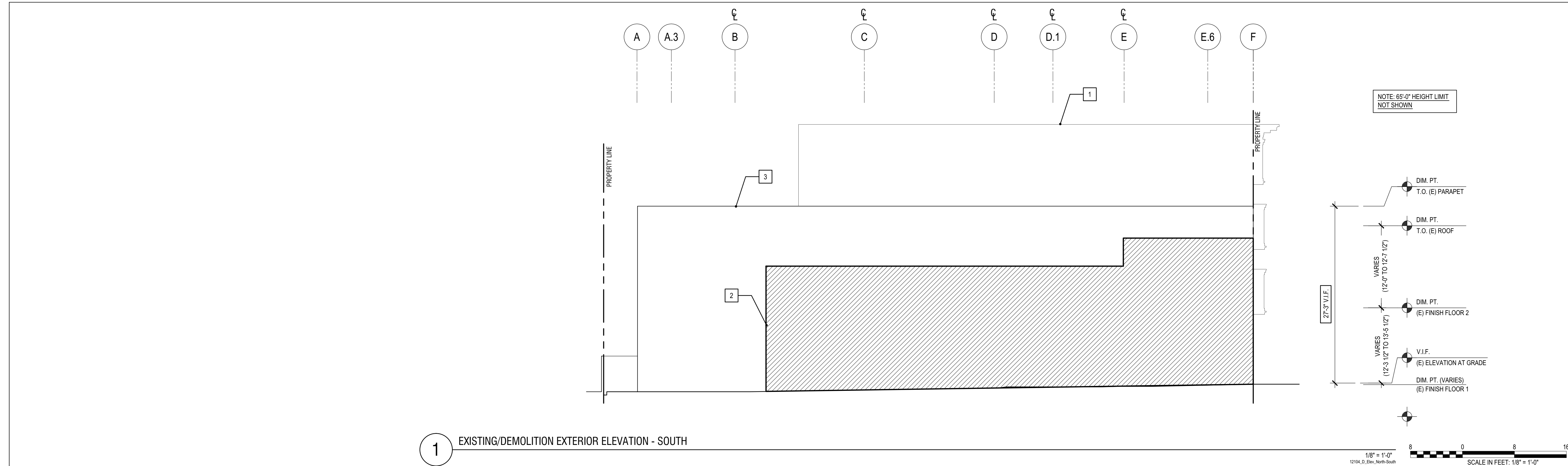
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Drawing Title

EXISTING/DEMOLITION
EXTERIOR ELEVATION
(WEST)

Sheet Number

D2.2



GENERAL NOTES		<div><div></div> SHEET NOTES</div>		LEGEND
<div><div>1. NOT ALL KEYNOTES ARE USED EVERY SHEET.</div><div>2. ALL REMOVED MATERIALS SHALL BE DISPOSED/RECYCLED PER CITY OF SAN FRANCISCO REQUIREMENTS.</div><div>3. REFER TO SHEETS D2.1, D2.2, D2.3 FOR DEMOLITION ELEVATION INFO.</div><div>4. REFER TO SHEETS A1.1, A1.2, A1.3, A2.1, A2.2, A2.3 FOR ADDITIONAL INFO.</div><div>5. REMOVE (E) CONSTRUCTION AS REQUIRED TO INSTALL (N) STRUCTURAL MEMBERS AND ASSEMBLIES; TYP.</div><div>6. G.C. TO PRESERVE AND PROTECT THE FOLLOWING HISTORICAL ELEMENTS OF THE FACADE:<div><div>I. CONCRETE COLUMNS</div><div>II. HORIZONTAL CONCRETE 'BANDS'</div><div>III. EXTERIOR WINDOW SYSTEM</div><div>IV. ORNAMENTAL BAND AT PARAPET</div></div></div></div>		<div><div><div>1</div>LINE OF ADJACENT BUILDING (BEYOND - FOR REF. ONLY)</div><div><div>2</div>LINE OF ADJACENT BUILDING (IN SECTION - FOR REF. ONLY)</div><div><div>3</div>REMOVE (E) COPING; TYP.</div><div><div>4</div>NOT USED THIS SHEET</div><div><div>5</div>LINE OF ADJACENT. BLDG. (IN FOREGROUND - FOR REF. ONLY)</div></div>		<div><div><div><div></div><div></div></div><div></div>(E) CONSTRUCTION TO BE REMOVED</div><div><div><div></div><div></div></div><div></div>(E) VERTICAL ASSEMBLY TO BE REMOVED</div></div>

160-164 RUSS STREET

SAN FRANCISCO, CA. 94103

DUMICAN MOSEY

ARCHITECTS

880 harrison street, no. 302

san francisco, california 94107

t: 415.495.9322 f: 415.651.9290

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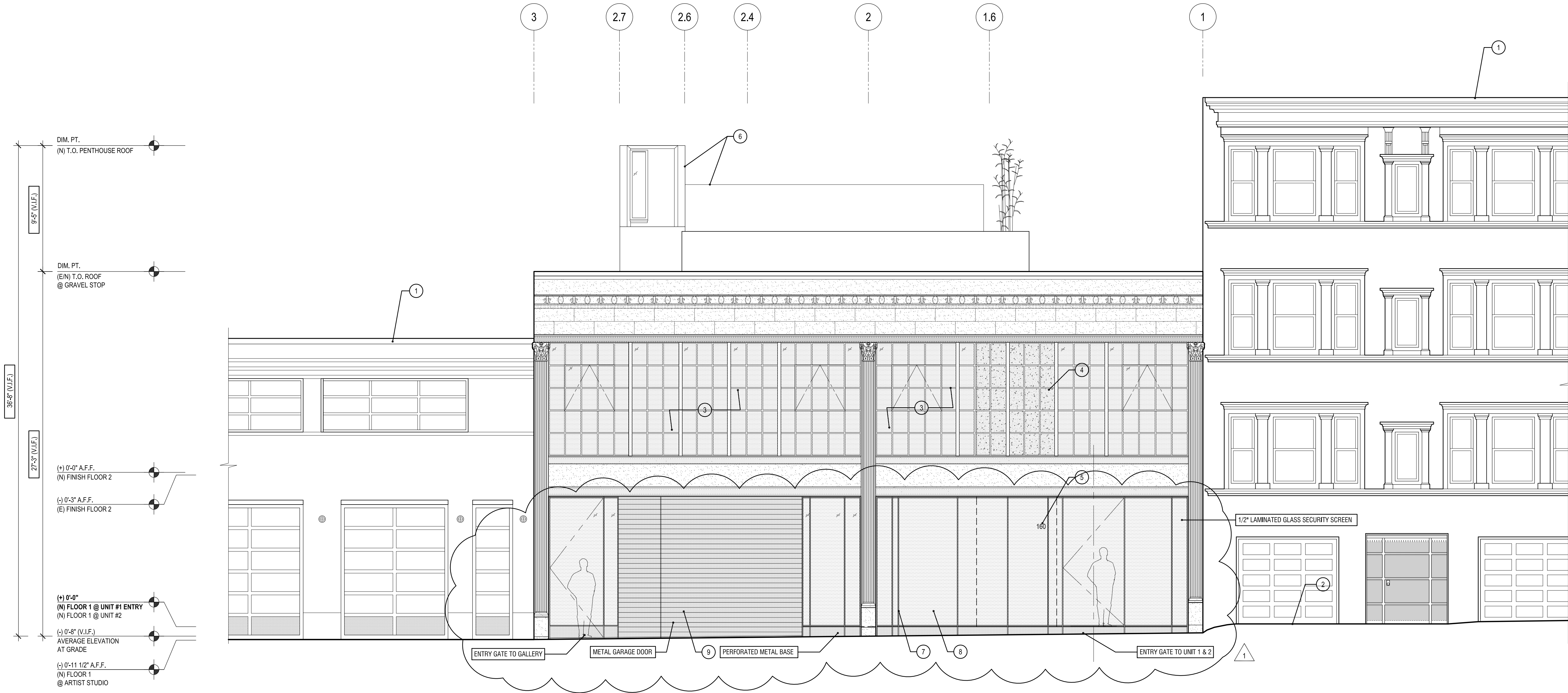
Drawing Title

EXISTING/DEMOLITION EXTERIOR ELEVATIONS (NORTH AND SOUTH)

Sheet Number

D2.3

NOTE: 65'-0" HEIGHT LIMIT NOT SHOWN



1

PROPOSED EXTERIOR ELEVATION - EAST (RUSS STREET FACADE) OPTION A

GENERAL NOTES

1. ALL WORK IS (N) U.O.N.
2. NOT ALL NOTES ARE USED EVERY SHEET
3. REF. TO S-SERIES FOR STRUCTURAL INFO; TYP.
4. REF. BUILDING SECTIONS FOR ADDITIONAL FLOOR-TO-FLOOR HEIGHT INFORMATION
5. REF. DOOR AND WINDOW SCHEDULE SHEETS A6.1 & A6.2 FOR ADDITIONAL INFO
6. REF. SHEET A6.3 FOR FINISH INFORMATION
7. REF. SHEET A8.2 FOR ROOF DECK INFO
8. (E) FACADE ELEMENTS TO REMAIN ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION AND PAINTED (COLOR T.B.D. BY ARCHITECT) TYP.; U.O.N.

SHEET NOTES

- 1 LINE OF (E) ADJACENT BUILDING (FOR REF. ONLY)
- 2 APPROXIMATE LINE OF (E) GRADE (FOR REF. ONLY)
- 3 (E) STEEL WINDOW ASSEMBLY TO REMAIN; PROTECT FROM DAMAGE; REFURBISH AND PAINT; PROVIDE (N) 1" CLR. INSULATED GLAZING UNITS TYP.; TEMPERED GLAZING AT BOTTOM ROW; G.C. TO PRESERVE OPERABLE PORTIONS IN-KIND; TYP.
- 4 HATCH INDICATES CONCRETE SHEAR WALL W/ ARCHITECTURAL BOARD-FORMED FINISH BEYOND
- 5 METAL *ADDRESS NUMBERS* T.B.D.
- 6 LINE OF ROOF PENTHOUSE AND ROOF DECK ASSEMBLY

- 7 STEEL BAR STOCK W/ WELDED FRAME; HOT-DIPPED, CLR. COAT; TYP.
- 8 1/2" LAMINATED GLASS SECURITY SCREEN W/ CUSTOM TRANSLUCENT FROSTED/ PATTERNED GLAZING.
- 9 SECTIONAL GARAGE DOOR W/ FLUSH STEEL PANEL TO MATCH ADJACENT BAR STOCK FRAME; REF. DOOR SCHEDULE

160-164 RUSS STREET

SAN FRANCISCO, CA. 94103

DUMICAN MOSEY
ARCHITECTS

880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

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Issue	Date
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1	

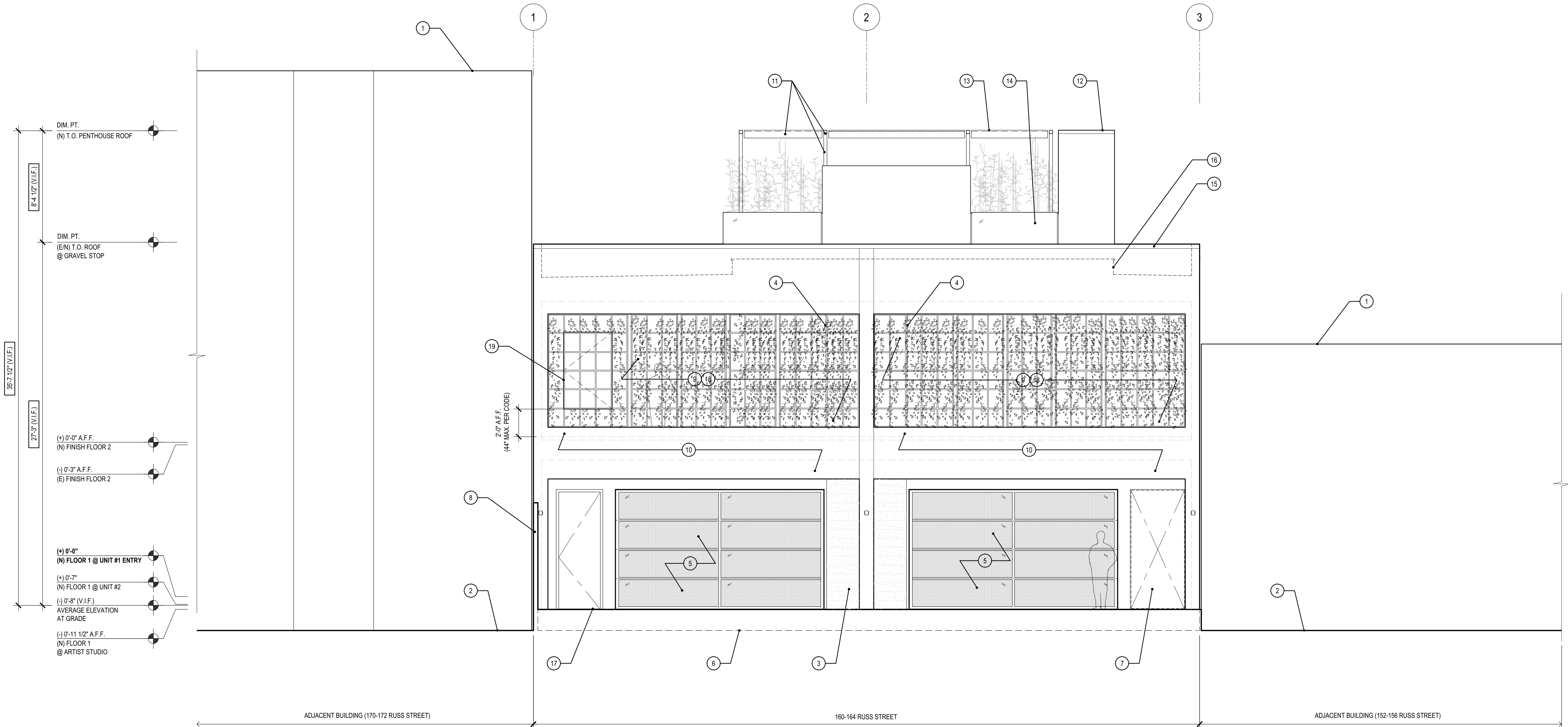
Drawing Title

PROPOSED
EXTERIOR ELEVATION
(EAST)

Sheet Number

A2.1

NOTE: 65'-0" HEIGHT LIMIT NOT SHOWN



1

PROPOSED EXTERIOR ELEVATION - WEST (REAR FACADE)

GENERAL NOTES

1. ALL WORK IS (N) U.O.N.
2. NOT ALL NOTES ARE USED EVERY SHEET
3. REF. BUILDING SECTIONS FOR ADDITIONAL FLOOR-TO-FLOOR HEIGHT INFORMATION
4. (E) CONCRETE WALLS ARE TO REMAIN ARE TO BE PAINTED (COLOR T.B.D. BY ARCHITECT) TYP. U.O.N.

SHEET NOTES

- 1 LINE OF (E) ADJACENT BUILDING (FOR REF. ONLY)
- 2 APPROXIMATE LINE OF (E) GRADE (FOR REF. ONLY)
- 3 CONCRETE SHEAR WALL w/ ARCHITECTURAL BOARD-FORMED FINISH
- 4 LINE OF CONCRETE SHEAR WALL (BEYOND)
- 5 (N) STEEL SECTIONAL GARAGE DOOR w/ 1" INSULATED CLEAR TEMPERED GLAZED INSERTS & MOTORIZED OPERATOR; TYP.
- 6 LINE OF (E) GRADE - FOR REF. ONLY
- 7 OPEN CORRIDOR TO RUSS STREET SIDE
- 8 (N) WOOD FENCE 8'-0" A.F.F. AT PROPERTY LINE; TYP.
- 9 (E) WINDOW SYSTEM TO REMAIN, PROTECT FROM DAMAGE; PREP FOR (N) PAINT; REMOVE (E) GLAZING; TYP.; U.O.N.
- 10 (E) EXTERIOR CONCRETE WALL TO REMAIN, PAINTED; TYP.

- 11 LINE OF (N) METAL OUTRIGGER SUPPORT ASSEMBLY w/ RETRACTABLE FABRIC CANOPY; REF. BUILDING SECTIONS
- 12 LINE OF ROOF PENTHOUSE CONSTRUCTION BEYOND
- 13 LINE OF BAMBOO PLANTINGS BEYOND
- 14 LINE OF CLEAR TEMPERED GLASS GUARDRAIL ASSEMBLY BEYOND; REF. BUILDING SECTIONS
- 15 (N) METAL COPING; TYP.
- 16 LINE OF ROOF DECK STRUCTURE BEYOND (FOR REF. ONLY)
- 17 (N) METAL EXTERIOR DOOR ASSEMBLY
- 18 (N) CLIMBING PLANTS; TYP.
- 19 (N) CASEMENT EMERGENCY EXIT WINDOW IN (E) WINDOW SYSTEM ASSEMBLY: 3'-8" x 5'-9"; +/- 21 SQ. FT. (MIN. REQUIRED OPENING AREA= 5.7 SQ. FT.)



1/4"=1'-0"
12104_RL Elev. E

Job No.	12104.00
Issue	Date
VARIANCE APPLICATION	8/16/12

Drawing Title

PROPOSED
EXTERIOR ELEVATION
(WEST)

Sheet Number

A2.2

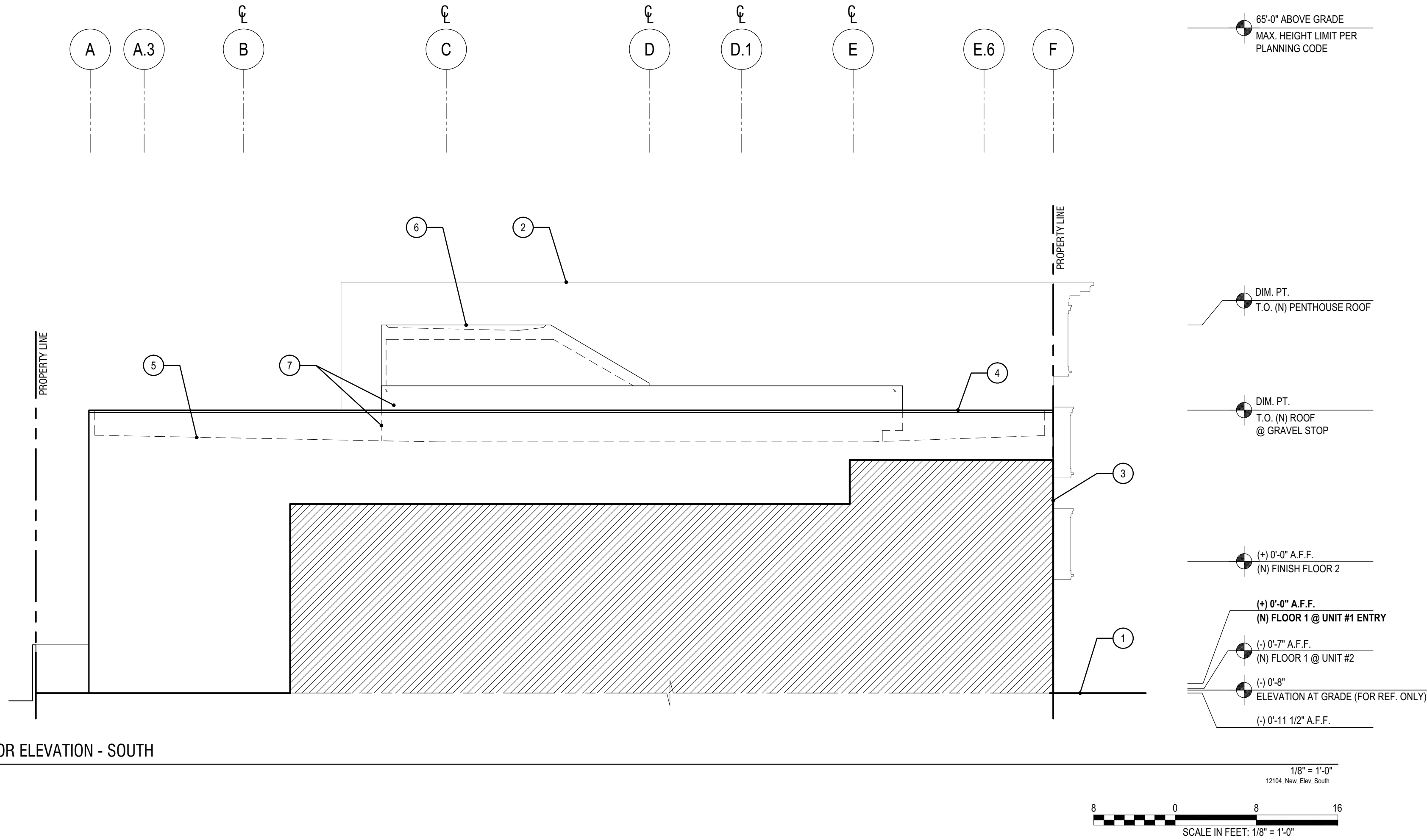
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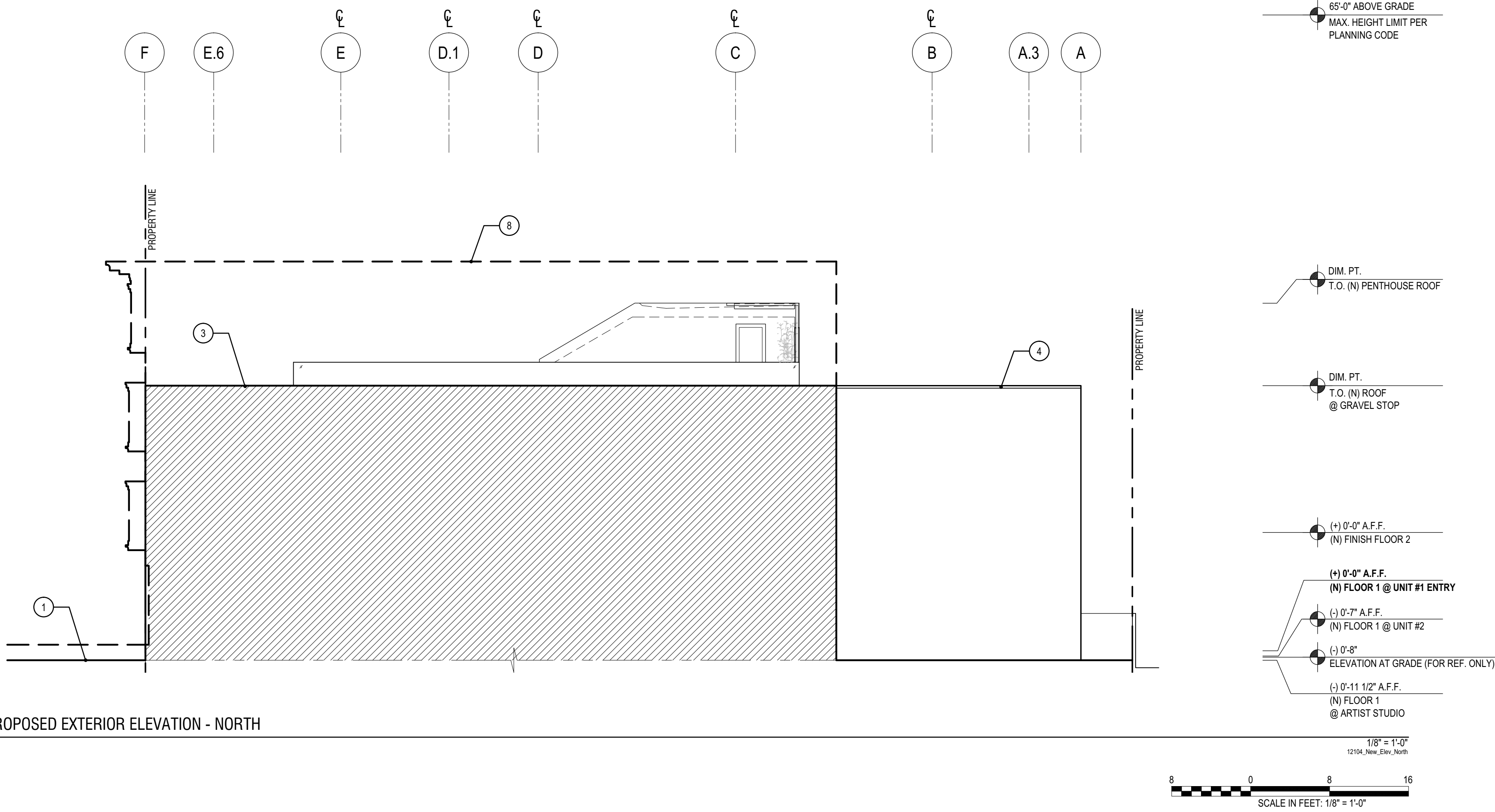
880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

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1 PROPOSED EXTERIOR ELEVATION - SOUTH



2 PROPOSED EXTERIOR ELEVATION - NORTH



GENERAL NOTES

1. ALL WORK IS (N) U.O.N.
2. NOT ALL NOTES ARE USED EVERY SHEET
3. REF. BUILDING SECTIONS FOR ADDITIONAL FLOOR-TO-FLOOR HEIGHT INFORMATION
4. (E) CONCRETE WALLS ARE TO REMAIN ARE TO BE PAINTED (COLOR T.B.D. BY ARCHITECT) TYP. U.O.N.

SHEET NOTES

1. APPROXIMATE LINE OF (E) GRADE (FOR REF. ONLY)
2. LINE OF ADJACENT BUILDING (BEYOND - FOR REF. ONLY)
3. LINE OF ADJACENT BUILDING (IN SECTION - FOR REF. ONLY)
4. (N) METAL COPING; PAINTED; TYP.
5. LINE OF (E) ROOF BEYOND; REFER TO SHEET A1.3 FOR MORE INFO
6. (N) STAIR PENTHOUSE ASSEMBLY BEYOND; TYP.
7. (N) ROOF DECK AND GUARDRAIL ASSEMBLY BEYOND; TYP.
8. (N) LINE OF ADJACENT BUILDING (IN FOREGROUND)

160-164 RUSS STREET
SAN FRANCISCO, CA. 94103

DUMICAN MOSEY
ARCHITECTS

880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

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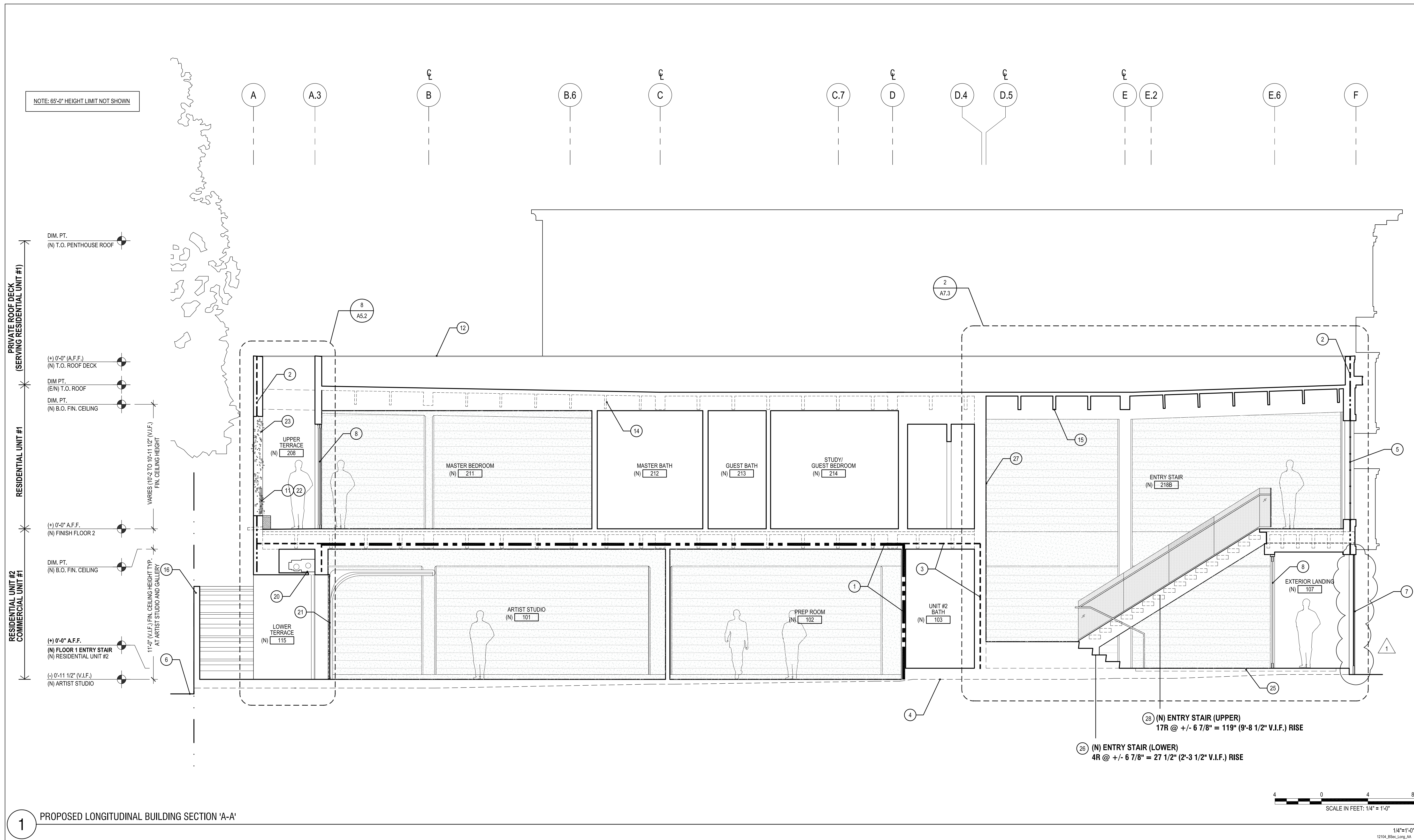
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PROPOSED
EXTERIOR ELEVATION
(NORTH AND SOUTH)

Sheet Number

A2.3



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SAN FRANCISCO, CA. 94103

DUMICAN MOSEY
ARCHITECTS

880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

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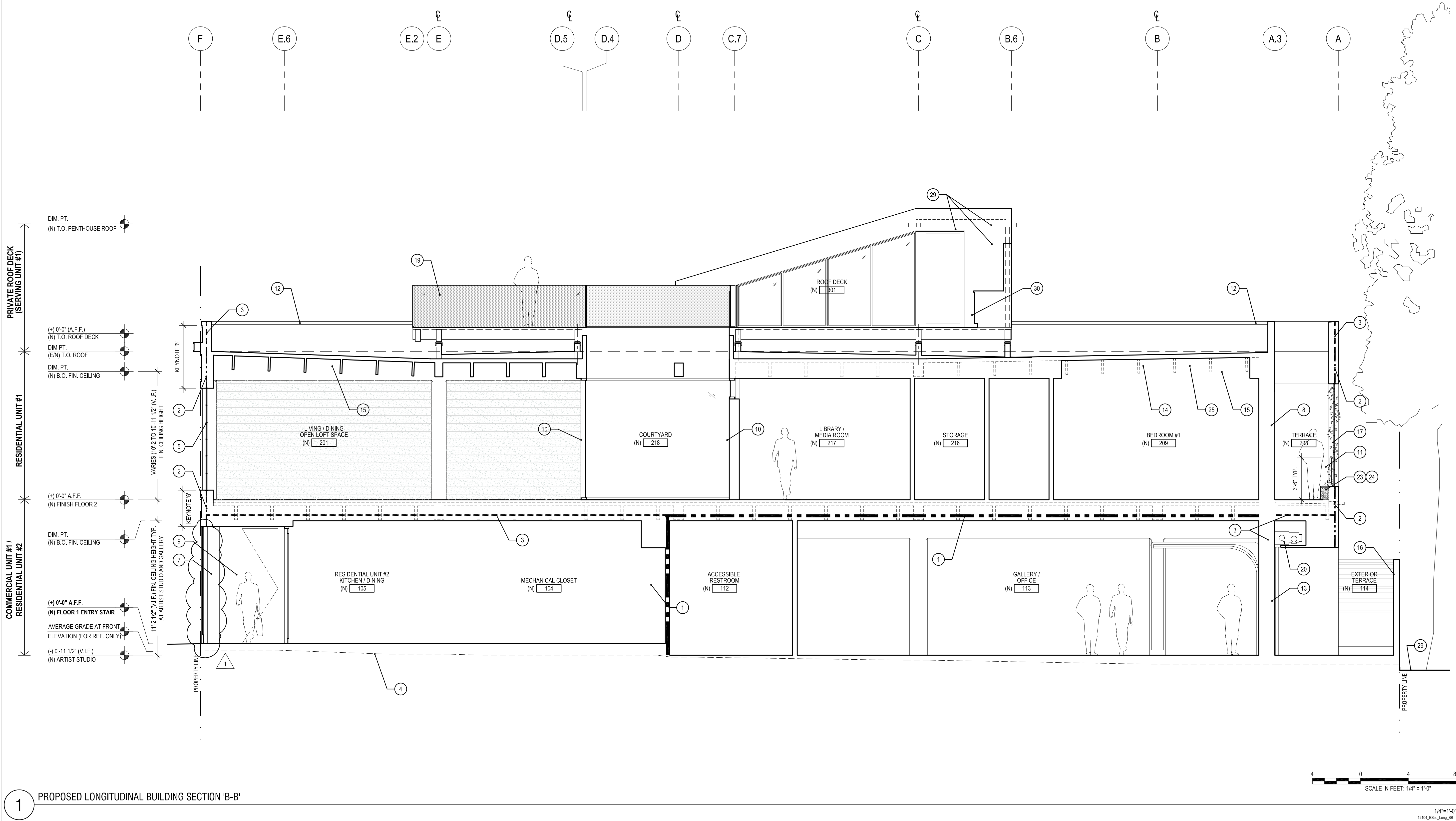
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	VARIANCE APPLICATION	08/16/12
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Drawing Title

PROPOSED
LONGITUDINAL
BUILDING SECTION 'A-A'

Sheet Number

A3.1



GENERAL NOTES	WALL TYPES LEGEND	SHEET NOTES		
<div>1. ALL WORK IS (N) U.O.N.</div> <div>2. NOT ALL NOTES ARE USED EVERY SHEET</div> <div>3. REF. EXTERIOR ELEVATIONS FOR MORE INFO ON WINDOW SYSTEMS; TYP.</div> <div>4.. (E) CONCRETE INTERIOR WALLS-; PILASTERS-; COLUMNS-; BEAMS-; TO REMAIN SHALL BE SANDBLASTED WHERE EXPOSED; TYP.; U.O.N.</div>	<div><div>----</div>(N) 1-HR FIRE RESISTANCE RATED SEPARATION</div> <div><div>----</div>(E) 2-HR FIRE RESISTANCE RATED SEPARATION</div> <div><div>----</div>(N) 2-HR FIRE RESISTANCE RATED SEPARATION</div>	<div><div>1</div><div>(N) 2-HR FIRE RESISTANCE RATED WALL-; FLOOR-; CEILING-; ASSEMBLY; TYP.</div></div> <div><div>2</div><div>(E) 2-HR FIRE RESISTANCE ASSEMBLY; TYP.</div></div> <div><div>3</div><div>(N) 1-HR FIRE RESISTANCE RATED WALL-; FLOOR-; CEILING-; ASSEMBLY; TYP.</div></div> <div><div>4</div><div>LINE OF (E) FINISH FLOOR TO BE REMOVED (FOR REF. ONLY)</div></div> <div><div>5</div><div>(E/N) WINDOW ASSEMBLY; REF. EXTERIOR ELEVATIONS</div></div> <div><div>6</div><div>(E) HISTORIC FACADE ELEMENTS TO REMAIN; RESTORED AND PAINTED; TYP.</div></div> <div><div>7</div><div>(N) CUSTOM STEEL GATE ASSEMBLY</div></div> <div><div>8</div><div>(N) ALUMINUM SLIDING DOOR & WINDOW ASSEMBLY w/ 1" INSULATED CLEAR TEMPERED GLAZING; TYP.</div></div> <div><div>9</div><div>LINE OF (N) HINGED/PIVOT ENTRY DOOR BEYOND</div></div> <div><div>10</div><div>(N) ALUMINUM WINDOW WALL ASSEMBLY w/ 1" INSULATED CLEAR TEMPERED GLAZING; TYP.</div></div>	<div><div>11</div><div>(N) HORIZONTAL CABLE RAIL GUARD @ 3" O.C.; T.O. RAIL @ 42" A.F.F.; TYP.</div></div> <div><div>12</div><div>LINE OF (E) ROOF PARAPET BEYOND w/ (N) MEMBRANE AND METAL COPING; TYP.</div></div> <div><div>13</div><div>(N) STEEL SECTIONAL GARAGE DOOR w/ 1" INSULATED CLEAR TEMPERED GLAZED INSERTS AND LIFTMASTER MODEL 3800PLD OPERATOR; TYP.</div></div> <div><div>14</div><div>DASHED LINE INDICATED (E) WOOD STRUCTURE TO REMAIN</div></div> <div><div>15</div><div>(E) WOOD STRUCTURE TO REMAIN; SANDBLASTED FINISH; TYP.</div></div> <div><div>16</div><div>(N) WOOD FENCE AT PROPERTY LINE; TYP.</div></div> <div><div>17</div><div>(E) WINDOW ASSEMBLY; REF. EXTERIOR ELEVATIONS FOR MORE INFO</div></div> <div><div>18</div><div>(N) STEEL HANDRAIL @ 36" ABOVE FINISH STAIR NOSING; TYP.</div></div> <div><div>19</div><div>(N) 1/2" CLEAR LAMINATED GLASS GUARDRAIL @ 42" A.F.F.; TYP.</div></div> <div><div>20</div><div>(N) ROLL-UP FIRE SHUTTERS W/ FUSIBLE LINKS AT BOTH SIDES OF OPENING; (TYP. OF 2) BASIS OF DESIGN; LAWRENCE ROLL-UP DOORS" MODEL HL"; 1-HR FIRE RATED.</div></div>	<div><div>21</div><div>(N) STEEL AND WOOD STAIR ASSEMBLY</div></div> <div><div>22</div><div>(N) STEEL STRUCTURAL GARAGE DOOR w/ MT TROLLEY OPERATOR</div></div> <div><div>23</div><div>(N) PLANTER w/ INTERNAL IRRIGATION SYSTEM; TYP. AT (E) WINDOW SYSTEM</div></div> <div><div>24</div><div>(N) CLIMBING PLANTS (CLIMBING FIG OR EQUIVALENT); TYP.</div></div> <div><div>25</div><div>(E) STRUCTURE TO REMAIN w/ PARTIAL GYPSUM BOARD SOFFIT</div></div> <div><div>26</div><div>(N) RECESSED STRUCTURE w/ RIVER ROCK BEYOND</div></div> <div><div>27</div><div>(N) WOOD HANDRAIL ASSEMBLY @ 36" ABOVE FINISHED STAIR NOSING; TYP.</div></div> <div><div>28</div><div>(N) WOOD-FRAMED STAIR ASSEMBLY; TYP.</div></div> <div><div>29</div><div>APPROXIMATE LINE OF (E) GRADE (FOR REF. ONLY)</div></div> <div><div>30</div><div>LINE OF (N) METAL OUTRIGGER SUPPORT ASSEMBLY w/ RETRACTABLE FABRIC CANOPY; REF. BLG. SECTIONS</div></div> <div><div>31</div><div>(N) BUILT-IN WOOD PLANTER w/ IRRIGATION SYSTEM</div></div>

160-164 RUSS STREET

SAN FRANCISCO, CA. 94103

DUMICAN MOSEY ARCHITECTS

880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

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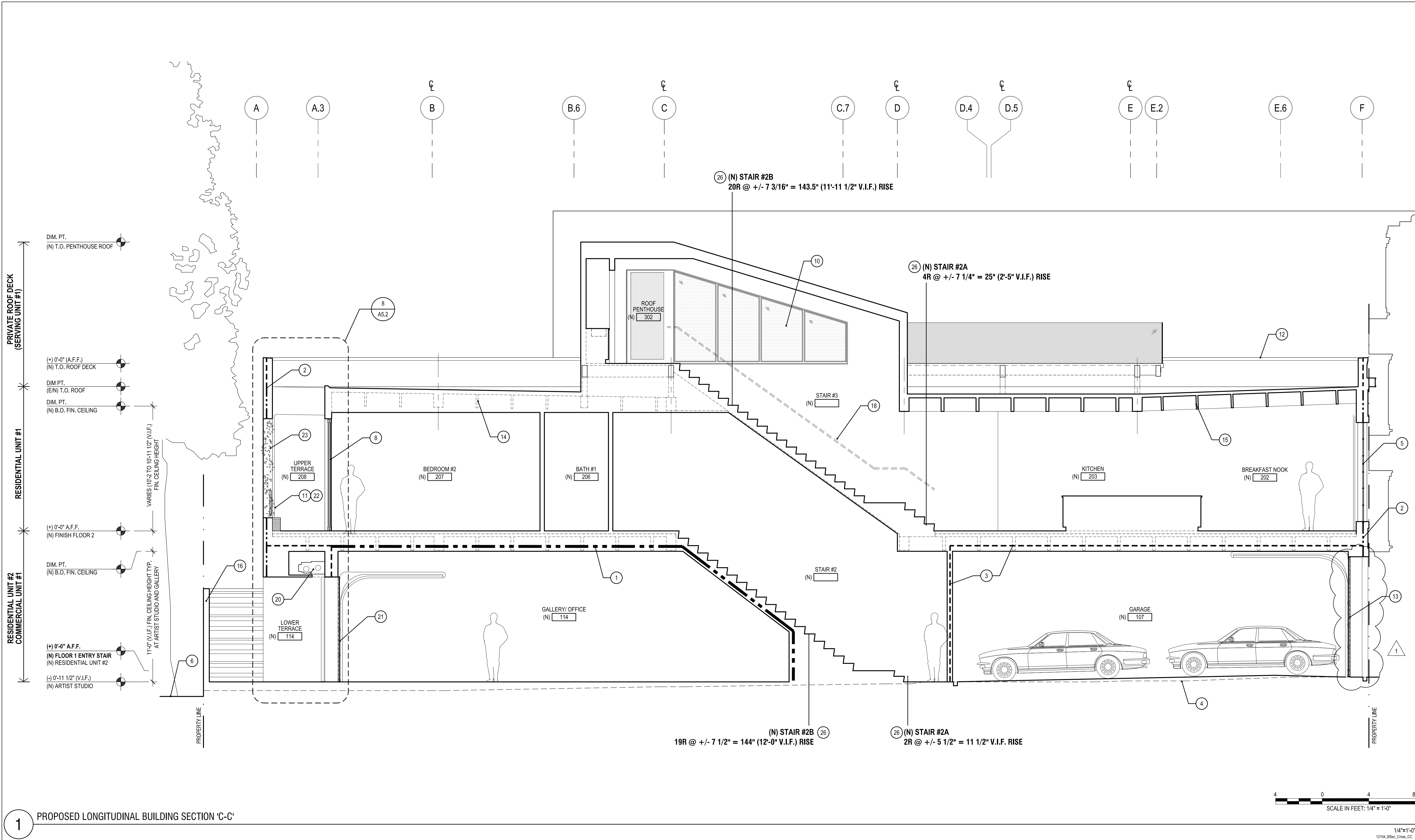
Job No.	12104.00
Issue	Date
VARIANCE APPLICATION	08/16/12
PLANNING REVISIONS	07/26/13

Drawing Title

PROPOSED
LONGITUDINAL
BUILDING SECTION 'B-B'

Sheet Number

A3.2



1 PROPOSED LONGITUDINAL BUILDING SECTION 'C-C'

GENERAL NOTES	WALL TYPES LEGEND	○ SHEET NOTES		
<div>1. ALL WORK IS (N) U.O.N.</div> <div>2. NOT ALL NOTES ARE USED EVERY SHEET</div> <div>3. (E) CONCRETE INTERIOR WALLS-; PILASTERS-; COLUMNS-; BEAMS- TO REMAIN SHALL BE SANDBLASTED WHERE EXPOSED; TYP.; U.O.N.</div> <div>4. REF. EXTERIOR ELEVATIONS FOR MORE INFO</div> <div>5. REF. SHEETS A8.2 AND A8.3 FOR ROOF DECK INFO</div>	<div><div>----</div>(N) 1-HR FIRE RESISTANCE RATED SEPARATION</div> <div><div>----</div>(E) 2-HR FIRE RESISTANCE RATED SEPARATION</div> <div><div>----</div>(N) 2-HR FIRE RESISTANCE RATED SEPARATION</div>	<div><div>1</div><div>(N) 2-HR FIRE RESISTANCE RATED WALL-; FLOOR-; CEILING-; ASSEMBLY; TYP.</div></div> <div><div>2</div><div>(E) 2-HR FIRE RESISTANCE ASSEMBLY; TYP.</div></div> <div><div>3</div><div>(N) 1-HR FIRE RESISTANCE RATED WALL-; FLOOR-; CEILING-; ASSEMBLY; TYP.</div></div> <div><div>4</div><div>LINE OF (E) FINISH FLOOR TO BE REMOVED (FOR REF. ONLY)</div></div> <div><div>5</div><div>(E/N) WINDOW ASSEMBLY; REF. EXTERIOR ELEVATIONS</div></div> <div><div>6</div><div>APPROXIMATE LINE OF (E) GRADE (FOR REF. ONLY)</div></div> <div><div>7</div><div>CUSTOM SECURITY GATE ASSEMBLY; REF. SHEET A2.1</div></div> <div><div>8</div><div>ALUMINUM SLIDING DOOR & WINDOW ASSEMBLY w/ 1" INSULATED CLEAR TEMPERED GLAZING; TYP.</div></div> <div><div>9</div><div>LINE OF ENTRY DOOR BEYOND</div></div> <div><div>10</div><div>ALUMINUM WINDOW WALL ASSEMBLY w/ 1" INSULATED CLEAR TEMPERED GLAZING; TYP.</div></div>	<div><div>11</div><div>METAL GRATE GUARDRAIL ASSEMBLY @ 42" A.F.F.; TYP.; REF. DWG. 8/A5.2</div></div> <div><div>12</div><div>LINE OF (E) ROOF PARAPET BEYOND w/ (N) MEMBRANE AND METAL COPING; TYP.</div></div> <div><div>13</div><div>SECTIONAL GARAGE DOOR W/ FLUSH STEEL PANEL TO MATCH ADJACENT BAR STOCK FRAME; REF. DOOR SCHEDULE</div></div> <div><div>14</div><div>DASHED LINE INDICATED (E) WOOD STRUCTURE TO REMAIN; REF. S-SERIES</div></div> <div><div>15</div><div>WOOD STRUCTURE TO REMAIN; TYP. REF. FINISH SCHEDULE AND S-SERIES</div></div> <div><div>16</div><div>WOOD FENCE AT PROPERTY LINE; TYP.</div></div> <div><div>17</div><div>CONCRETE CURB; REF. S-SERIES</div></div> <div><div>18</div><div>DASHED LINE INDICATES WOOD HANDRAIL @ 36" A.F.F. IN FOREGROUND</div></div> <div><div>19</div><div>1/2" CANTILEVERED CLR. LAMINATED GLASS GUARDRAIL @ 42" A.F.F; TYP.</div></div> <div><div>20</div><div>MOTOR-OPERATED ROLL-UP FIRE SHUTTERS; REF MEP-SERIES</div></div>	<div><div>21</div><div>STEEL SECTIONAL GARAGE DOOR W/ 1" INSULATED GLASS INSERTS; REF. DOOR SCHEDULE</div></div> <div><div>22</div><div>PLANTER w/ INTERNAL IRRIGATION SYSTEM; TYP. AT (E) WINDOW SYSTEM</div></div> <div><div>23</div><div>CLIMBING PLANTS; TYP.</div></div> <div><div>24</div><div>STRUCTURE TO REMAIN w/ PARTIAL GYPSUM BOARD SURROUND</div></div> <div><div>25</div><div>RECESSED STRUCTURE w/ RIVER ROCK BEYOND</div></div> <div><div>26</div><div>WOOD-FRAMED STAIR ASSEMBLY; TYP.; REF. S-SERIES</div></div> <div><div>27</div><div>CONCRETE SHEAR WALL W/ ARCHITECTURAL BOARD-FORMED FINISH; REF. FINISH SCHEDULE AND S-SERIES</div></div> <div><div>28</div><div>STEEL-FRAMED STAIR ASSEMBLY; TYP.; REF. S-SERIES</div></div>

160-164 RUSS STREET

SAN FRANCISCO, CA. 94103

DUMICAN MOSEY
ARCHITECTS

880 harrison street, no. 302
san francisco, california 94107
t: 415.495.9322 f: 415.651.9290

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Drawing Title

PROPOSED
LONGITUDINAL
BUILDING SECTION 'C-C'

Sheet Number

A3.3