



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2013**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard and Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1521-1531 Jones St	Case No.:	2012.1093V
Cross Street(s):	Jackson & Pacific Avenue	Building Permit:	201207235467
Block / Lot No.:	0183/005	Applicant/Agent:	Edward Morris
Zoning District(s):	RM-3 / 65-A	Telephone:	415-749-0302
Area Plan:	N/A	E-Mail:	toby@kermanmorris.com

PROJECT DESCRIPTION

The proposal is to construct a partial fourth-story vertical addition on the existing three-story building.

PER SECTIONS 134 AND 188 OF THE PLANNING CODE the Subject Property is required to maintain a rear yard of approximately 21'-11". The existing six-family dwelling encroaches into the required rear yard by approximately 11'-0", extending to within approximately 10'-11" of the rear property line. The proposed vertical addition encroaches into the required rear yard by approximately 6'-11" extending to within approximately 15'-0" of the rear yard property line. An eave projects beyond this point by 2'-6", for a total of a 9'-4" encroachment into the required rear yard. This rear yard encroachment necessitates rear yard and noncomplying structure variances, pursuant to Planning Code Sections 134 and 188, respectively.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Elizabeth Watty** Telephone: **415-558-6620** Mail: elizabeth.watty@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1093V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On December 10, 2012, the Department issued the required Section 311 notification for this project (expires January 8, 2013).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

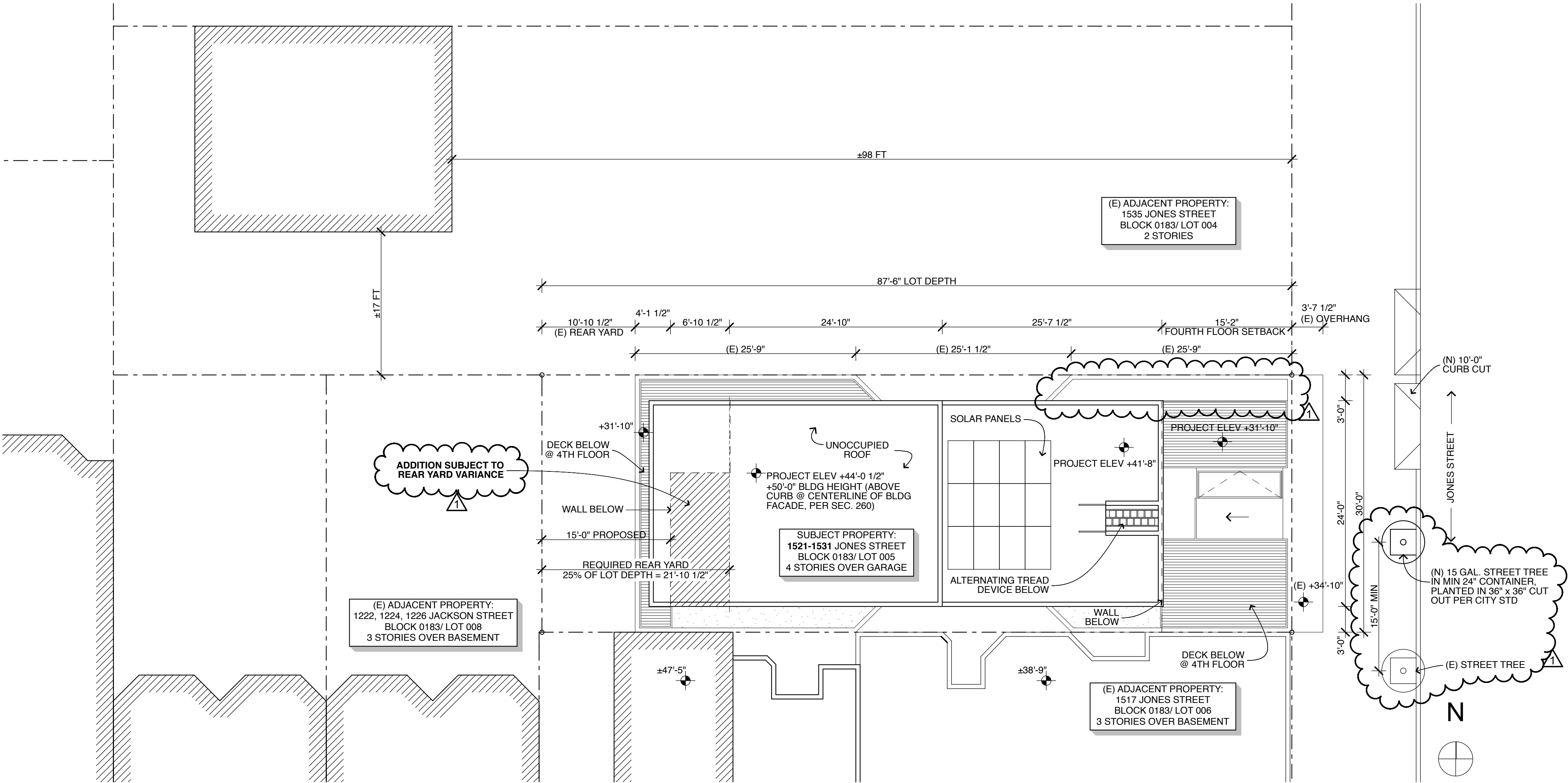
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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1521-1531 JONES ST
MULTI-FAMILY RESIDENTIAL: ADDITION/ REMODEL



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

ABBREVIATIONS:

# @	NUMBER AT	EQ EXT	EQUAL EXTERIOR	PL PLY	PROPERTY LINE PLYWOOD
AB	ANCHOR BOLT	FDN	FOUNDATION	PTDF	PRESSURE TREATED DOUGLAS FIR
ADJ	ADJACENT	FIN	FINISH	PLAM	PLASTIC LAMINATE
ALT	ALTERNATE	FLR	FLOOR	PTD	PAINTED
A.F.F.	ABOVE FINISH FLOOR	FLR	FLUORESCENT	PTN	PARTITION
APPROX	APPROXIMATE	F.O.C.	FACE OF CONCRETE	R	RISER
ASPH	ASPHALT	F.O.S.	FACE OF STUD	REF	REFERENCE
BLDG	BUILDING	FTG	FOOTING	REFR	REFRIGERATOR
BETW	BETWEEN	FOF	FACE OF FINISH	RWD	REDWOOD
BOT	BOTTOM	GALV	GALVANIZED	REINF	REINFORCED
CAB	CABINET	G.F.I.	GROUND FAULT	R.O.	ROUGH OPENING
CEM	CEMENT	G.F.I.	GROUND FAULT	REQ	REQUIRED
CLR	CLEAR	GND	GROUND	R.O.	ROUGH OPENING
CMU	CONC. MASONRY UNIT	GYP	GYPSON	REQ	REQUIRED
COL	COLUMN	GWBS	GYPSON WALL BOARD	SIM	SIMILAR
CONT	CONTINUOUS	HORZ	HORIZONTAL	SHT	SHEET
CTR	CENTER	HT	HEIGHT	S.O.G.	SLAB ON GRADE
CL	CERAMIC	INSUL	INSULATION	SPEC	SPECIFICATION
CER	CERAMIC	INT	INTERIOR	STD	STANDARD
CLG	CEILING	JOINT	JOINT	STRUCTL	STRUCTURAL
CONC	CONCRETE	JT	JOINT	SUSP	SUSPENDED
DBL	DOUBLE	LAV	LAVATORY	SYM	SYMMETRICAL
DEPT	DEPARTMENT	NO	NOT	TRD	TREAD
DIA	DIAMETER	NIC	NOT IN CONTRACT	T&G	TONGUE AND GROOVE
D.F.	DOUGLAS FIR	NO/#	NUMBER	THK	THICK
D.H.	DOUBLE HUNG	N.T.S.	NOT TO SCALE	T.O.S.	TOP OF SLAB
DIM	DIMENSION	MAX	MAXIMUM	TP	TOILET PAPER
DN	DOWN	MIN	MINIMUM	TB	TOWEL BAR
DS	DOWNSPOUT	MTL	METAL	TYP	TYPICAL
DTL	DETAIL	(N)	NEW	U.O.N.	UNLESS OTHERWISE NOTED
DWG	DRAWING	VERT	VERTICAL	VERT	VERIFY IN FIELD
(E)	EXISTING	VIF	VERIFY IN FIELD	W/	WITH
EA	EACH	NO	NOT	W/O	WITHOUT
ELEC	ELECTRICAL	N.T.S.	NOT TO SCALE	W.C.	WATER CLOSET
EL	ELEVATION	O.C.	ON CENTER	WDW	WINDOW
		OPNG	OPENING	WP	WATERPROOF
		OPP	OPPOSITE	WT	WATER
				WD	WOOD
				WH	WATER HEATER

GENERAL LEGEND:

	EXISTING WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW 1-HR RATED FIRE PARTITION/WALL
	BLDG/ WALL SECTION
	EXTERIOR ELEVATION
	COLUMN LINE
	ELEVATION MARKER

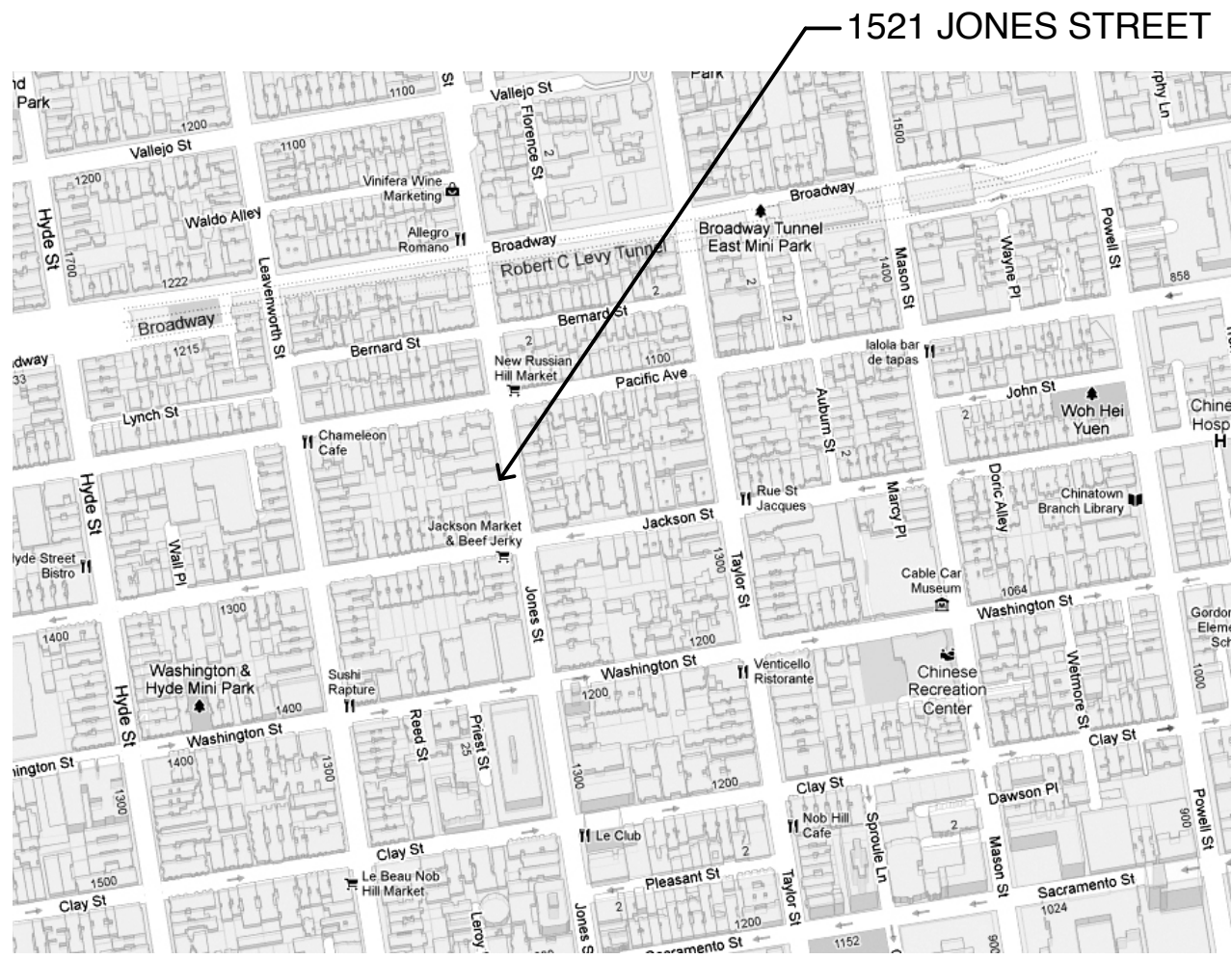
GROSS BUILDING AREA

	EXISTING	PROPOSED
BASEMENT	1,496 sf	2,275 sf
FIRST	2,160 sf	2,160 sf
SECOND	2,160 sf	2,160 sf
THIRD	2,160 sf	2,160 sf
FOURTH	-	1,258 sf
TOTAL	7,976 sf	10,013 sf
TOTAL NEW RESIDENTIAL AREA: 1,258 sf		

DRAWING INDEX:

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A-0.1	GENERAL NOTES
A-0.2	PRE-APPLICATION FINDINGS
A-0.3	EXISTING/DEMO BASEMENT & FIRST FLOOR PLANS
A-0.4	EXISTING/DEMO SECOND FLOOR & ATTIC PLANS
A-0.5	EXISTING/DEMO ROOF PLAN
A-0.6	EXISTING/DEMO EAST (FRONT) ELEVATION
A-0.7	EXISTING/DEMO NORTH ELEVATION
A-0.8	EXISTING/DEMO SOUTH ELEVATION
A-0.9	EXISTING/DEMO WEST (REAR) ELEVATION
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A-3.3	SITE LINE ANALYSIS

LOCATION MAP:



TITLE 24 COMPLIANCE:

Title-24 Mandatory Measures:
All work to comply with Title-24 Mandatory Measures including but not limited to: R-13 min. insulation in all new/rebuilt exterior walls; R-19 min. insulation in all new/rebuilt roofs; R-13 raised floor insulation in all new/rebuilt wood framed floors; double insulated doors and window products with certified U-value and infiltration certification; exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed; 50% minimum high efficacy lighting in kitchens (separately switched); high efficacy lighting in bathrooms, garage, laundry room and utility rooms (or manual-on occupancy sensor); all other rooms, lighting to be high efficacy, manual-on occupancy sensor, or dimmer. All recessed incandescent ceiling fixtures to be IC approved. All recessed fluorescents to be ICAT rated. Outdoor lighting to be high efficacy or motion sensor with photocell. All exterior lights to be high efficacy or to be controlled by a motion sensor with photo cell per CEC 150(k)6.

DESCRIPTION OF WORK:

This work consists of the remodel/ addition to a single unit within a multi-family residential building. Work to include the addition of a story above the existing roof, interior renovations, and seismic upgrades. Existing non-conforming stairs to be rebuilt in-kind. Existing basement level storage to be converted to private parking. Also included are minor plumbing/ electrical/ mechanical work. Rear yard variance required at top level addition.

All work to comply with current local and state codes including, but not limited to: the 2010 Edition of the California Building Code, the California Historic Building Code, the California Plumbing Code, the California Mechanical Code, the California Electrical Code and the California Fire Code, the current editions of the San Francisco Building and Planning Codes, Title-24 Energy Standards, etc...

BUILDING DATA:

OWNERS:	MATT & PATRICIA WREN TEL: (415) 670-7071
ADDRESS:	1521 - 1531 JONES STREET SAN FRANCISCO, CA 94109-3215
BLOCK/LOT:	BLOCK 0183 / LOT 005
ZONING DISTRICT:	RM-3 / 65-A
LOT SIZE:	2,625 SQ. FT.
SFBC OCCUPANCY CLASS:	R-2 (RESIDENTIAL) OVER U (PRIVATE GARAGE)
CONSTRUCTION TYPE:	TYPE-VB (EXISTING); PROPOSED FULLY SPRINKLERED

DESIGN: KERMAN MORRIS ARCHITECTS
69A WATER STREET
SAN FRANCISCO, CA 94133
T: (415) 749-0302 F: (415) 928-5152

SITE PERMIT R1
11/06/2012

APPLICATION # 2012.0723.5467 / CASE # 2012.1093V

NOTE:
FOR PLANNING DEPARTMENT NOTES, SEE SHEET A-0.1.
FOR PRE-APPLICATION MEETING NOTES, SEE SHEET A-0.2.

BUILDING TO BE FULLY SPRINKLERED UNDER SEPARATE PERMIT PER NFPA 13 AND CBC SECTION 903.3.1.1 AND SUPPLIED WITH CLASS I DRY STANDPIPES PER NFPA 14, SECTION 905.1, 905.2 AND 905.3.1 EXCEPTION 1.

KERMAN MORRIS Architects

69A WATER STREET
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CALIFORNIA 94133
TEL: 415.749.0302
FAX: 415.928.5152

Revisions:

1	PLNG SET 7/17/12
1	PLNG R1 11/06/12

1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

PROPOSED SITE PLAN

NOTICE

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The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of KermanMorrisArchitects prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE: 11/06/2012

SCALE: 1/8" = 1'-0"

DRAWN BY: JLL / RH

CHECKED BY: TM

JOB NO.: 1109

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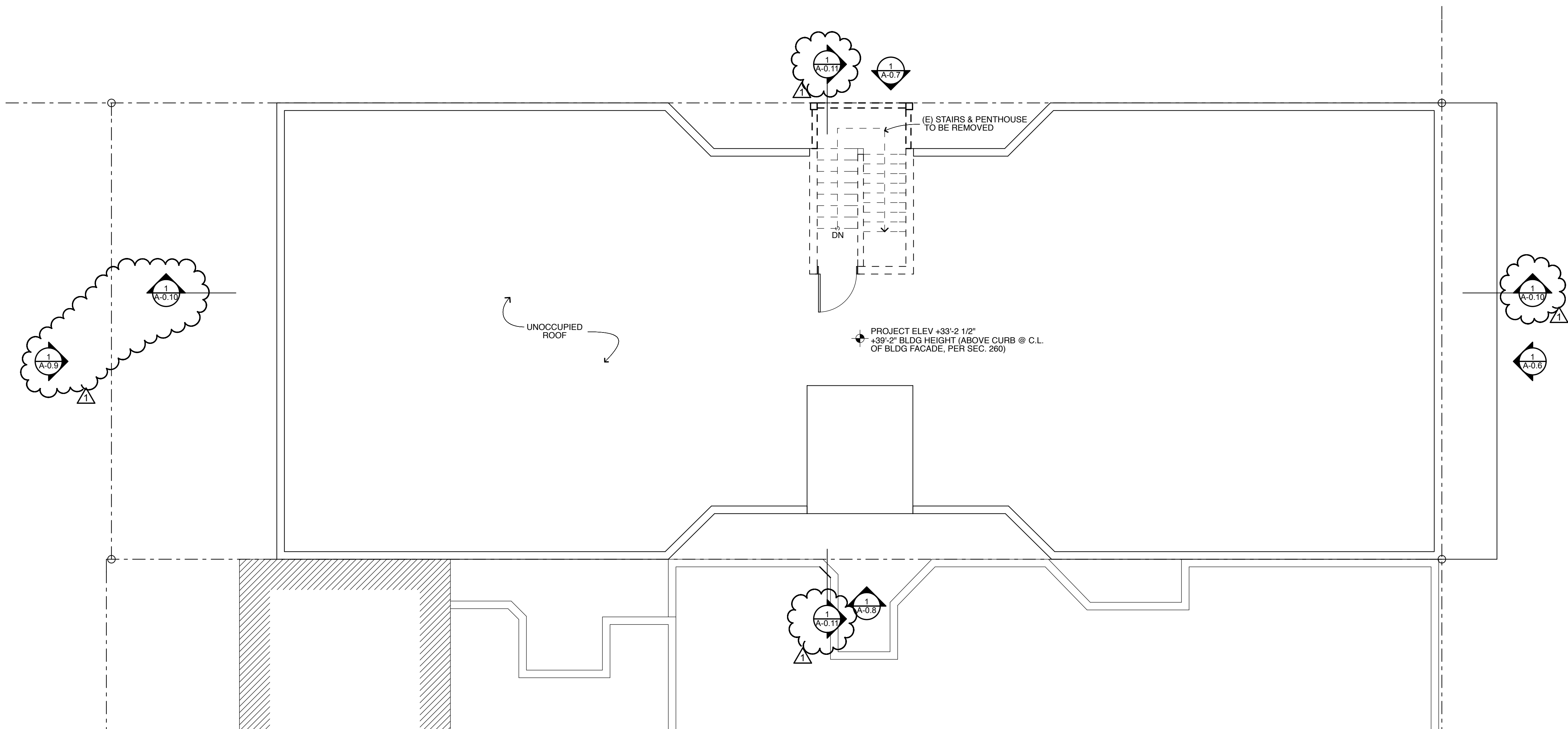
T-1

1 of 23 sheets

SFCP CASE # 2012.1093V

DBI APPLICATION # 2012.0723.5467

100 - 1521-1531 JONES ST
11/06/2012 - SITE PERMIT R1



1 EXISTING/DEMO ROOF PLAN
SCALE: 1/4" = 1'-0"

GENERAL LEGEND:

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW 1-HR RATED FIRE PARTITION/WALL
- BLDG/ WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER

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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

EXISTING/DEMO ROOF
PLAN

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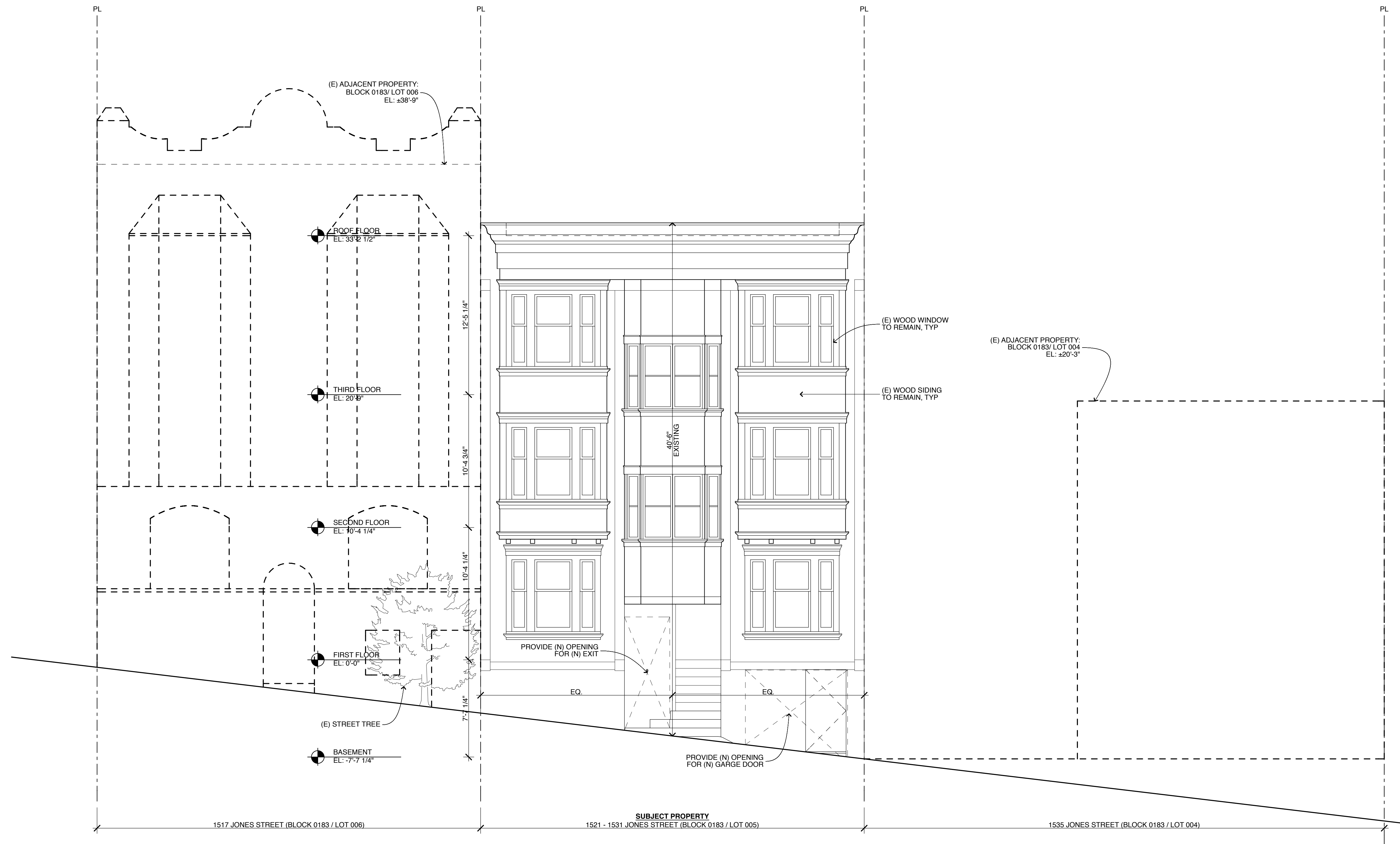
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A-0.5

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- GENERAL LEGEND:
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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

EXISTING/DEMO EAST
(FRONT) ELEVATION

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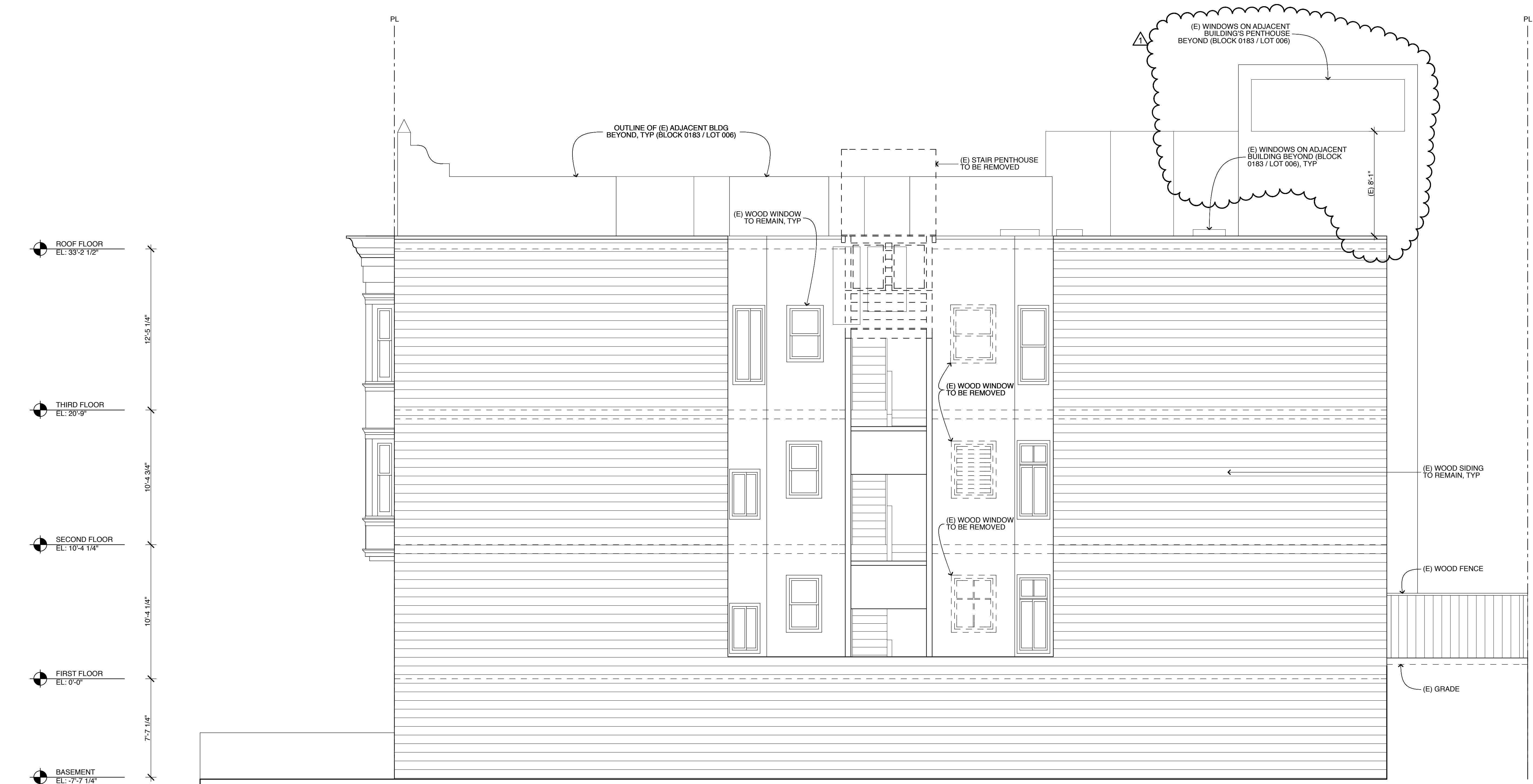
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SFCP CASE # 2012.1093V

DBI APPLICATION # 2012.0723.5467

1521 - 1531 JONES ST
11/06/2012 - SITE PERMIT R1



1 EXISTING/DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL LEGEND:

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- EXISTING WALL TO REMAIN
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- BLDG/ WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER

KERMAN
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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

EXISTING/DEMO NORTH
ELEVATION

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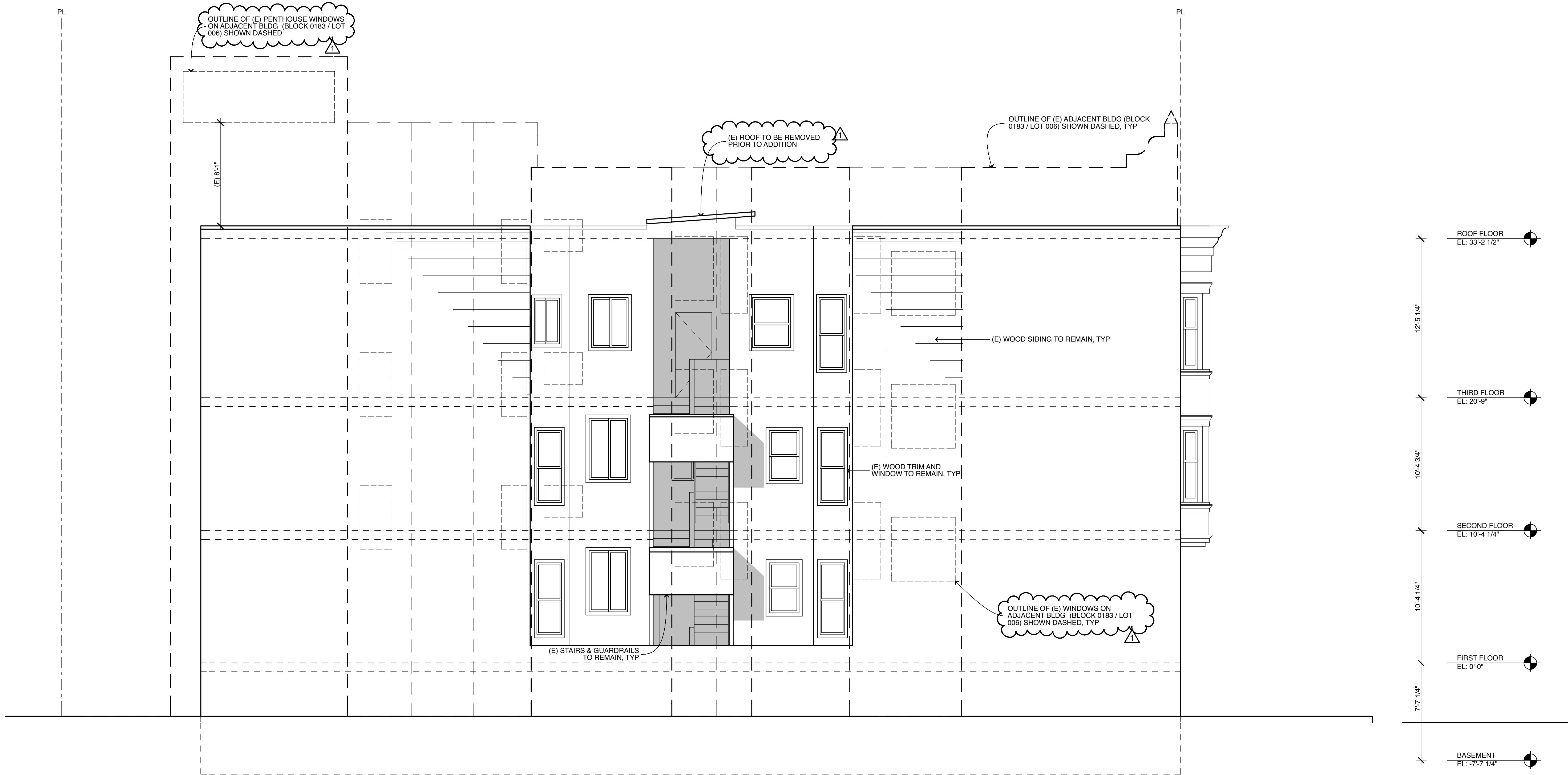
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SFCP CASE # 2012.1093V
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1521-1531 JONES ST
11/06/2012 - SITE PERMIT R1



- GENERAL LEGEND:
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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

EXISTING/DEMO SOUTH
ELEVATION

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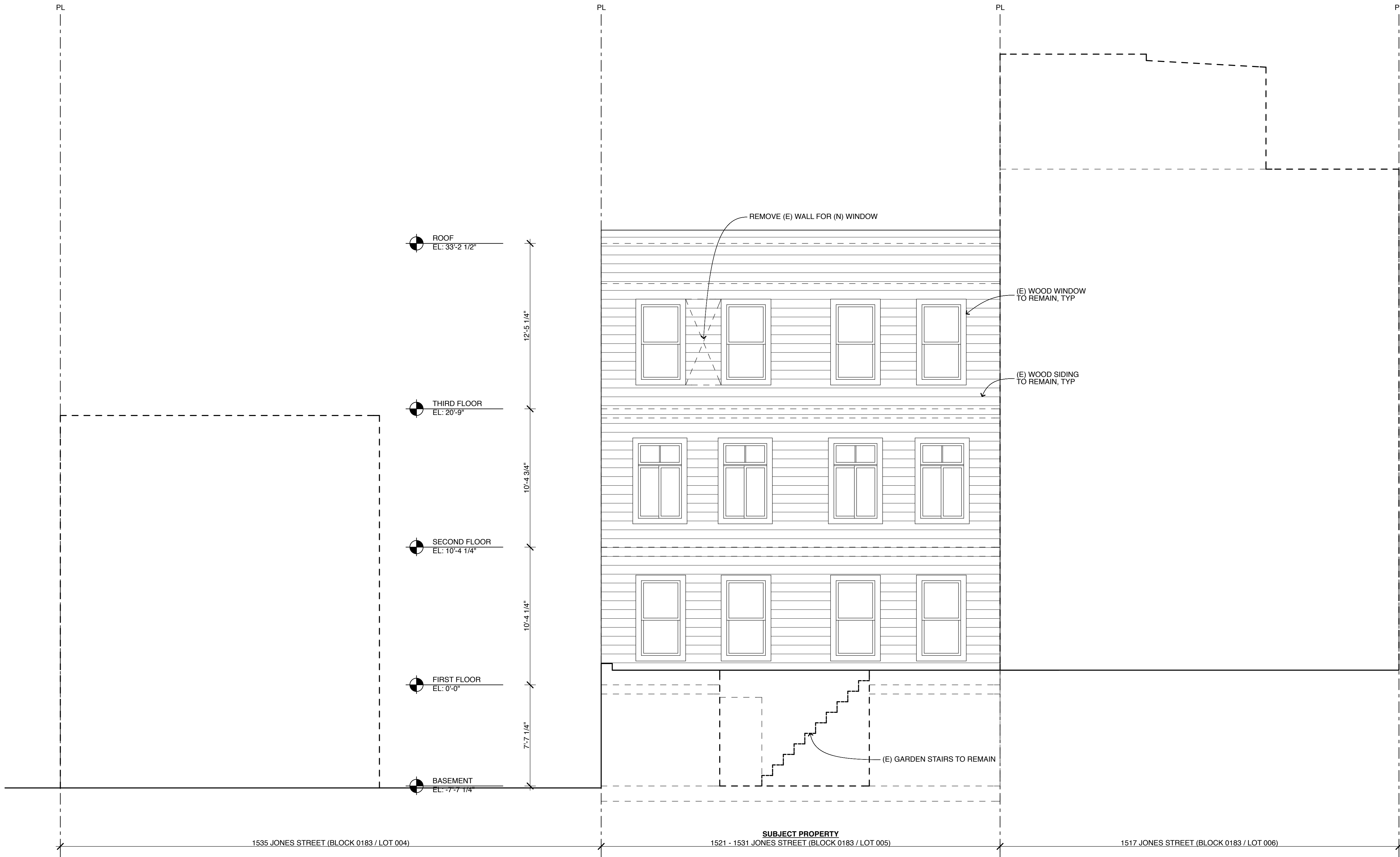
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1 EXISTING/DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SFCP CASE # 2012.1093V

DBI APPLICATION # 2012.0723.5467

109 - 1521-1531 JONES ST
11/06/2012 - SITE PERMIT R1



1 EXISTING/DEMO WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
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BLOCK 0183 / LOT 005

EXISTING/DEMO WEST
(REAR) ELEVATION

NOTICE

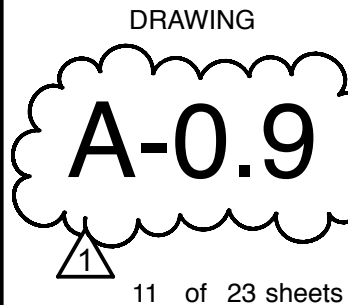
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EXISTING BUILDING
SECTION

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1521-1531 JONES ST
11/06/2012 - SITE PERMIT R1

T.O. ROOF
EL: 47'-5"

(E) WINDOWS ON ADJACENT
BUILDING'S PENTHOUSE
BEYOND (BLOCK 0183 / LOT 006)

(E) ADJACENT NEIGHBOR
(BLOCK 0183 / LOT 006)

(E) CEILING

UNIT 1529

UNIT 1527

UNIT 1531

GARAGE

(E) BASEMENT TO BE EXCAVATED ±1'-6"

ROOF FLOOR
EL: 33'-2 1/2"

THIRD FLOOR
EL: 20'-9"

SECOND FLOOR
EL: 10'-4 1/4"

FIRST FLOOR
EL: 0'-0"

BASEMENT
EL: -7'-7 1/4"

(E) STAIRS TO REMAIN

EXISTING
COMMON
REAR YARD

PL

PL

1 EXISTING/DEMO BUILDING SECTION
SCALE: 1/4" = 1'-0"

GENERAL LEGEND:

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW 1-HR RATED FIRE PARTITION/WALL
- BLDG/ WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER

KERMAN
MORRIS
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Revisions:

	PLNG SET 7/17/12
1	PLNG R1 11/06/12

1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

EXISTING CROSS
SECTION

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DATE: 11/06/2012

SCALE:

DRAWN BY: JLL / RH

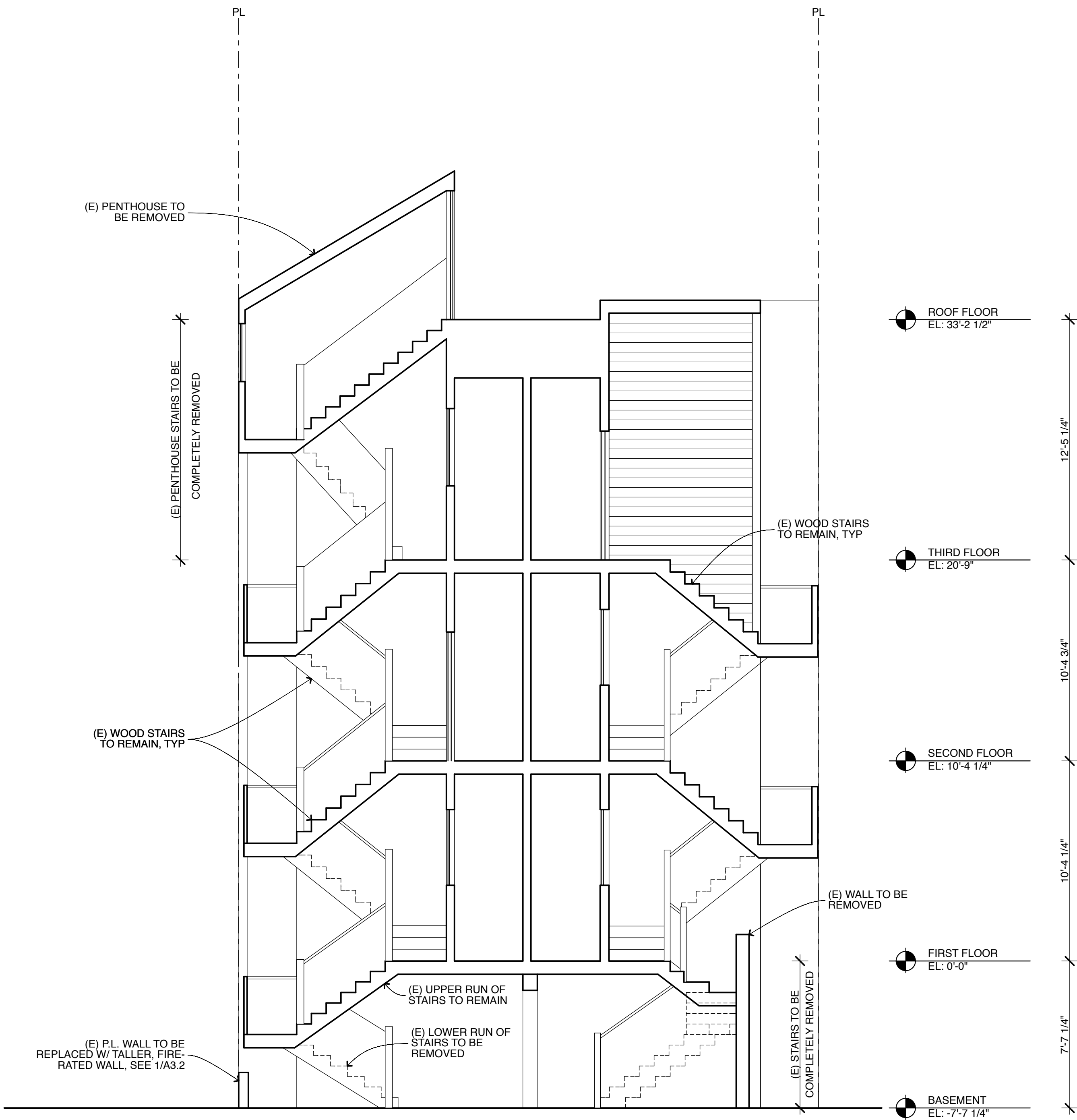
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JOB NO.: 1109

DRAWING

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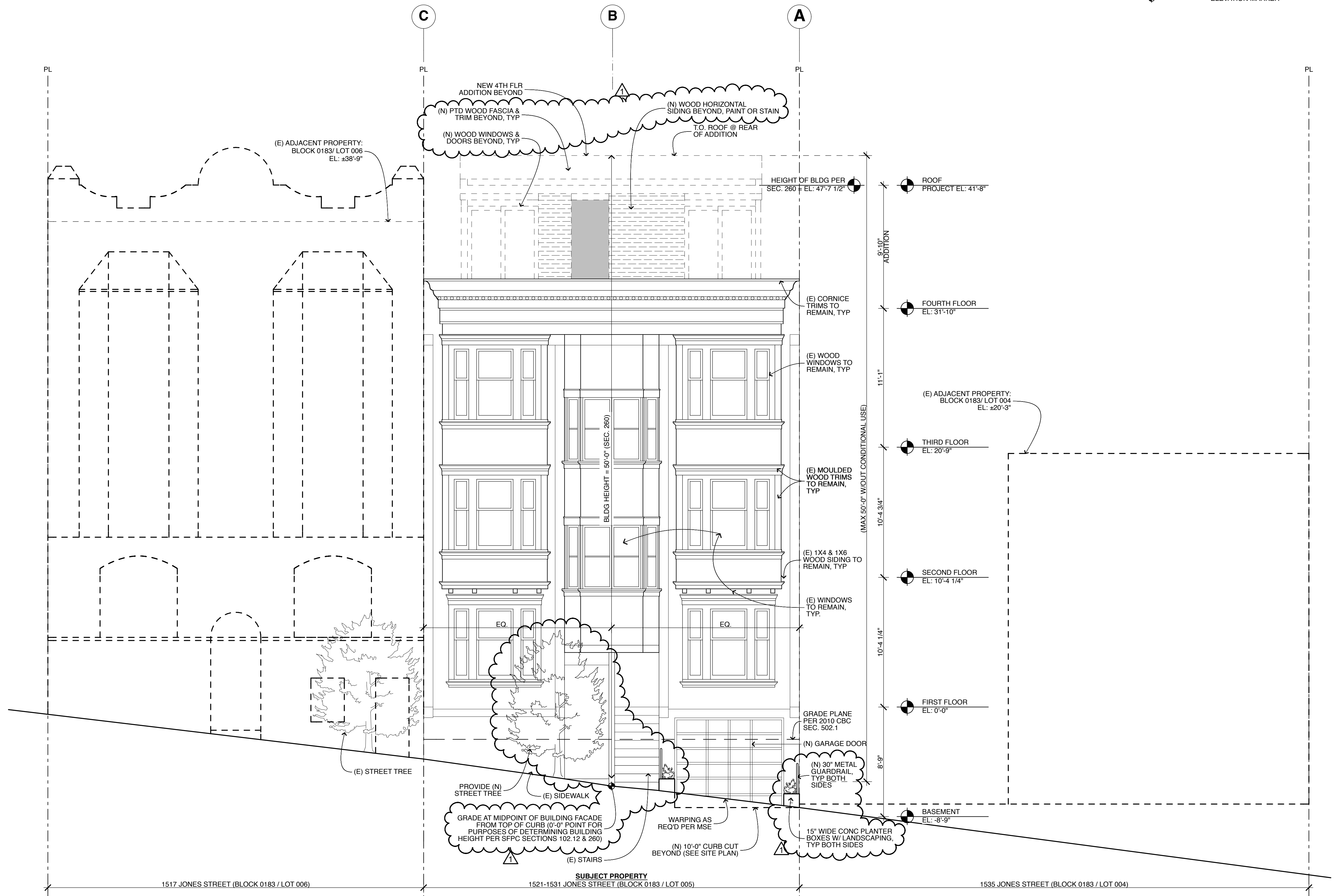
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1 EXISTING/DEMO CROSS SECTION
SCALE: 1/4" = 1'-0"

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1 PROPOSED EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

- GENERAL LEGEND:
- EXISTING WALL TO BE DEMOLISHED
 - EXISTING WALL TO REMAIN
 - NEW 1-HR RATED FIRE PARTITION/WALL
 - BLDG/ WALL SECTION
 - EXTERIOR ELEVATION
 - COLUMN LINE
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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

PROPOSED EAST
(FRONT) ELEVATION

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DATE:	11/06/2012
SCALE:	1/4" = 1'-0"
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1521-1531 JONES ST
11/06/2012 - SITE PERMIT R1

GENERAL LEGEND:

- EXISTING WALL TO BE DEMOLISHED
EXISTING WALL TO REMAIN
NEW 1-HR RATED FIRE PARTITION/WALL
BLDG/ WALL SECTION
EXTERIOR ELEVATION
COLUMN LINE
ELEVATION MARKER

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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/REMODEL

BLOCK 0183 / LOT 005

PROPOSED NORTH
ELEVATION

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DATE: 11/06/2012

SCALE: 1/4" = 1'-0"

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JOB NO.: 1109

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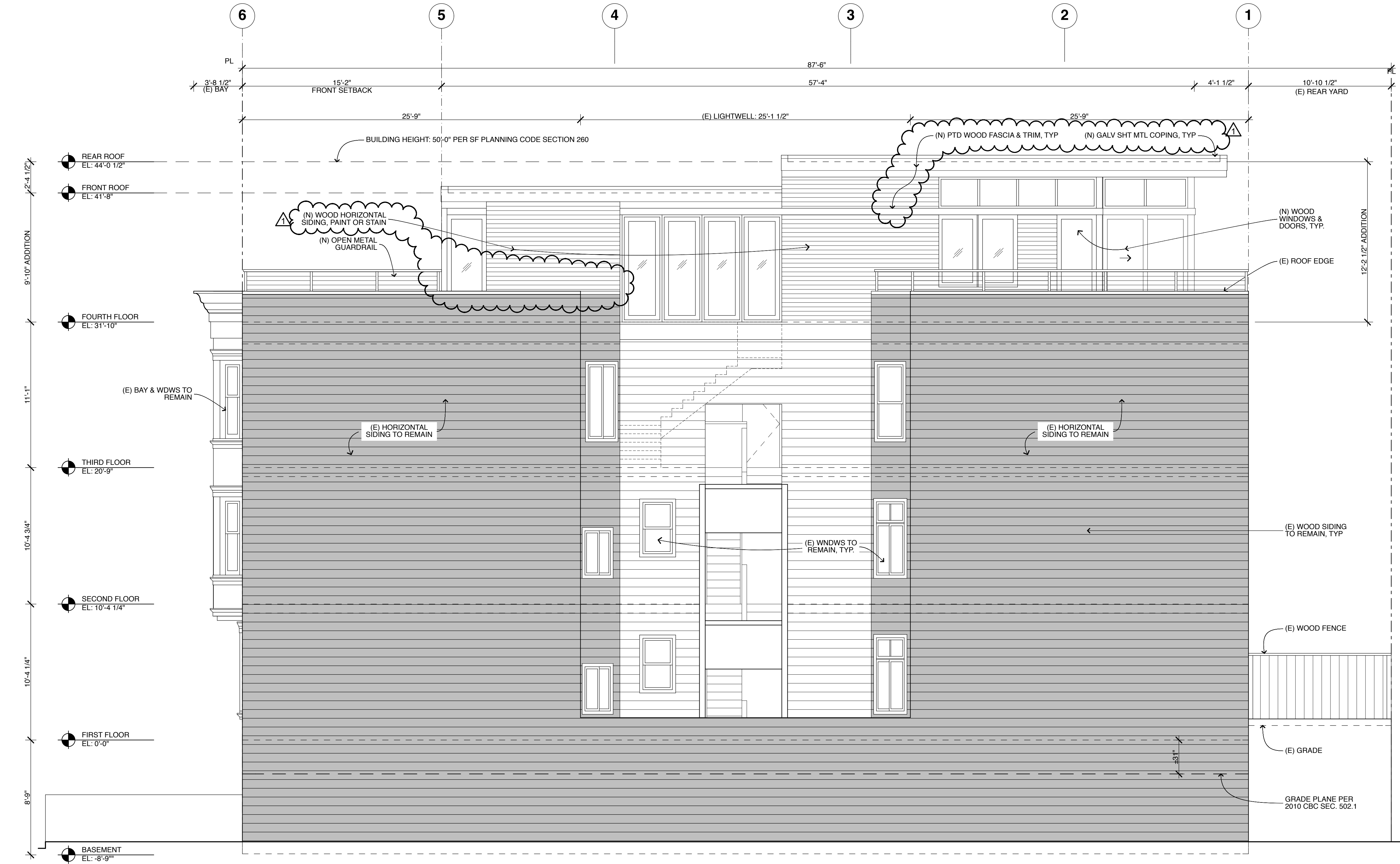
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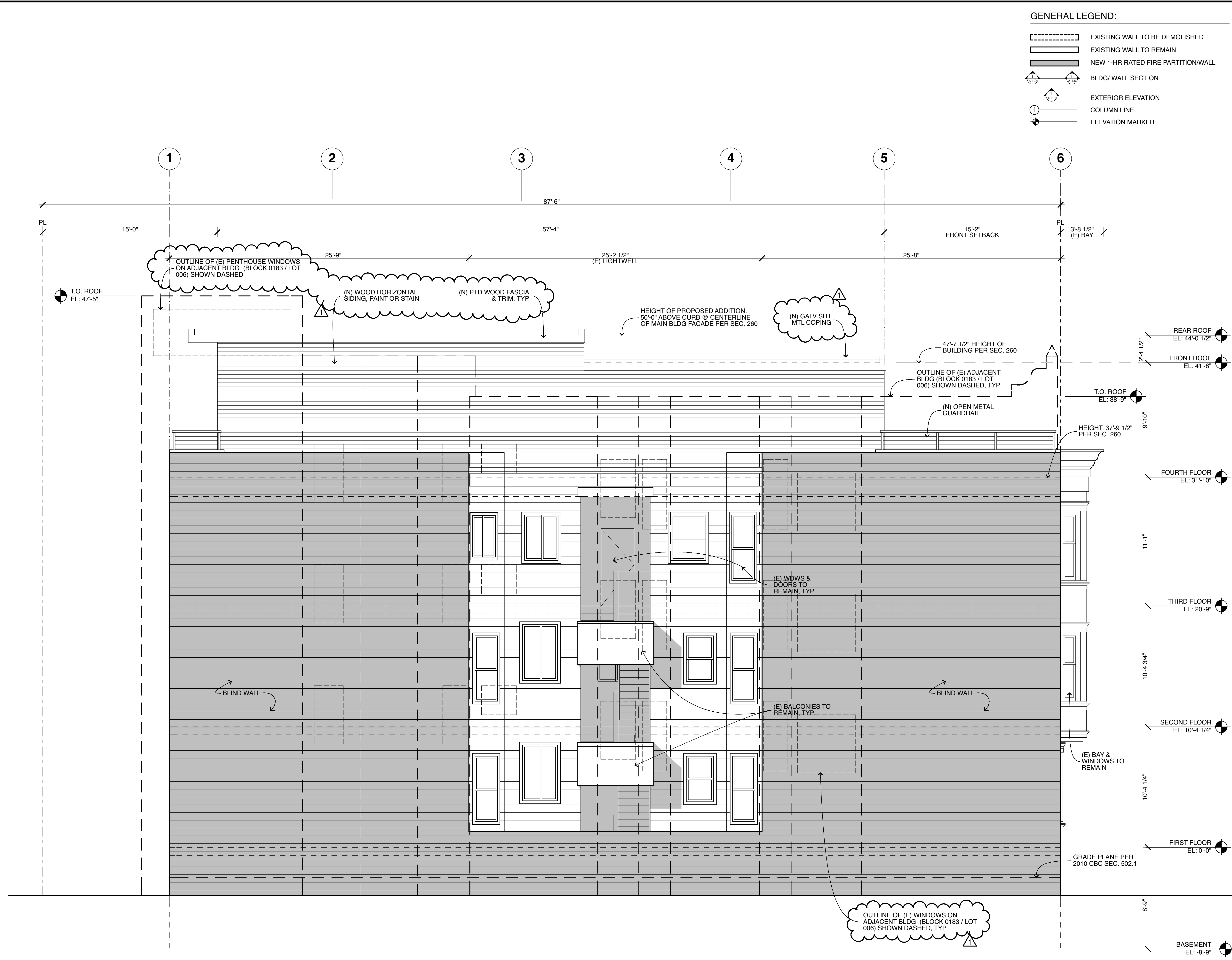
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DBI APPLICATION # 2012.0723.5467

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11/06/2012 - SITE PERMIT R1



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL LEGEND:

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW 1-HR RATED FIRE PARTITION/WALL
- BLDG/ WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER

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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

PROPOSED SOUTH
ELEVATION

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DATE: 11/06/2012

SCALE: 1/4" = 1'-0"

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JOB NO.: 1109

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1521-1531 JONES ST

MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

PROPOSED WEST (REAR)
ELEVATION

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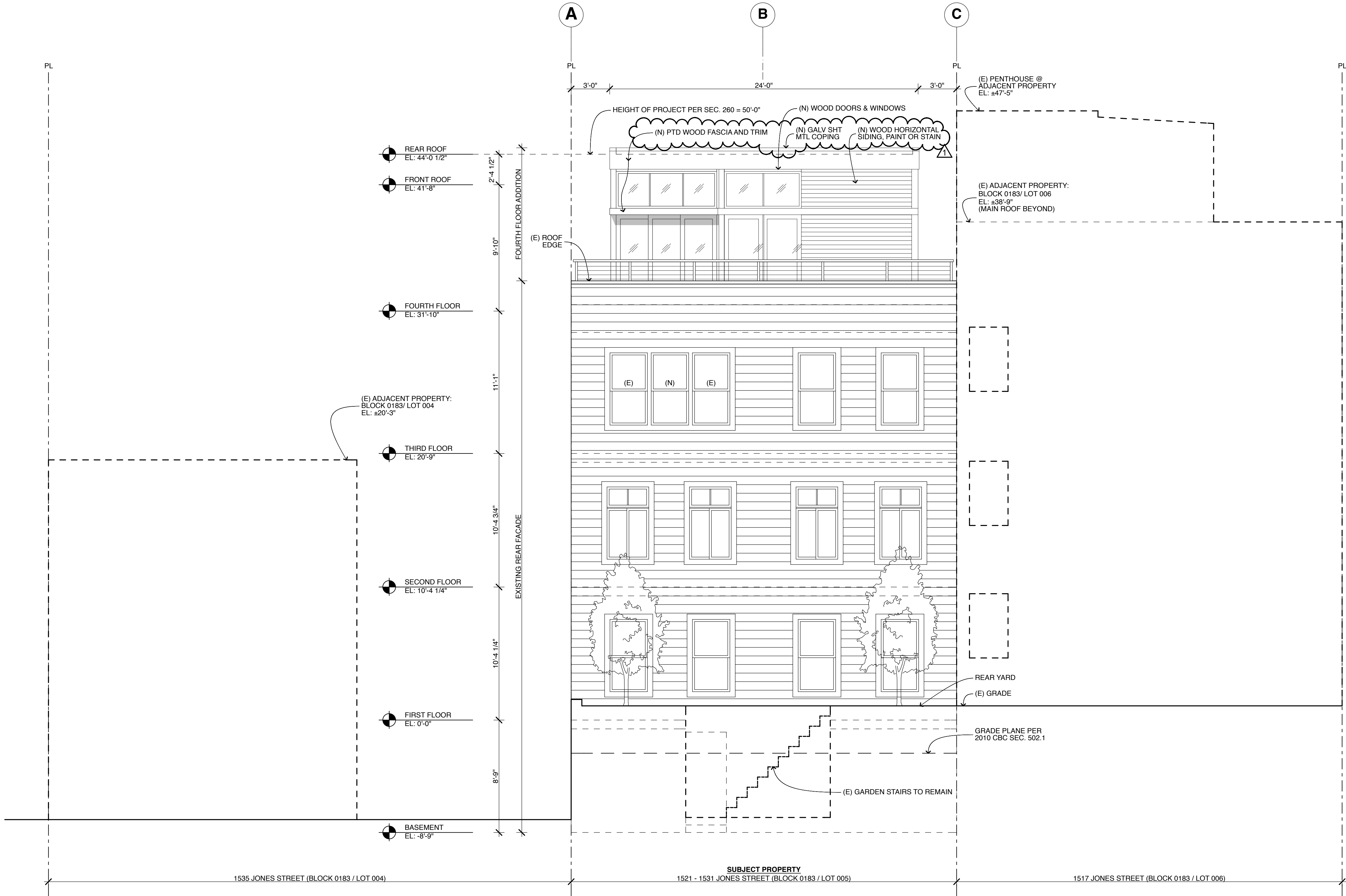
DATE:	11/06/2012
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JOB NO.:	1109

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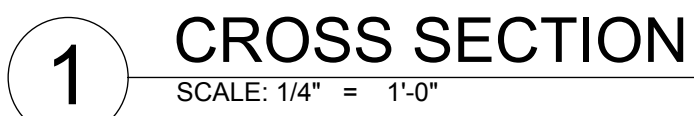
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GENERAL LEGEND:

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW 1-HR RATED FIRE PARTITION/WALL
- BLDG/ WALL SECTION
- EXTERIOR ELEVATION
- COLUMN LINE
- ELEVATION MARKER



1 WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



 EXISTING WALL TO BE DEMOLISHED
 EXISTING WALL TO REMAIN
 NEW 1-HR RATED FIRE PARTITION/WALL
 BLDG/ WALL SECTION
 EXTERIOR ELEVATION
 COLUMN LINE
 ELEVATION MARKER

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DBI APPLICATION # 2012.0723.5467

11/09 - 1521-1531 JONES ST
11/06/2012 - SITE PERMIT R1

GENERAL LEGEND:

- EXISTING WALL TO BE DEMOLISHED
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MULTI-FAMILY
RESIDENTIAL:
ADDITION/ REMODEL

BLOCK 0183 / LOT 005

SITE LINE ANALYSIS

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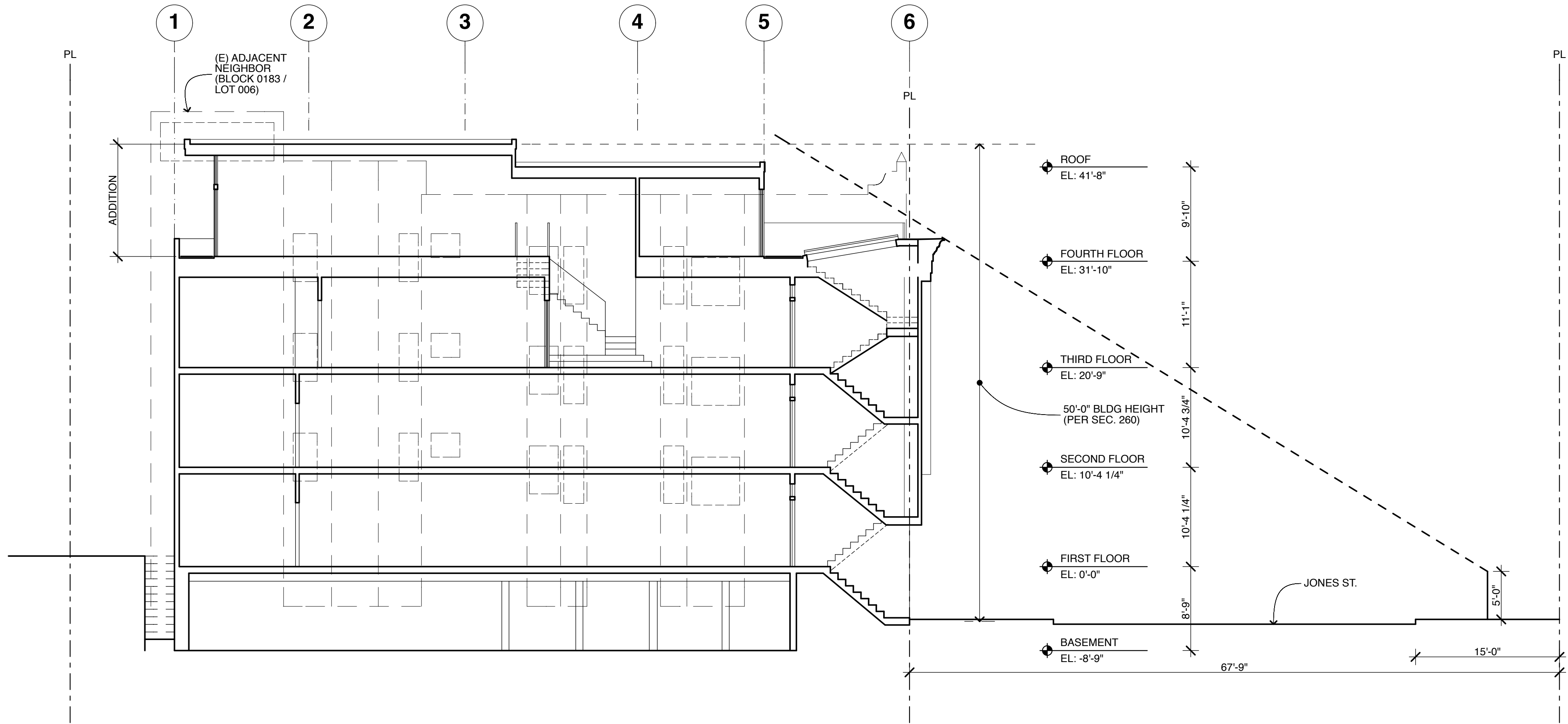
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DATE:	11/06/2012
SCALE:	1/8" = 1'-0"
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1 SITE LINE ANALYSIS
SCALE: 1/8" = 1'-0"

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1521-1531 JONES ST
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