



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 05, 2012**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard & Noncomplying Structure)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>228-230 Laussat St</b>	Case No.: <b>2012.1119V</b>
Cross Street(s): <b>Laussat &amp; Fillmore Street</b>	Building Permit: <b>n/a</b>
Block / Lot No.: <b>0860/045</b>	Applicant/Agent: <b>Seth Merrick</b>
Zoning District(s): <b>NC-2 / 40-X</b>	Telephone: <b>(415) 244-7155</b>
Area Plan: <b>n/a</b>	E-Mail: <b>smerrick@rlslawyers.com</b>

### PROJECT DESCRIPTION

The proposal is to legalize existing spiral stairs constructed without a permit at the rear of the two-story, two-family dwelling.

**SECTION 134 OF THE PLANNING CODE** requires a rear yard area at the second story and at each succeeding story of a building as well as the first story if it contains a dwelling unit in the NC-2 Zoning District. The rear yard shall be equivalent to 25 percent of the total lot depth or 15 feet, whichever is greater. The subject property has a lot depth of approximately 45 feet and the required rear yard for the subject property is 15 feet. The existing spiral stairs are located in the required rear yard.

**SECTION 188 OF THE PLANNING CODE** prohibits the expansion or replacement of a noncomplying structure. Because the subject property already encroaches 6 feet into the required rear yard, it is considered a legal noncomplying structure. Therefore, the legalization of the spiral stairs would be contrary to Section 188 of the Planning Code.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Christine Lamorena** Telephone: **415-575-9085** Mail: [christine.lamorena@sfgov.org](mailto:christine.lamorena@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1119V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

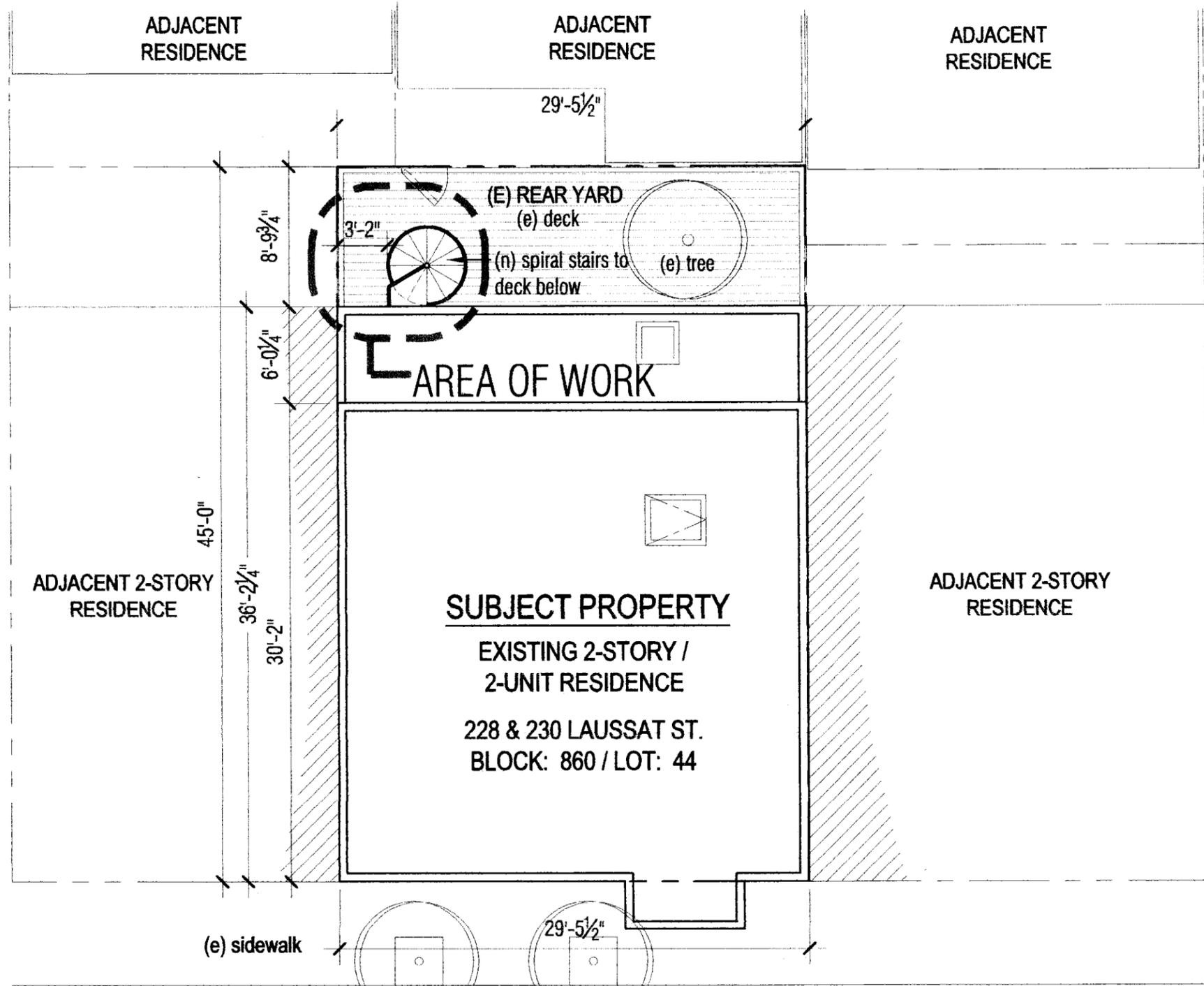
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



# INDEX OF DRAWINGS

- A1.0 PLOT / SITE PLAN, PROJECT DATA
- A2.0 EXISTING FLOOR PLANS
- A3.0 PARTIAL NEW FLOOR PLANS AND ELEVATION

# SCOPE OF WORK

NEW EXTERIOR SPIRAL METAL STAIRS AT REAR YARD, CONNECTING EXISTING SECOND FLOOR UNIT TO EXISTING DECK BELOW

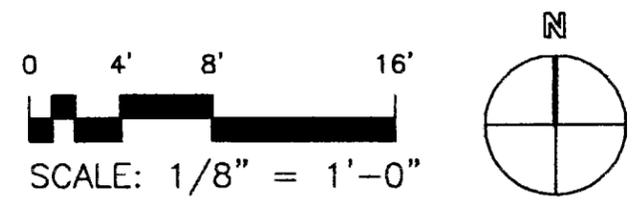
# PROJECT DATA

ADDRESS: 230 LAUSSAT STREET (2ND FLOOR)  
 OWNER: SETH MERRICK  
 BLOCK: 860  
 LOT: 44  
 ZONING: NC-2  
 CONSTRUCTION: TYPE V - B  
 OCCUPANCY: R-3  
 NUMBER OF STORIES: EXISTING: 2  
 PROPOSED: 2 - NO CHANGE

NO PROPOSED ADDITION TO SQUARE FOOTAGE

LAUSSAT STREET

**1** PLOT / SITE PLAN  
 1/8" = 1'-0"

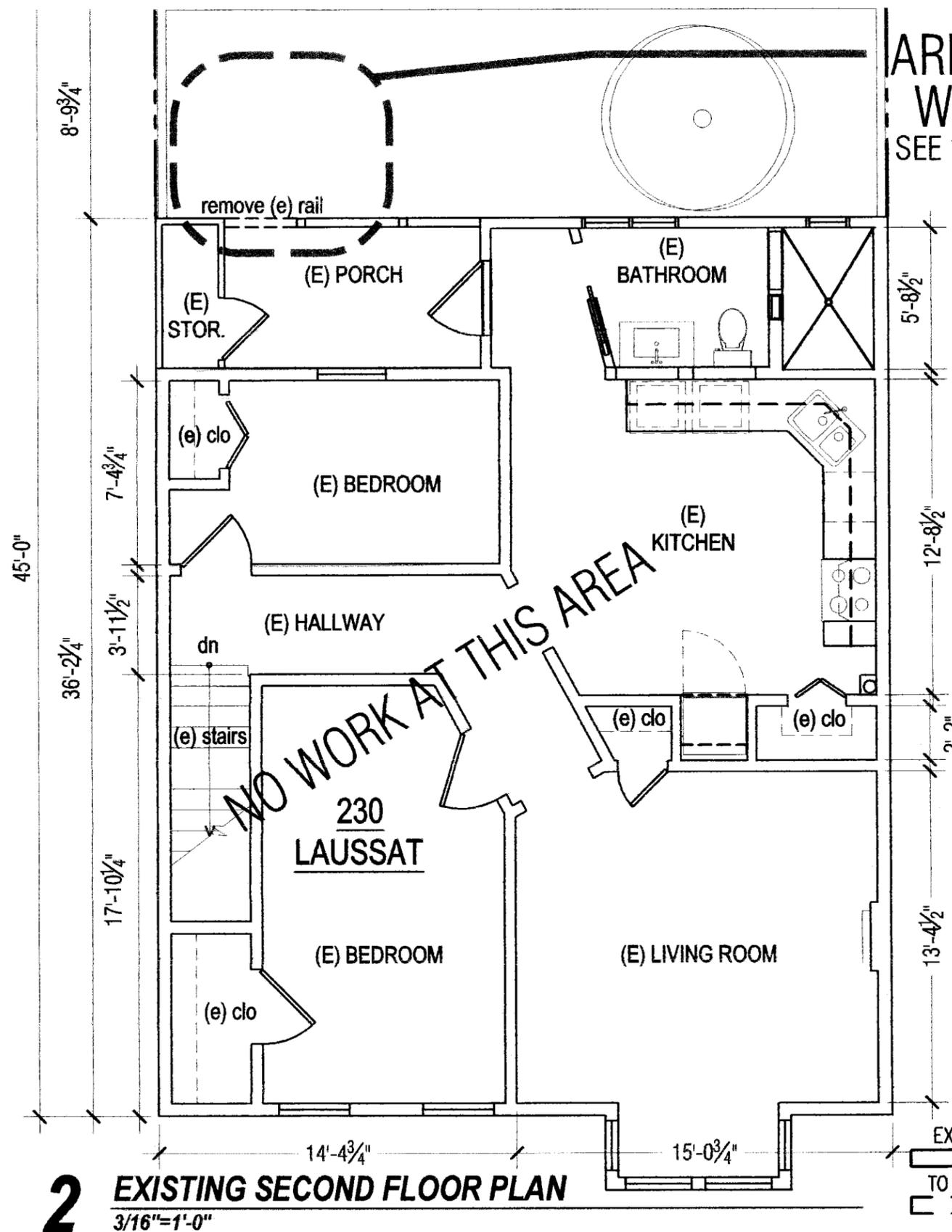


# 230 LAUSSAT ST. STAIR ADDITION

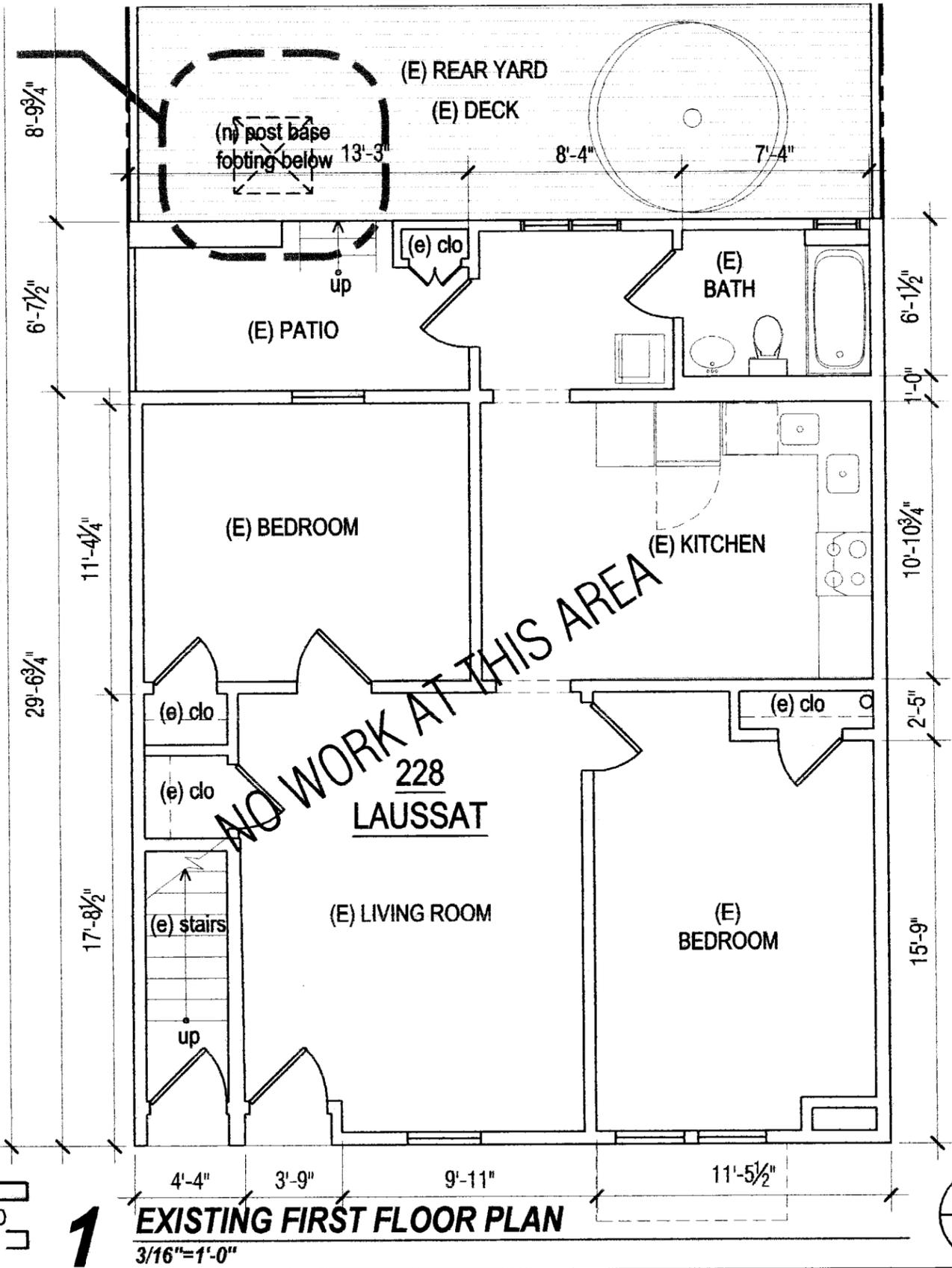
DATE	ISSUE
03.29.10	BUILDING PERMIT

SHEET: **A1.0**  
 PLOT PLAN/SITE PLAN, PROJECT DATA  
**12.1119**

*fm*

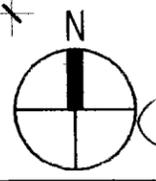
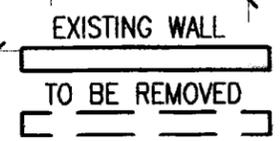


AREA OF WORK  
SEE 1,2/ A3.0



**2** EXISTING SECOND FLOOR PLAN  
3/16"=1'-0"

**1** EXISTING FIRST FLOOR PLAN  
3/16"=1'-0"

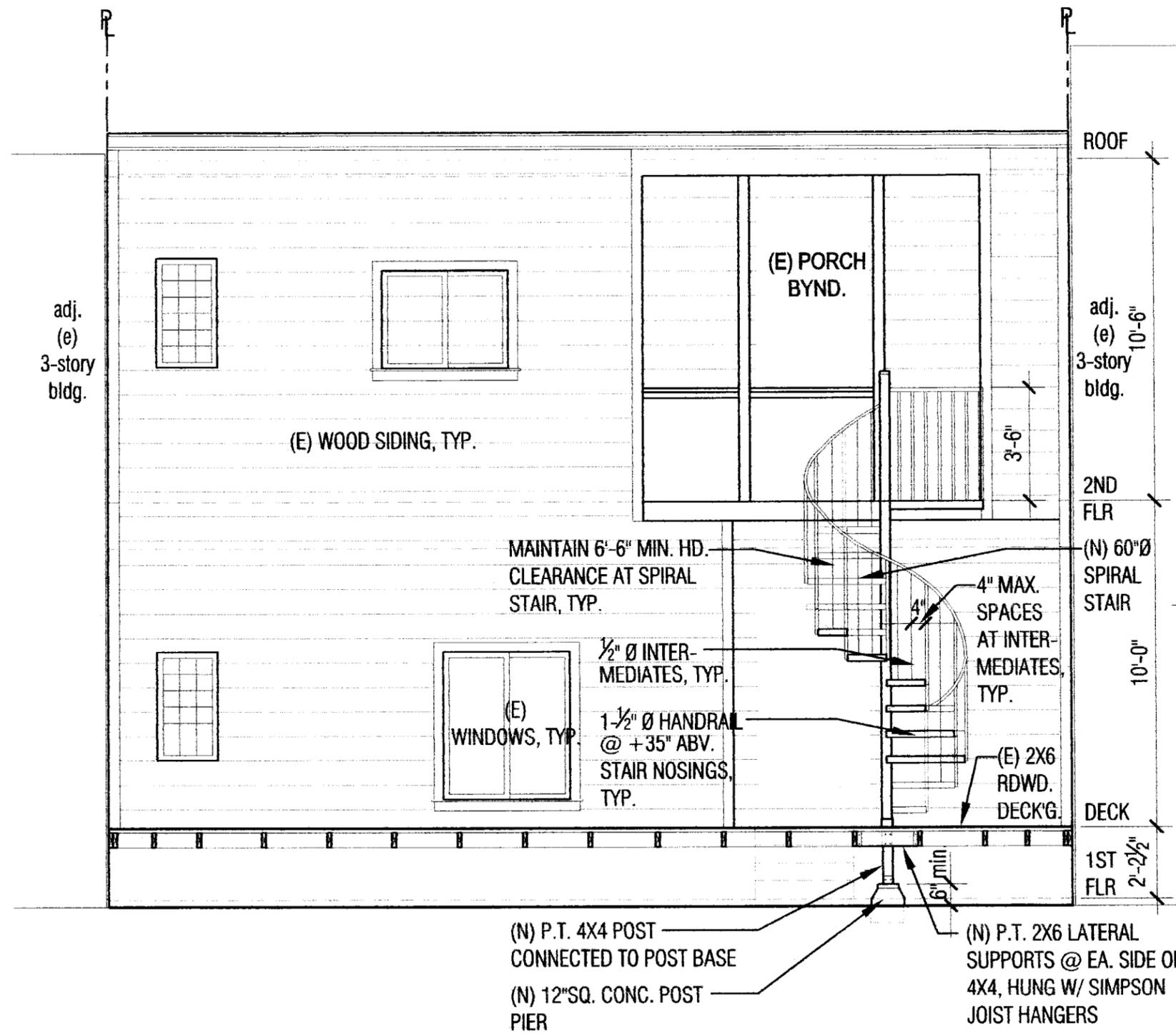


230 LAUSSAT ST. STAIR ADDITION

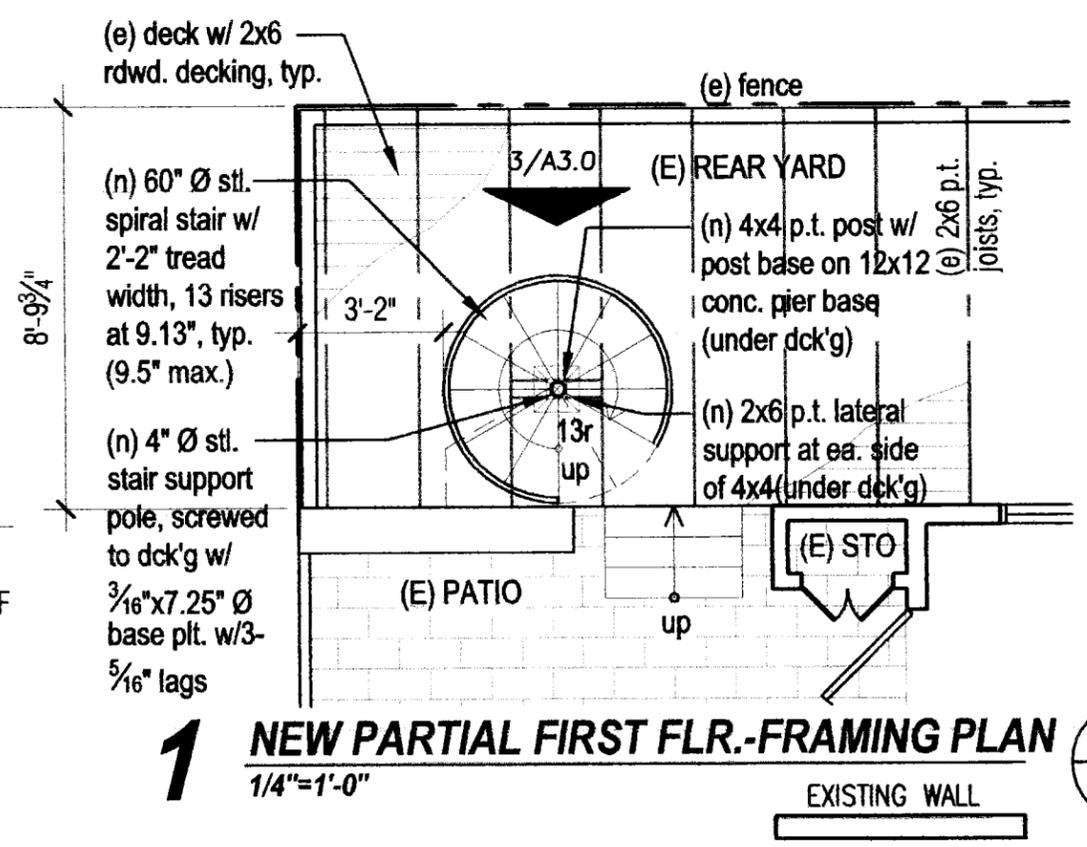
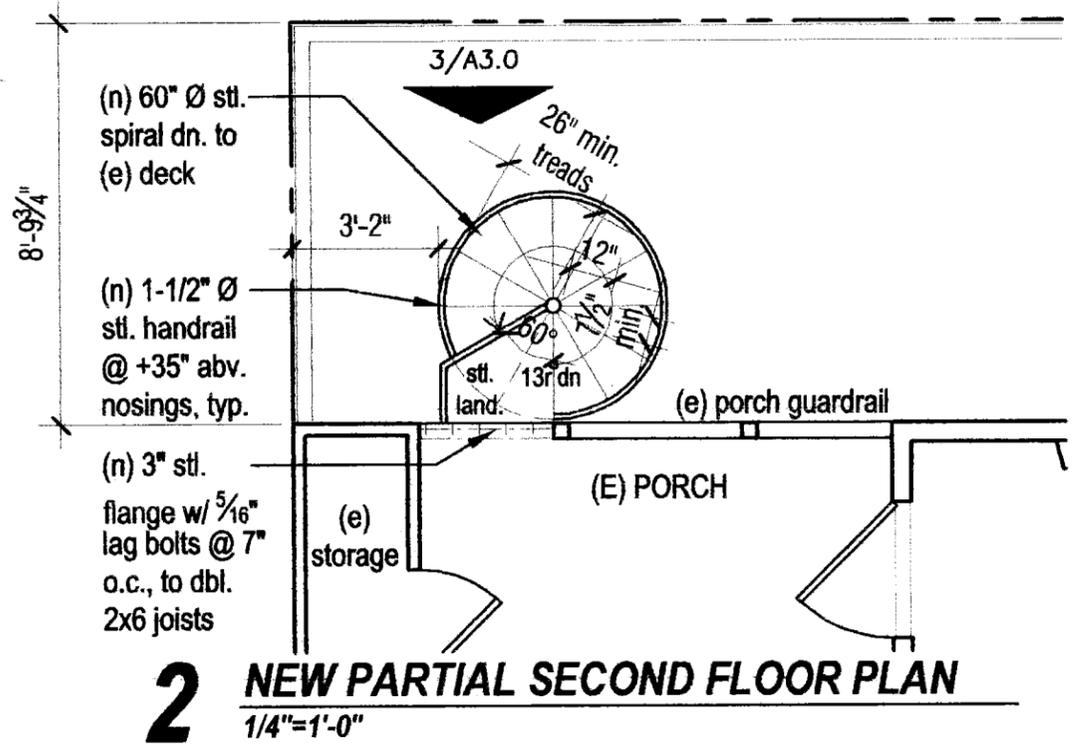
DATE	ISSUE
03.29.10	BUILDING PERMIT

SHEET: **A2.0**

EXISTING FLOOR PLANS  
12.1119



**3** **NEW REAR ELEVATION**  
1/4"=1'-0"



**230 LAUSSAT ST. STAIR ADDITION**

DATE	ISSUE
03.29.10	BUILDING PERMIT

SHEET: **A3.0**  
PARTIAL NEW FLOOR PLANS, ELEV.

12.1119