



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 23, 2012**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Side Yard, Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 26 Commonwealth Ave. Cross Street(s): Euclid Avenue Block /Lot No.: 1037/034 Zoning District(s): RH-1D / 40-X Area Plan:	Case No.: 2012.1089V Building Permit: N/A Applicant/Agent: Georgianna Salz Kleman Telephone: (415) 766 4085 E-Mail: gkleman@sutroarchitects.com

PROJECT DESCRIPTION

The proposal is to construct a three-story rear horizontal addition to the single-family dwelling, a portion of which will be in the required side yard along the north side property line, and to convert the existing detached garage into habitable space (parking will be relocated to the basement of the subject dwelling).

Section 133 of the Planning Code requires two side yards of three feet each for the subject property. The proposed rear horizontal addition extends to within approximately 1' of the north side property line, encroaching into the required side yard. The proposed addition would not extend into the required side yard any further than the existing building.

Section 188 of the Planning Code prohibits the intensification of a noncomplying structure. Because the existing garage is completely within the required rear yard, it is considered a legal, noncomplying structure. Conversion of the garage to habitable space is considered an intensification and would require a variance from Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sara Vellve** Telephone: **(415) 558-6263** E-Mail: sara.vellve@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1089V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On DATE, the Department issued the required Section 311/312 notification for this project (expires DATE) <OR> The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



H.B.	hose bibb
H.C.	hollow core or handicapped

S.	south
S.A.D.	see architectural drawings
S.C.	solid core
S.C.E.D.	see civil engineering drawings
SCHED.	schedule
S.D.	soap dispenser/dish
SECT.	section
SEP.	separation
SERV.	service
SH.	shelf
S.H.	sprinkler head
SHR.	shower
SHT.	sheet
SHTG.	sheathing
SIM.	similar
SLM.	sliding

CONTACT: DANNY BERNARDINI
TELEPHONE: 415.563.7550
EMAIL: danny@upscaleconstruction.com

CONTACT: DAVID KALLMEYER
TELEPHONE: 415.721.0900 X16
EMAIL: dkallmeyer@frameworkengineering.com

ROOM NAME

STUDIO A — room name
1172 — room number

WALL TYPE

— PPA

DOOR TYPE

— 99

WINDOW TYPE

— 7

RCP ELEVATION

— 97-61

FINISH FLOOR ELEVATION

— X-XX"

ELEVATION DATUM

FIRST FLR FFE — datum location
EL. = X-X" A.F.F. — elevation

SECTION

— view direction
X/A,X,X — sheet number
drawing number

DETAIL

— drawing number
X — sheet number
A,X,X

ELEVATION

— view direction
X/A,X,X — sheet number
drawing number

INTERIOR ELEVATION

1 — drawing number
2 — elevation designation
3 — sheet number
X
A,X,X

COLUMN GRIDLINE

99 —

ADDENDUM

—

TYPE OF CONSTRUCTION:	TYPE V - N.R.	
SPRINKLER PROTECTION:	NOT SPRINKLERED	
OCCUPANCY TYPE:	R-3 SINGLE FAMILY RESIDENCE	
GROSS FLOOR AREA:	2876 SF EXISTING; 4492 SF PROPOSED	
ASSESSOR'S BLOCK/LOT:	1037, 034	
ZONING DISTRICT:	RH-1D	
NO. OCCUPIED FLOORS:	2 EXISTING + BASEMENT; 2 PROPOSED	
AREA CALCULATIONS:	LIVING AREA	EXISTING SF

LIVING AREA	EXISTING SF	ADDITION SF	PROPOSED SF
BASEMENT	0	532	982
1ST FLOOR	1020	570	1590
2ND FLOOR	928	514	1442
SUBTOTAL	1890	1616	3956
NON-LIVING AREA	EXISTING SF		PROPOSED SF
GARAGE	0	0	478
NON-HABITABLE BASEMENT	928	0	0
SUBTOTAL	2818	1616	4434

1. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY: DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THESE MATERIALS OR ITEMS.
3. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
4. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE AND O.S.H.A. SAFETY REGULATIONS.
5. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
6. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING RILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCORPORATION IN SOIL DEPTH AT THE FEEDING ZONE OR DRIFT LINE OF THE REMAINED TREES.
8. ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.6 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 2.5 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH AN HOT WATER RECIRCULATING SYSTEM.
9. SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420).
10. GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (SBC 5406 (D) (5))
11. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 7'0" OR GREATER ABOVE DRAIN INLET.
12. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST M4-1R. INSULATION INSTALLED SHALL MEET FLEET SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

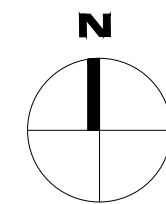
A0.1	PROJECT INFORMATION
A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A1.2	SITE PHOTOS
A1.3	SITE PHOTOS
A2.0	BASEMENT DEMO PLAN
A2.1	FIRST FLOOR DEMO PLAN
A2.2	SECOND FLOOR DEMO PLAN
A2.3	ROOF DEMO PLAN
A2.4	BASEMENT PLAN
A2.5	FIRST FLOOR PLAN
A2.6	SECOND FLOOR PLAN
A2.7	ROOF PLAN
A2.8	SHED
A5.0	WEST DEMO ELEVATION
A5.1	SOUTH DEMO ELEVATION
A5.2	EAST DEMO ELEVATION
A5.3	NORTH DEMO ELEVATION
A5.4	WEST ELEVATION
A5.5	SOUTH ELEVATION
A5.6	EAST ELEVATION
A5.7	NORTH ELEVATION
A6.0	EXISTING DEMO SECTION
A6.1	PROPOSED SECTION

A0.1

26 COMMONWEALTH AVE, SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 | PROJECT NO. 2012.021

[illegible]

0 2' 4' 10'



SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com

915 Battery Street, First Floor San Francisco, CA 94111

COMMONWEALTH RESIDENCE

26 COMMONWEALTH AVE., SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 | PROJECT NO. 2012021

PLANTED & PERVIOUS AREA IN FRONT YARD SETBACK:

Description	Dimensions	Area (SF)
TOTAL AREA IN FRONT SETBACK:	12'-2" X 33'-4"	405.6 SF
REQUIRED PLANTED AREA IN FRONT SETBACK:	405.6 SF X 20%	81.1 SF
REQUIRED PERVIOUS & PLANTED AREA IN FRONT SETBACK:	405.6 SF X 50%	202.8 SF

PLANTED AREA IN FRONT SETBACK:

Description	Dimensions	Area (SF)
PLANTER TOTAL	12'-2" X 5'-10"	60.8 SF
PLANTER TOTAL	12'-2" X 4'-2"	50.8 SF
TOTAL		111.6 SF OR 27.5 %

PLANTED & PERVIOUS AREA IN FRONT SETBACK

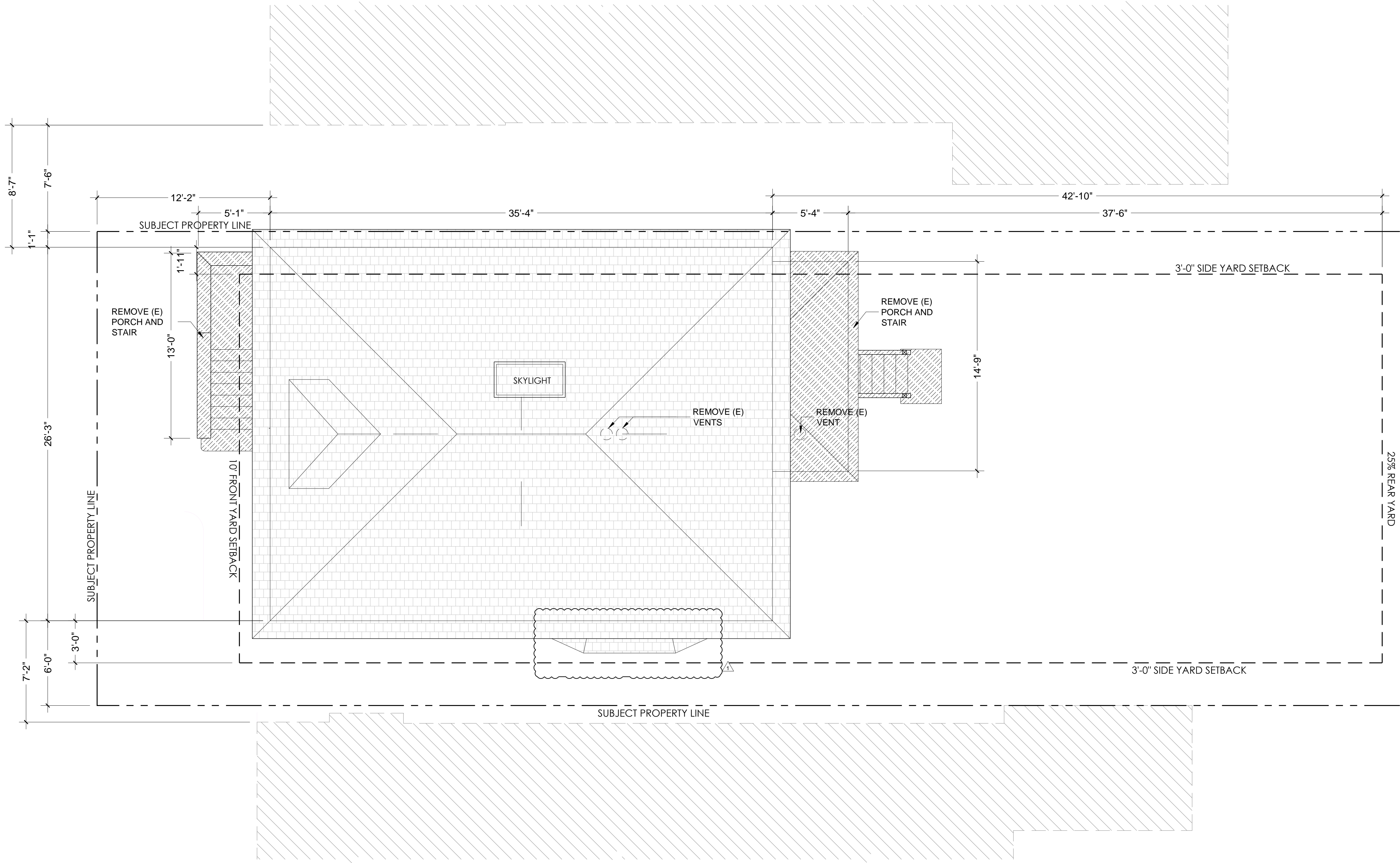
Description	Area (SF)
PLANTERS PERVIOUS TOTAL	111.6 SF
PERVIOUS MIN.	91.2 SF MIN.
TOTAL	202.8 SF MIN.

PROPOSED SITE PLAN

1/8" = 1'-0"

N

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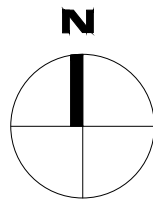


1

ROOF DEMO PLAN

1/4" = 1'-0"

0 1' 2' 5'



WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS

DEMO GENERAL NOTES:

1.

ISSUED

VARIANCE: 08.21.2012

12.11.2012:
PRESERVATION REVISION

ROOF DEMO PLAN

1/4" = 1'-0"

A2.3

COMMONWEALTH RESIDENCE

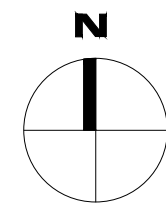
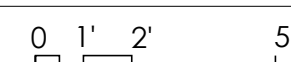
26 COMMONWEALTH AVE, SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 1 PROJECT NO. 2012021





SUTRO ARCHITECTS

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918 Battery Street, First Floor San Francisco, CA 94111

1

1/4" = 1'-0"



 EXISTING WALLS TO REMAIN
 EXISTING WALLS TO BE REMOVED
 EXISTING ELEMENTS TO BE REMOVED
 NEW WALLS

1. SCOPE OF WORK FOR THIS PERMIT IN
DASHED AREA ONLY.
-SMALL ADDITION AT NORTH WITHIN SIDE
YARD.

$$1/4" = 1'-0"$$

A2.7

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BLOCK 1037 LOT 034 | PROJECT NO. 2012.021

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(E) UNCONDITIONED SHED
(E) FOOTPRINT & VOLUME
TO REMAIN

REMOVE (E) POSTS

(N) CONDITIONED
HABITABLE SPACE IN (E)
SHED
(N) BIFOLDING DOORS
IN (E) OPENING

STUDIO
111

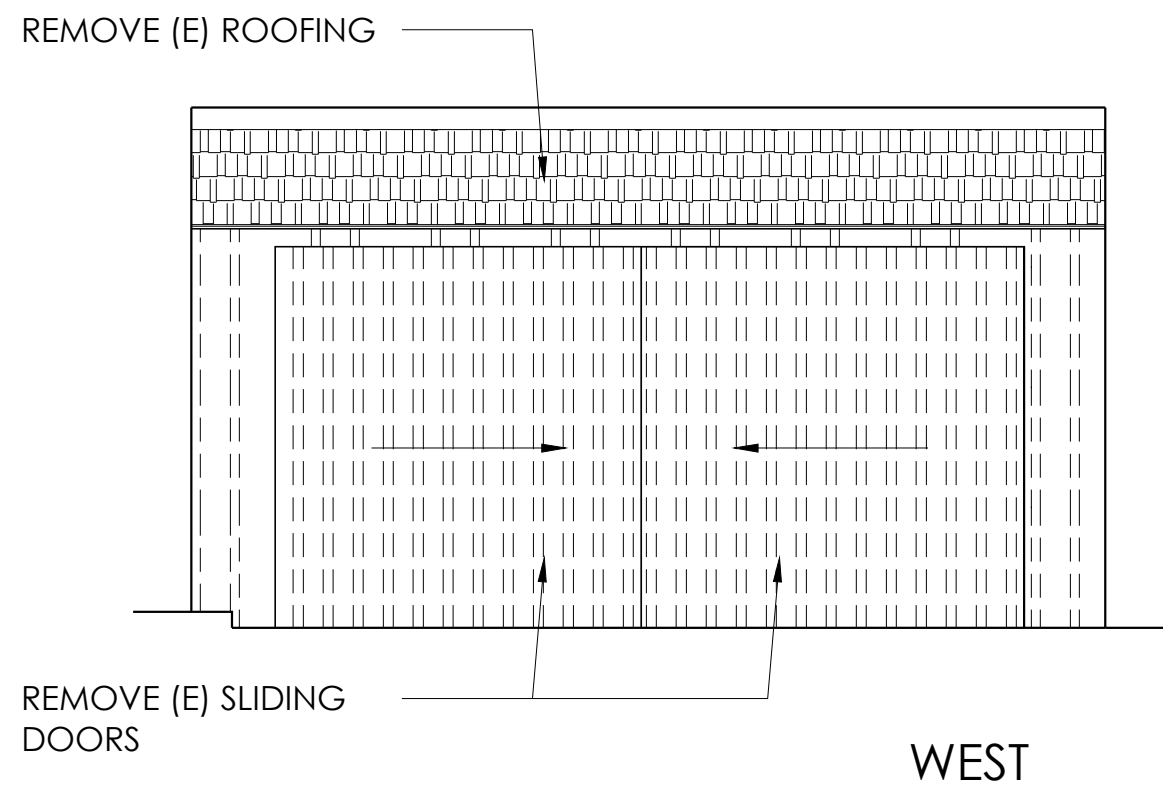
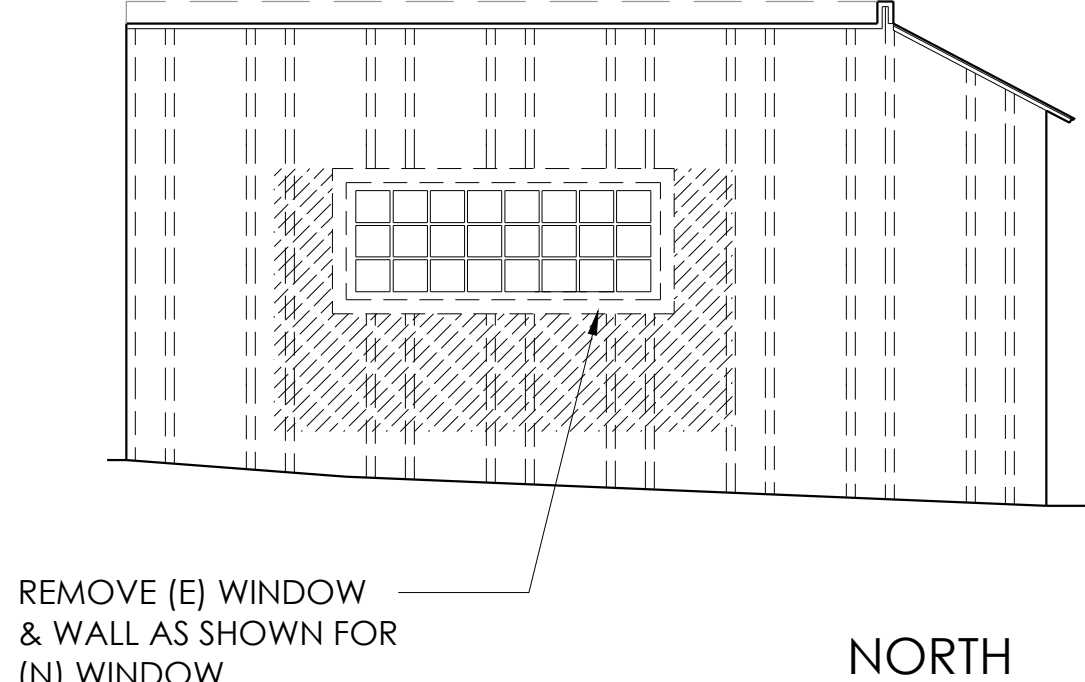
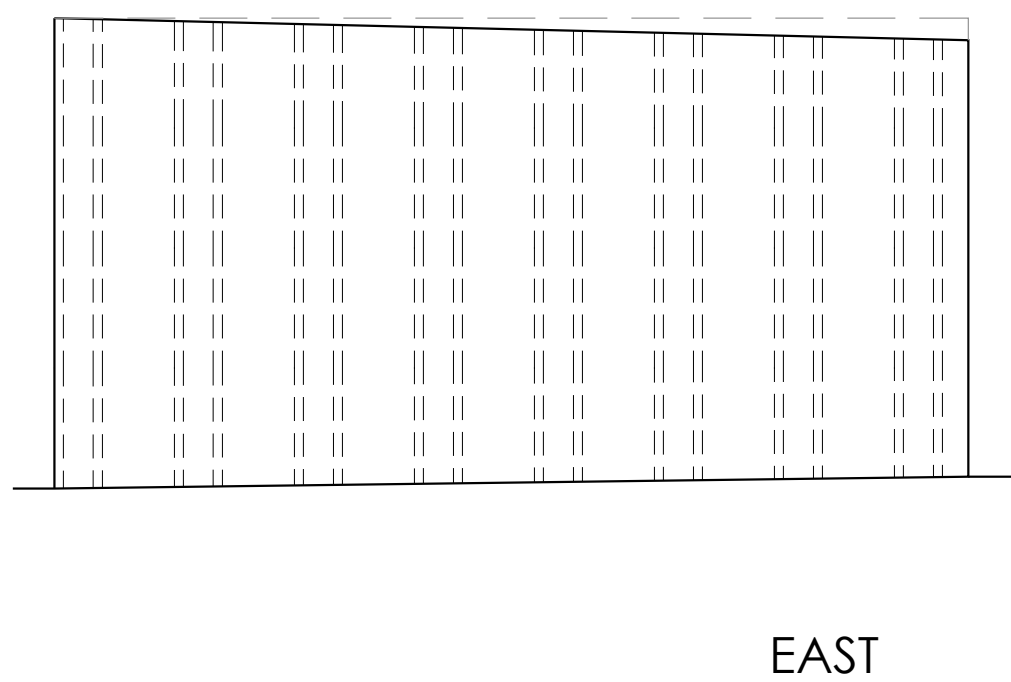
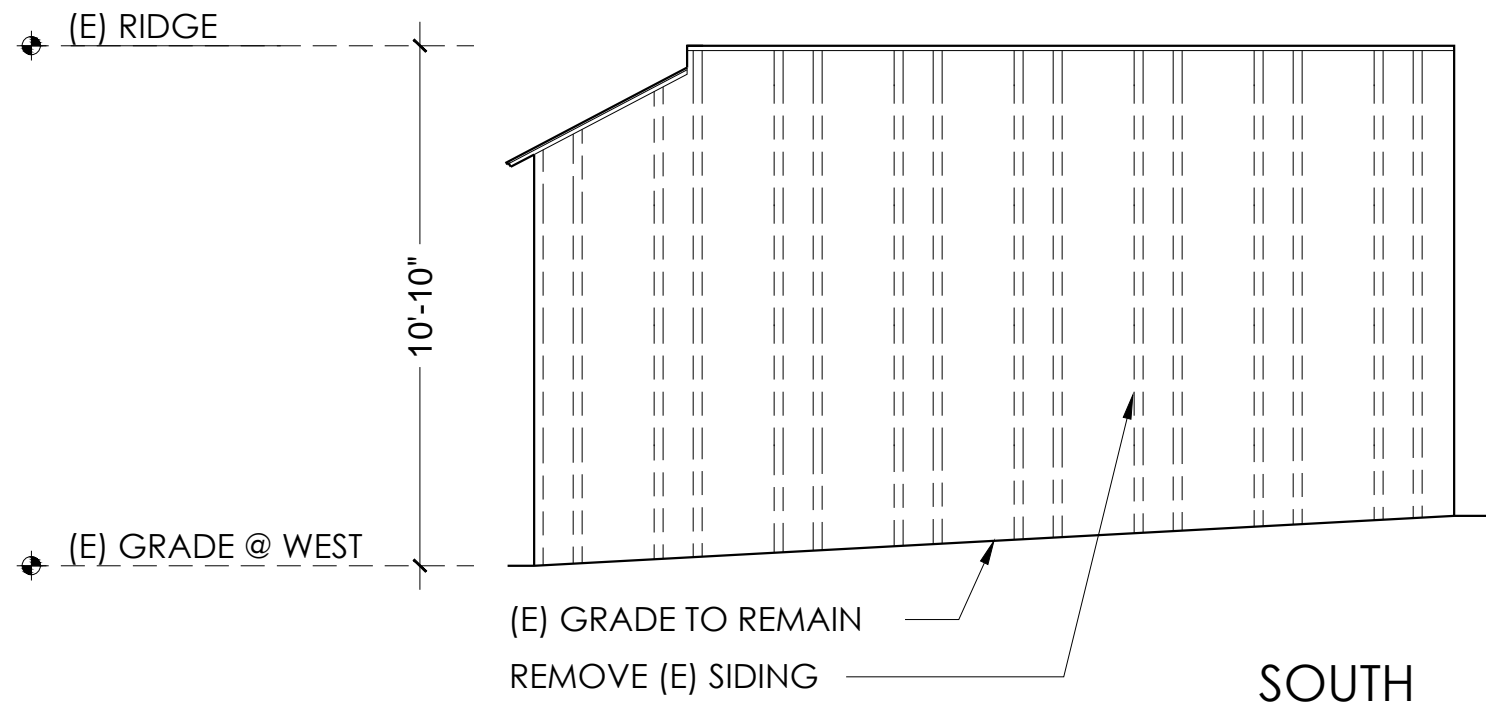
GENERAL NOTES:

WALL LEGEND:

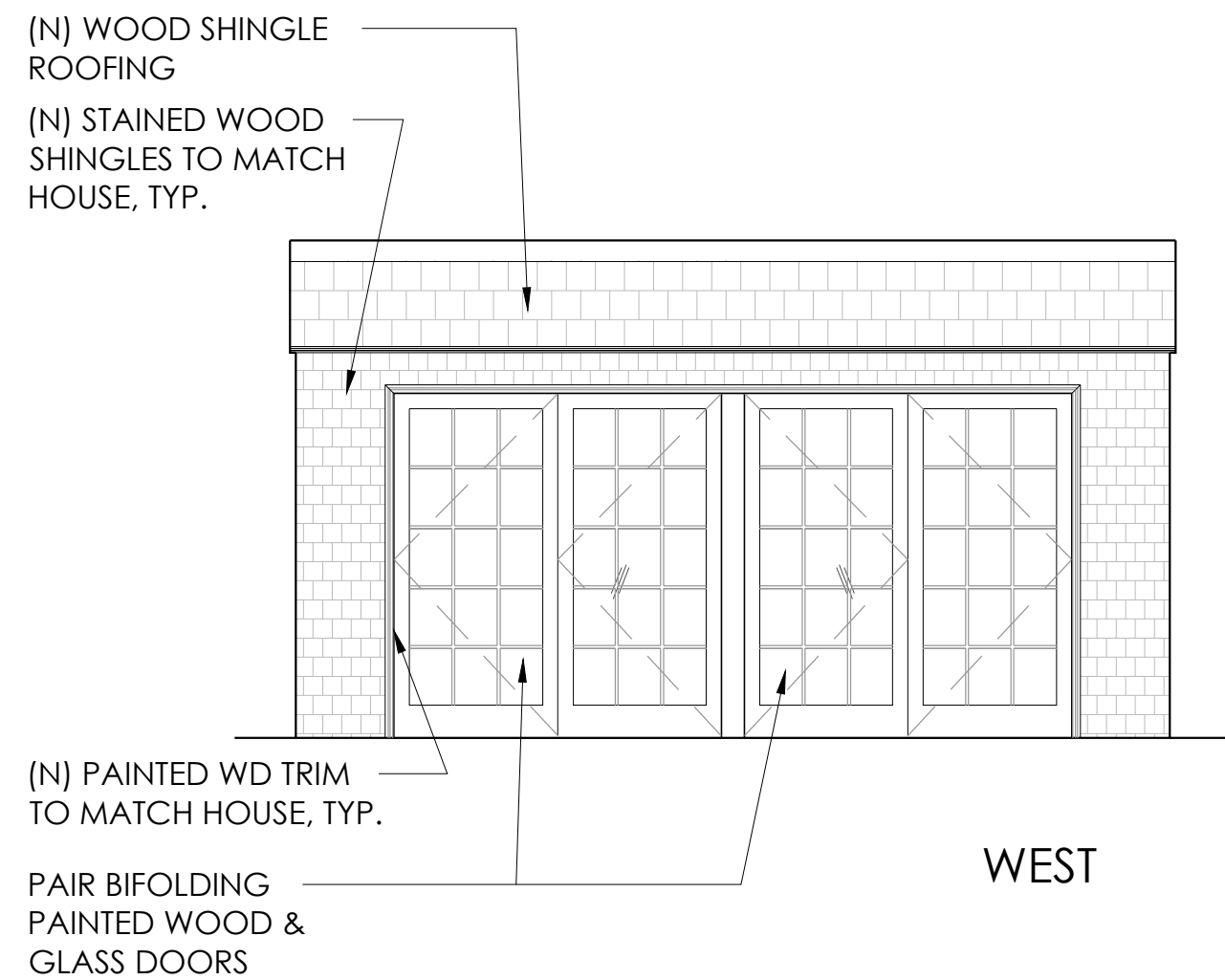
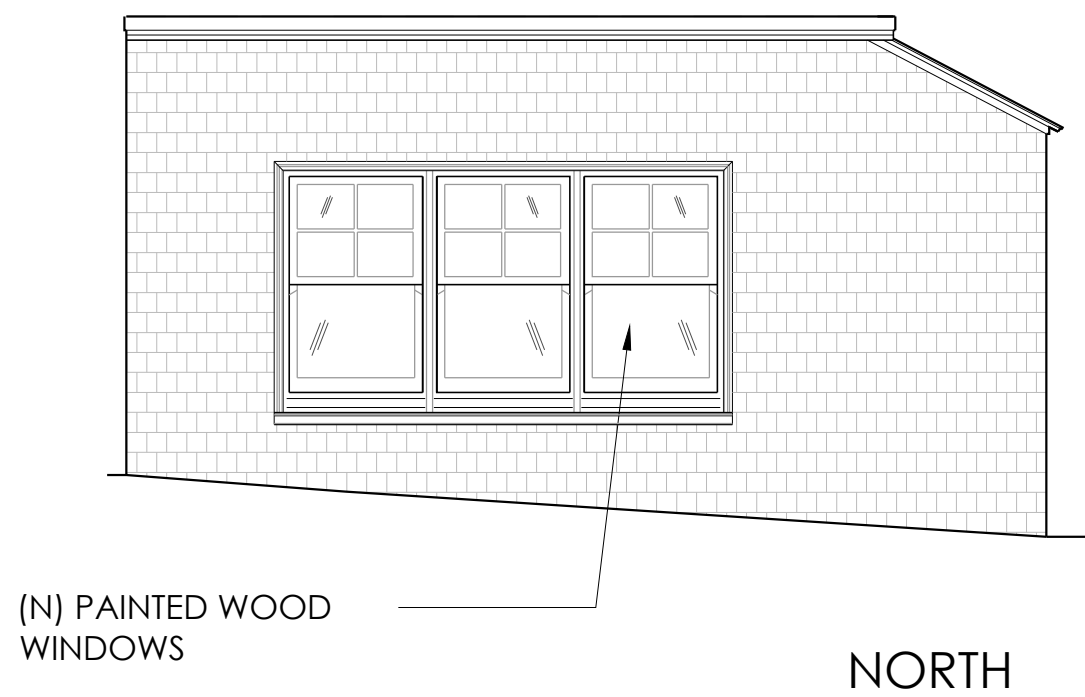
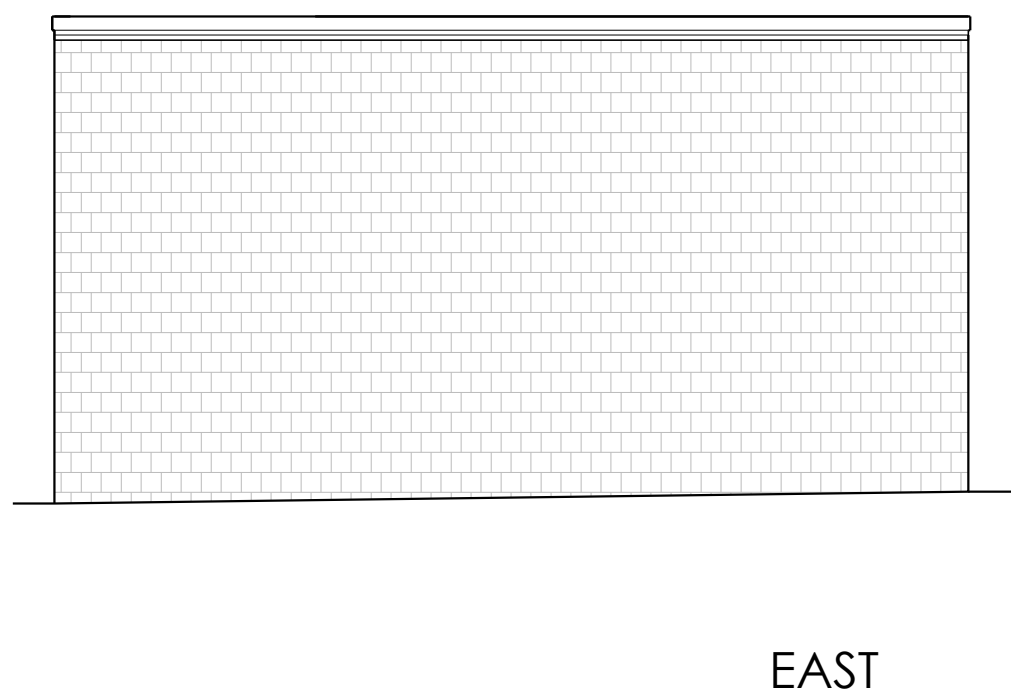
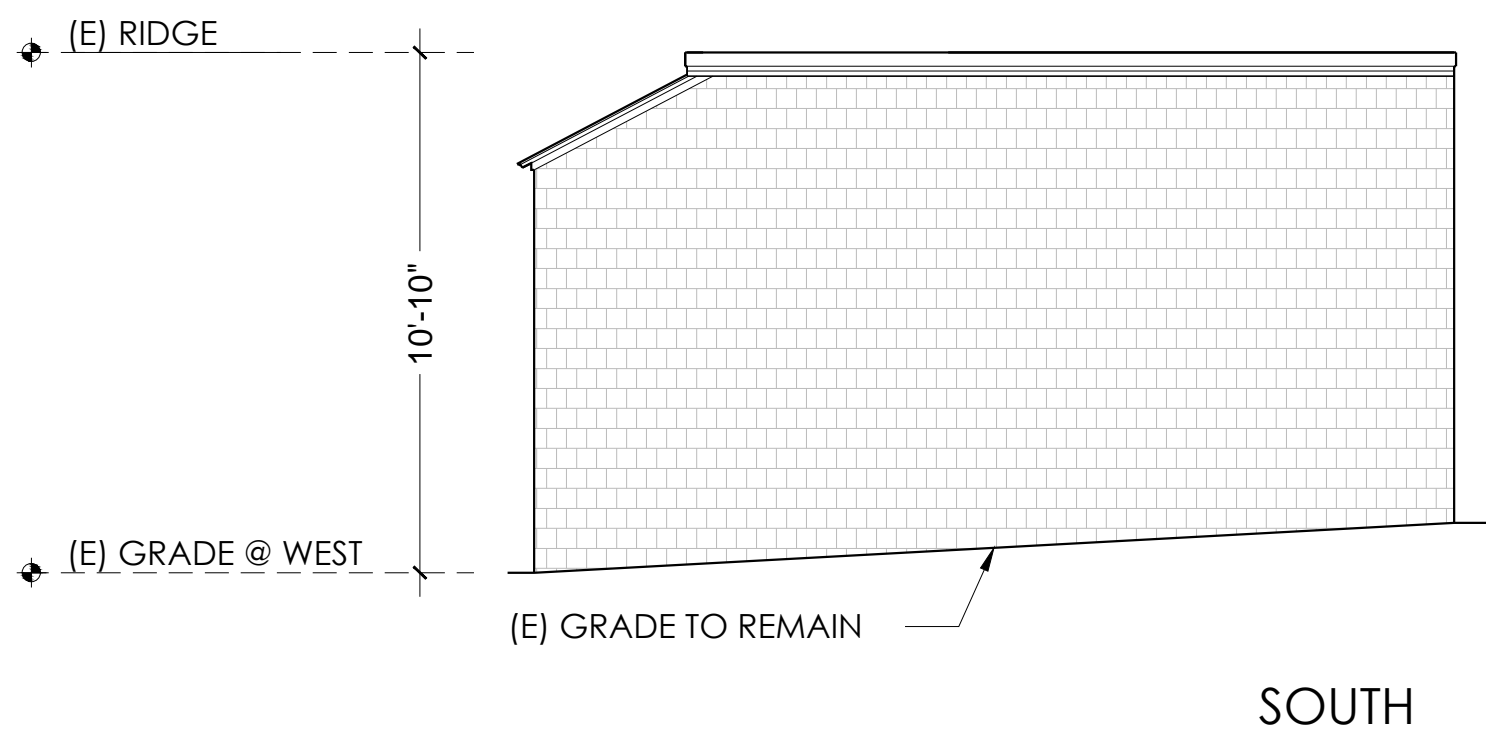
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS

1 SHED EXISTING/DEMO PLAN
1/4" = 1'-0"

2 SHED PROPOSED PLAN
1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATIONS
1/4" = 1'-0"



4 PROPOSED EXTERIOR ELEVATIONS
1/4" = 1'-0"

ADJACENT PROPERTY:
(E) BUILDING STRUCTURE
3 STORIES
22 COMMONWEALTH AVENUE
BLOCK 1037 / LOT 035

ADJACENT PROPERTY:
(E) BUILDING STRUCTURE
2 STORIES
30 COMMONWEALTH AVENUE
BLOCK 1037 / LOT 033

REMOVE (E) WINDOW, TO BE REPLACED IN KIND

REMOVE (E) WINDOW, TO BE REPLACED IN KIND.

REMOVE (E) WINDOW, TO BE REPLACED IN KIND.

REMOVE (E) WINDOW & WALL WHERE (N) STAIRCASE LOCATED

REMOVE (E) DOOR, DOOR NOT ORIGINAL.

REMOVE (E) STAIRCASE & WALL WHERE (N) STAIRCASE LOCATED

REMOVE (E) WINDOW, TO REMAIN

REMOVE (E) VENT

BUILDABLE ENVELOPE

3' SIDE YARD SETBACK

3' SIDE YARD SETBACK

PROPERTY LINE

PROPERTY LINE

36'-0" (E) PEAK

35'-0" HEIGHT LIMIT - APPLIED TO AVERAGE HEIGHT OF RISE

30'-2 3/4" AVERAGE HEIGHT OF RISE

SECOND LEVEL F.C.E.

REMOVE (E) WINDOW, TO BE REPLACED IN KIND.

29'-8"

8'-2 3/4"

35'-0"

36'-0"

30'-2 3/4"

9'-2 1/2"

8'-0"

6'-4"

GRADE @ SETBACK

GRADE/TYP

SECOND LEVEL F.F.E.

MAIN LEVEL F.C.E.

REMOVE (E) WINDOW & REPLACE WD. TRANSOMS IN KIND. REPLACE LOWER ALUMINUM SASHES W/WOOD.

REMOVE (E) WINDOWS @ BAY & REPLACE IN KIND

MAIN LEVEL F.F.E.

GARGE LEVEL F.C.E.

REMOVE (E) WINDOW & WALL WHERE (N) GARAGE DOOR LOCATED

GARGE LEVEL F.F.E.

1

EXISTING WALLS TO BE REMOVED

EXISTING ELEMENTS TO BE REMOVED

 $1/4" = 1'-0"$

A5.0

COMMONWEALTH RESIDENCE

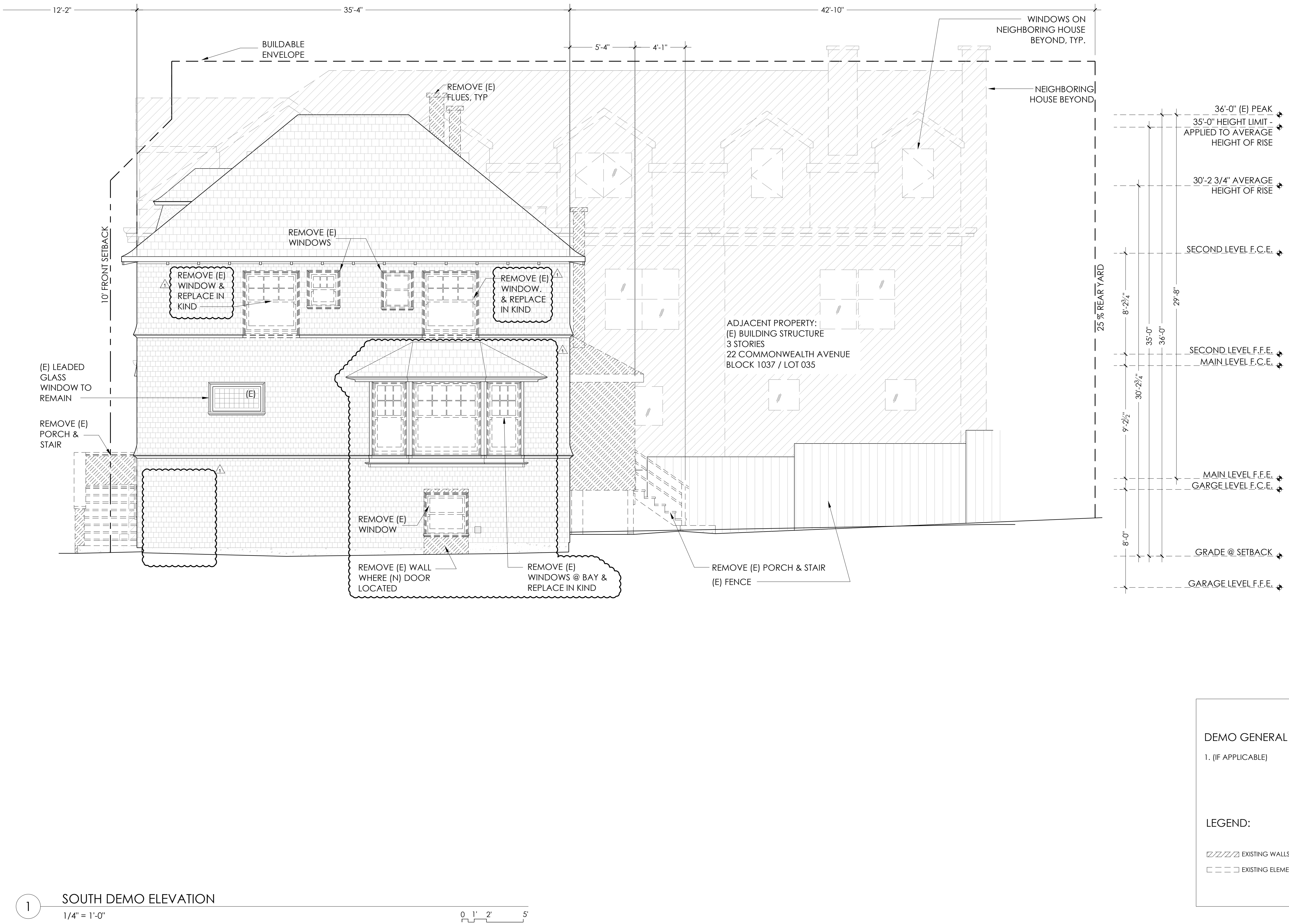
226 COMMONWEALTH AVE, SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 | PROJECT NO. 2012.021

SUTRO ARCHITECTS

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918 Battery Street, First Floor San Francisco, CA 94111

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DEMO GENERAL NOTES:

1. (IF APPLICABLE)

LEGEND:

- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED

ISSUED
VARIANCE: 08.21.2012
12.11.2012
PRESERVATION REVISION

SOUTH DEMO
ELEVATION

1/4" = 1'-0"

A5.1

Architectural drawing showing a building facade with proposed modifications and setbacks. The drawing includes a main elevation and a side elevation.

Setbacks:

- FRONT PROPERTY LINE: 3'-0"
- 3' SIDE YARD SETBACK
- PROPERTY LINE: 1'-1"

Height Limits:

- 36'-0" (E) PEAK
- 35'-0" HEIGHT LIMIT - APPLIED TO AVERAGE HEIGHT OF RISE
- 30'-2 3/4" AVERAGE HEIGHT OF RISE

Proposed Modifications:

- BUILDABLE ENVELOPE
- REMOVE (E) VENTS
- REMOVE (E) WINDOW
- REMOVE (E) WALL & PORCH FOR EXTENSION
- REMOVE (E) DOOR
- REMOVE (E) WINDOWS @ BAY & REPLACE IN KIND

Adjacent Properties:

- ADJACENT PROPERTY: (E) BUILDING STRUCTURE 2 STORIES 30 COMMONWEALTH AVENUE BLOCK 1037 / LOT 033
- ADJACENT PROPERTY: (E) BUILDING STRUCTURE 3 STORIES 22 COMMONWEALTH AVENUE BLOCK 1037 / LOT 035

Levels:

- SECOND LEVEL F.C.E.
- SECOND LEVEL F.F.E.
- MAIN LEVEL F.C.E.
- MAIN LEVEL F.F.E.
- GARGE LEVEL F.C.E.
- GRADE @ SETBACK
- GARAGE LEVEL F.F.E.

 EXISTING WALLS TO BE REMOVED
 EXISTING ELEMENTS TO BE REMOVED

A5.2

COMMONWEALTH RESIDENCE

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SUTRO ARCHITECTS

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26 COMMONWEALTH AVE, SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 | PROJECT NO. 2012.021

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BUILDABLE
ENVELOPE

NEIGHBORING
HOUSE BEYOND

ADJACENT PROPERTY:
(E) BUILDING STRUCTURE
2 STORIES
30 COMMONWEALTH AVENUE
BLOCK 1037 / LOT 033

REMOVE
(E) VENTS

REMOVE (E)
WINDOW.
REPLACE IN
KIND.

REMOVE (E)
WINDOWS.
REPLACE IN
KIND.

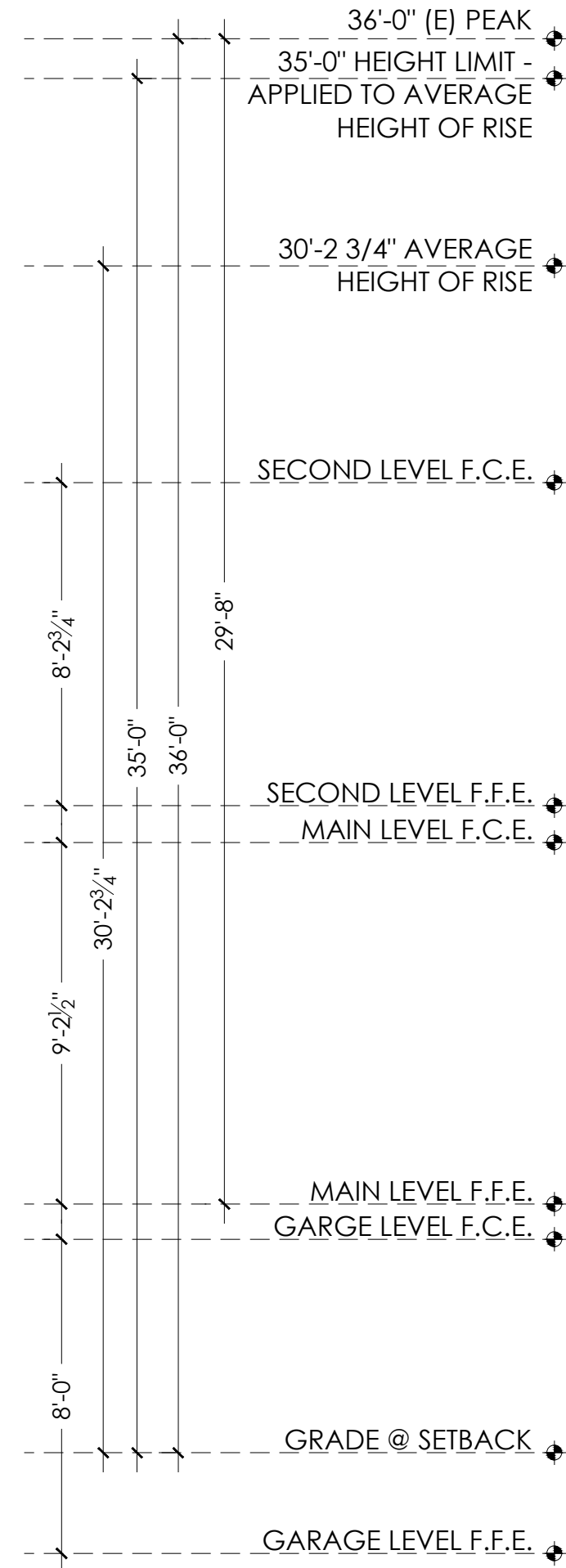
REMOVE (E)
WINDOW

REMOVE
(E) PORCH
& STAIR

FRONT SETBACK

(E) LEADED
GLASS
WINDOW TO
REMAIN

REMOVE (E)
WINDOW



1 NORTH DEMO ELEVATION

1/4" = 1'-0"

0 1' 2' 5'

DEMO GENERAL NOTES:

1. (IF APPLICABLE)

LEGEND:

EXISTING WALLS TO BE REMOVED
EXISTING ELEMENTS TO BE REMOVED

ISSUED
VARIANCE: 08.21.2012
12.11.2012:
PRESERVATION REVISION

NORTH DEMO
ELEVATION

1/4" = 1'-0"

A5.3

SUTRO ARCHITECTS
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918 Battery Street, First Floor, San Francisco, CA 94111
COMMONWEALTH RESIDENCE
26 COMMONWEALTH AVE., SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 1 PROJECT NO. 2012.021

[illegible]

1. (N) ROOF MAX HEIGHT TO MATCH ELEVATION OF WINDOW
SILL @ 22 COMMONWEALTH AVENUE AS SHOWN.

$$1/4" = 1'-0"$$

A5.4

COMMONWEALTH RESIDENCE

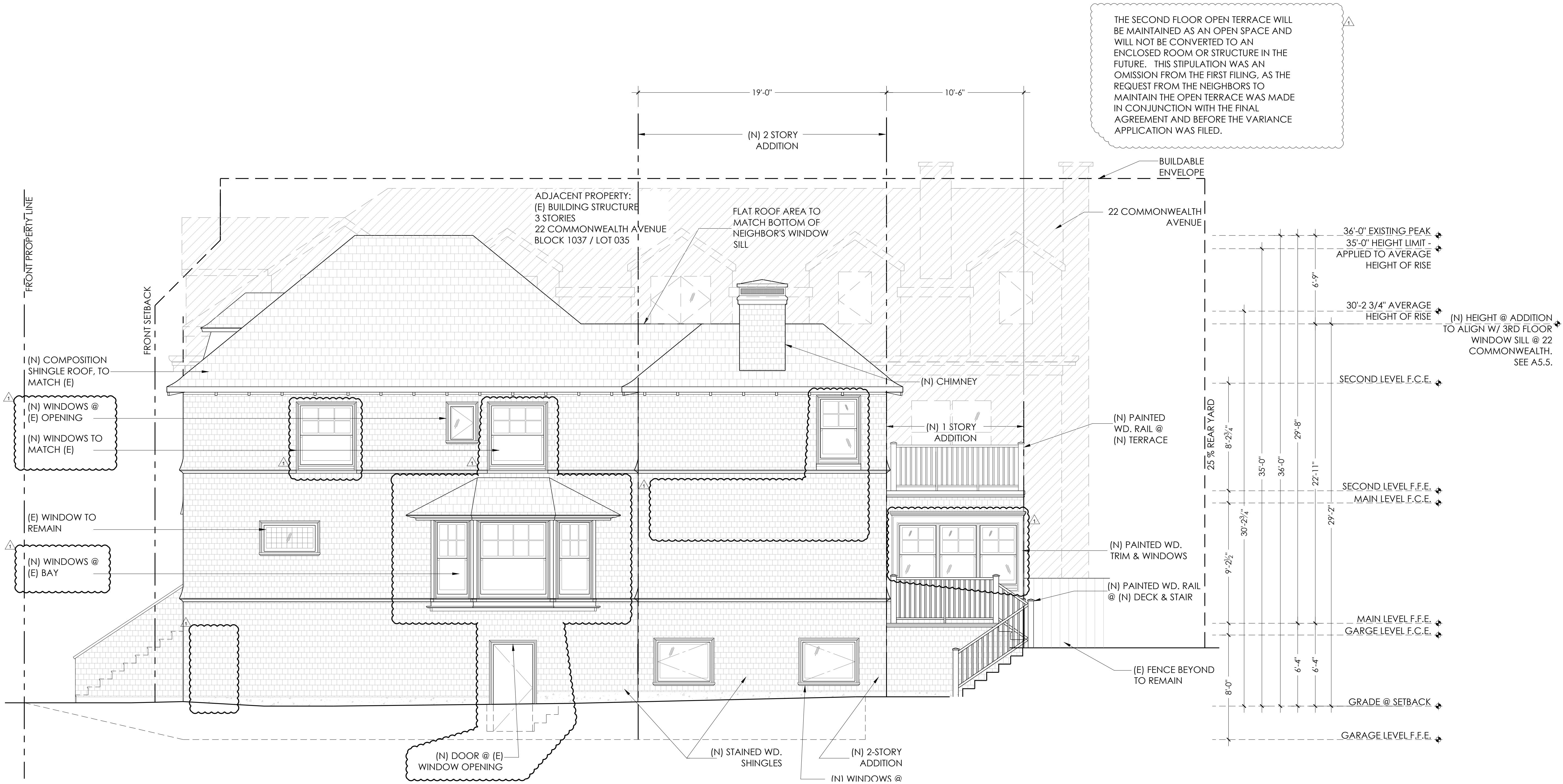
26 COMMONWEALTH AVE., SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 | PROJECT NO. 2012.021

SUTRO ARCHITECTS

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sutroarchitects.com

915 Battery Street, First Floor San Francisco, CA 94111

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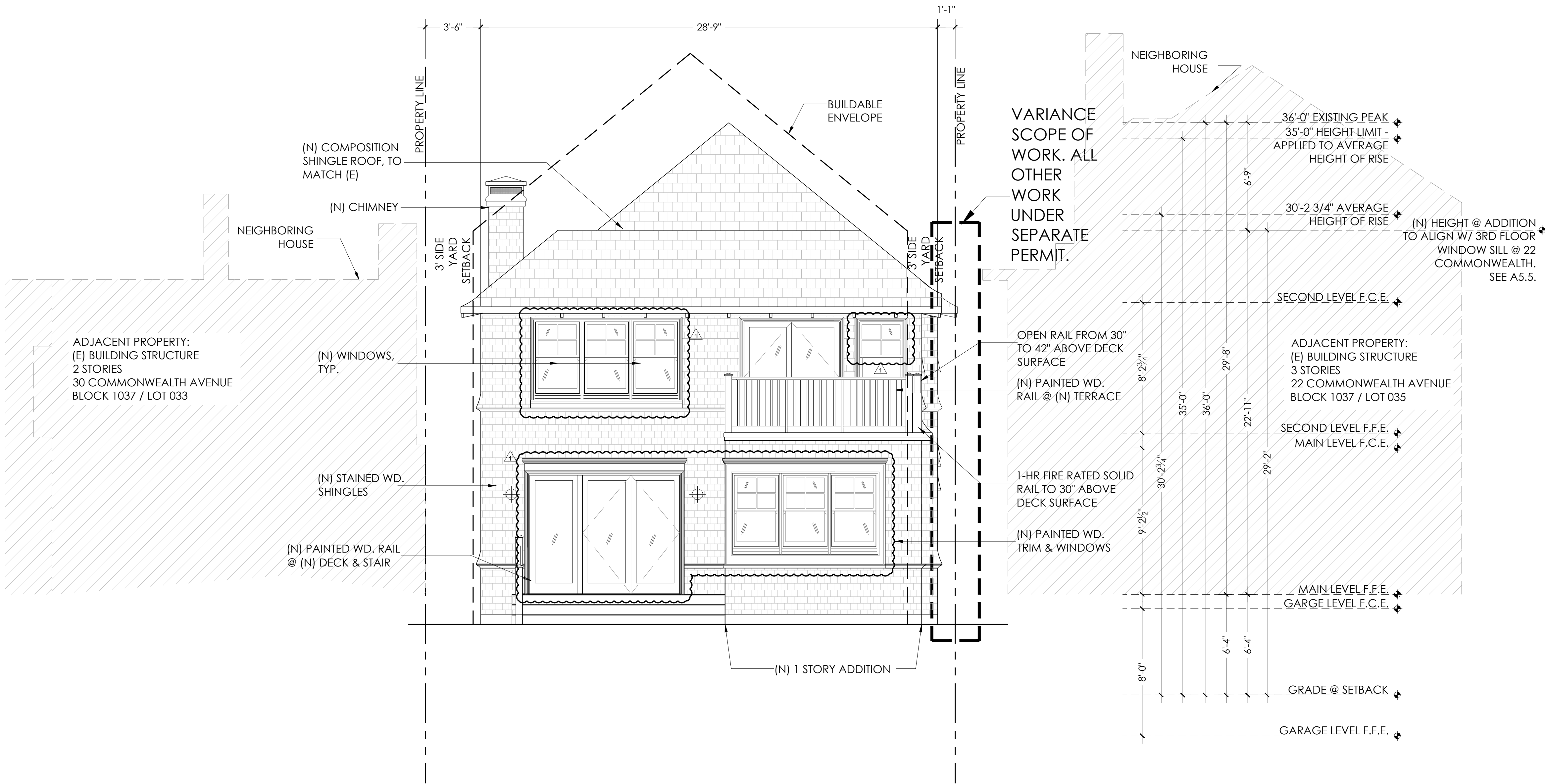


1 SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

1. (N) ROOF MAX HEIGHT TO MATCH ELEVATION OF WINDOW SILL @ 22 COMMONWEALTH AVENUE AS SHOWN.

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GENERAL NOTES:

- SCOPE OF WORK FOR THIS PERMIT IN DASHED AREA ONLY.
-SMALL ADDITION AT NORTH WITHIN SIDE YARD.
- (N) ROOF MAX HEIGHT TO MATCH ELEVATION OF WINDOW SILL @ 22 COMMONWEALTH AVENUE AS SHOWN.

1

EAST ELEVATION

1/4" = 1'-0"

0 1' 2' 5'

ISSUED

VARIANCE: 08.21.2012

12.11.2012:
PRESERVATION REVISION

EAST ELEVATION

1/4" = 1'-0"

A5.6

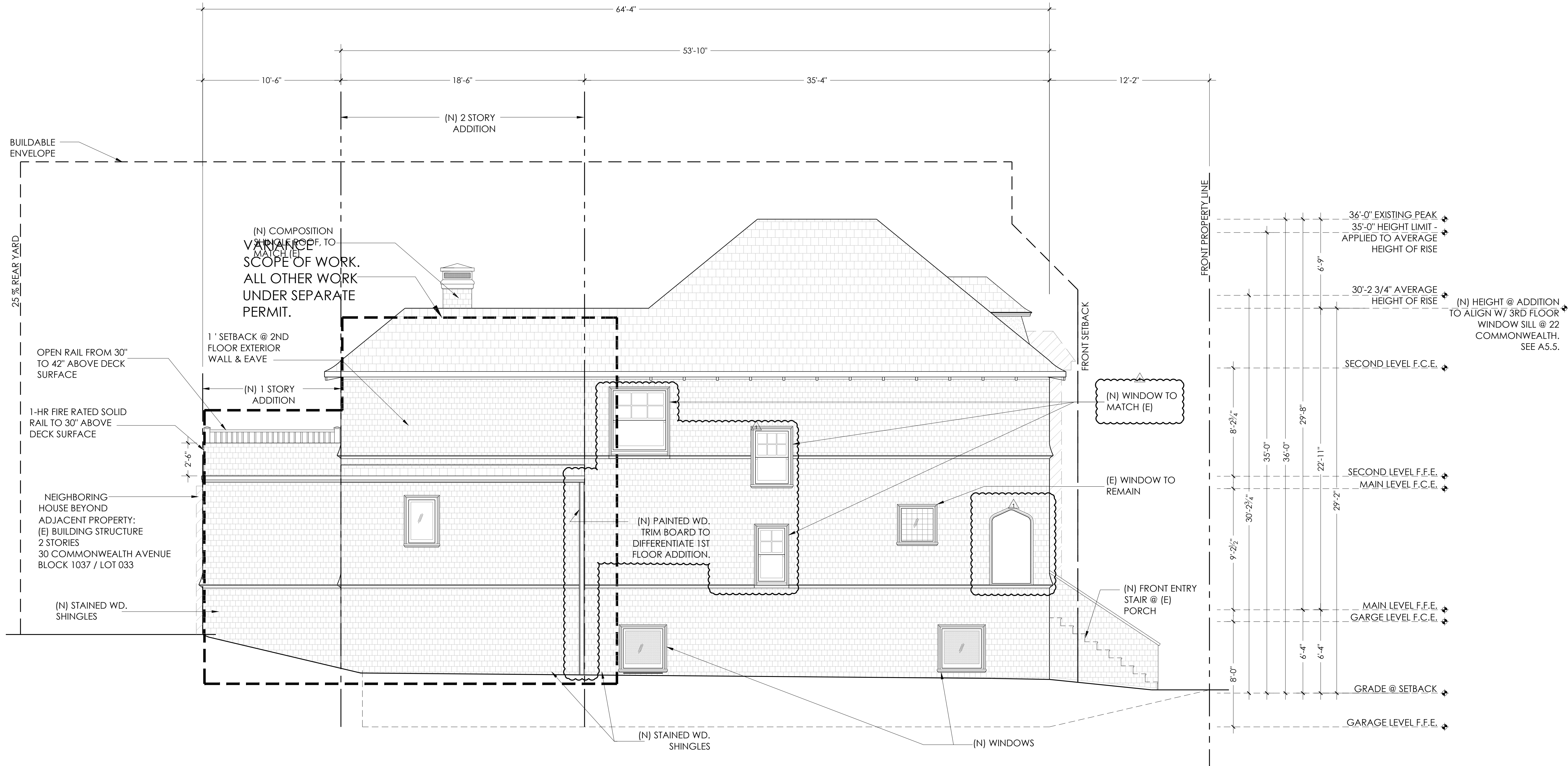
COMMONWEALTH RESIDENCE

SUTRO ARCHITECTS

26 COMMONWEALTH AVE, SAN FRANCISCO, CA 94118
BLOCK 1037 LOT 034 1 PROJECT NO. 2012.021

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1 NORTH ELEVATION

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0 1' 2' 5'

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BUILDABLE
ENVELOPE

NEIGHBORING
HOUSE BEYOND

ADJACENT PROPERTY:
(E) BUILDING STRUCTURE
2 STORIES
30 COMMONWEALTH AVENUE
BLOCK 1037 / LOT 033

REMOVE
(E) PORCH
& STAIR

REMOVE
(E) VENTS

FRONT SETBACK

EXISTING DEMO SECTION

1/4" = 1'-0"

0 1' 2' 5'

DEMO GENERAL NOTES:

WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS

FRONT PROPERTY LINE

36'-0" (E) PEAK
35'-0" HEIGHT LIMIT -
APPLIED TO AVERAGE
HEIGHT OF RISE

30'-2 3/4" AVERAGE
HEIGHT OF RISE

SECOND LEVEL F.C.E.

SECOND LEVEL F.F.E.
MAIN LEVEL F.C.E.

MAIN LEVEL F.F.E.
GARAGE LEVEL F.C.E.

GRADE @ SETBACK

GARAGE LEVEL F.F.E.

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ISSUED

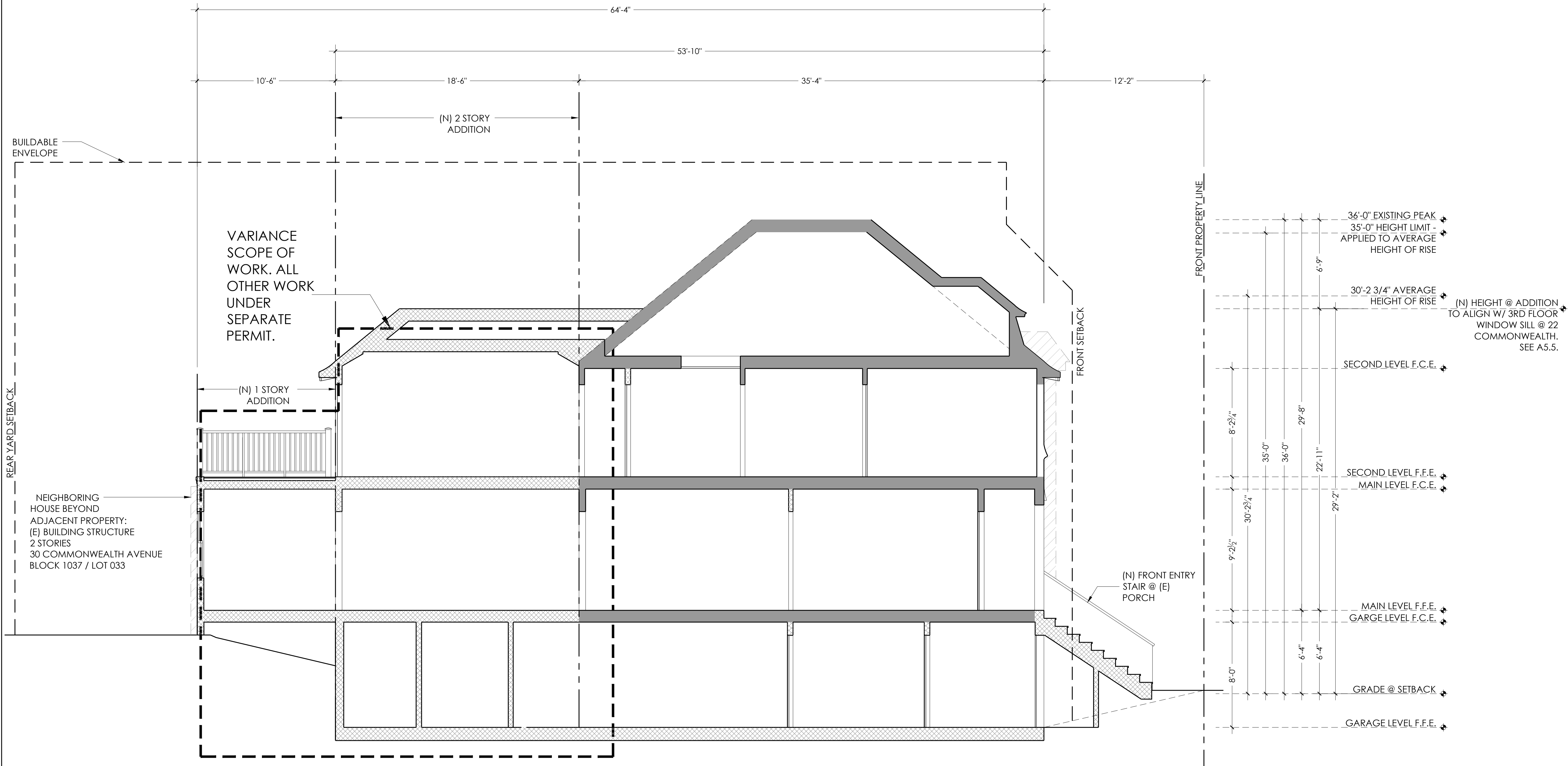
VARIANCE: 08.21.2012

EXISTING DEMO
SECTION

1/4" = 1'-0"

A6.0

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