



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Thursday September 12, 2013**
Time: **12:00 PM (Noon)**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 400**
Case Type: **Variance (Rear yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3700 Broderick St	Case No.: 2012.1027V
Cross Street(s): Jefferson Street	Building Permit: 2012.11.15.4294
Block / Lot No.: 0911/014	Applicant/Agent: Kathryn Wiens
Zoning District(s): RH-2 / 40-X	Telephone: 415-440-2880
Area Plan: n/a	E-Mail: kathryn@armour-vokic.com

PROJECT DESCRIPTION

The project proposes rear and side horizontal additions to the existing four-story, single-family residence.

Planning Code Section 134 requires a 15- foot rear yard for the subject property. A portion of the existing building projects approximately 9 feet into the required rear yard. The rear and side horizontal additions are proposed to align with the existing portion of the rear facade that projects 9 feet into the required rear yard.

NOTE: This variance request is being heard in conjunction with a public hearing by the Planning Commission on two Discretionary Review requests(Case No. 2012.1027DD) of the subject building permit application.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Glenn Cabreros** Telephone: **415-558-6169** Mail: glenn.cabreros@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1027V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

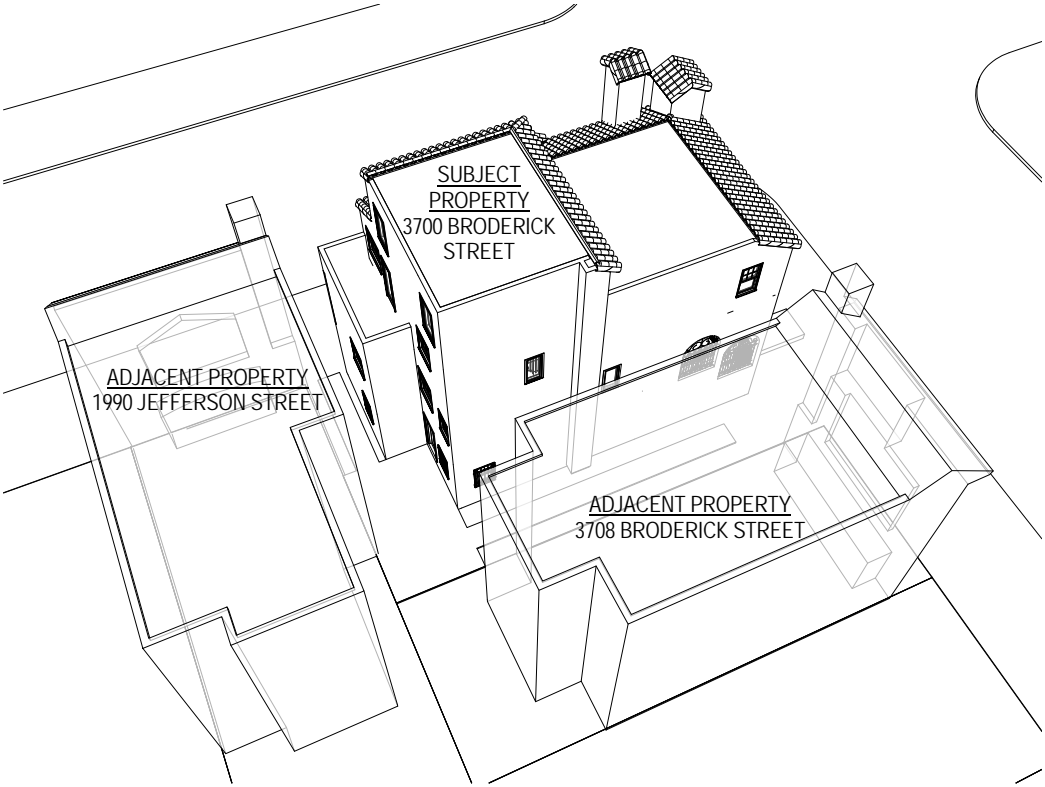
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

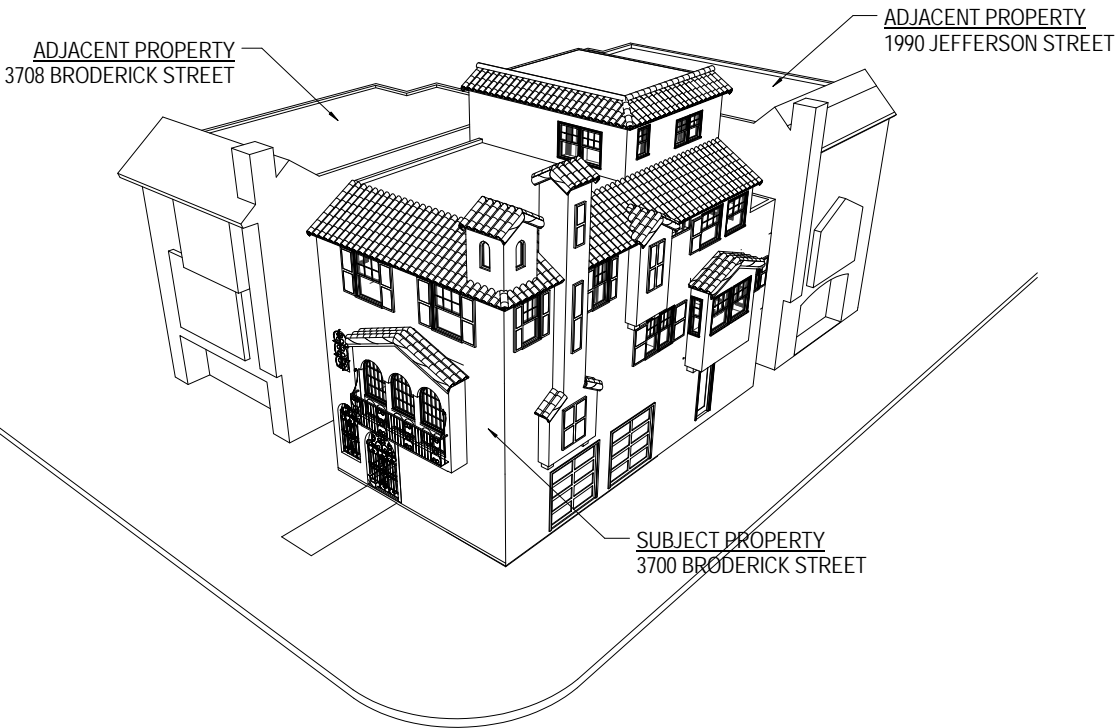
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

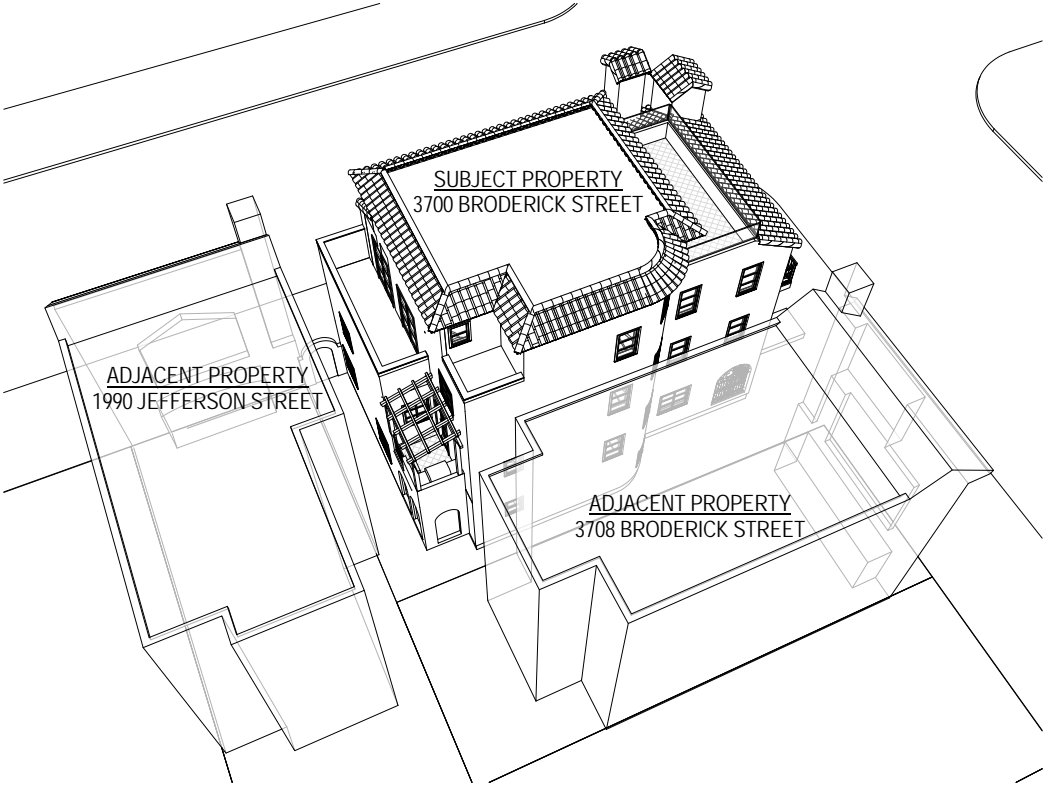
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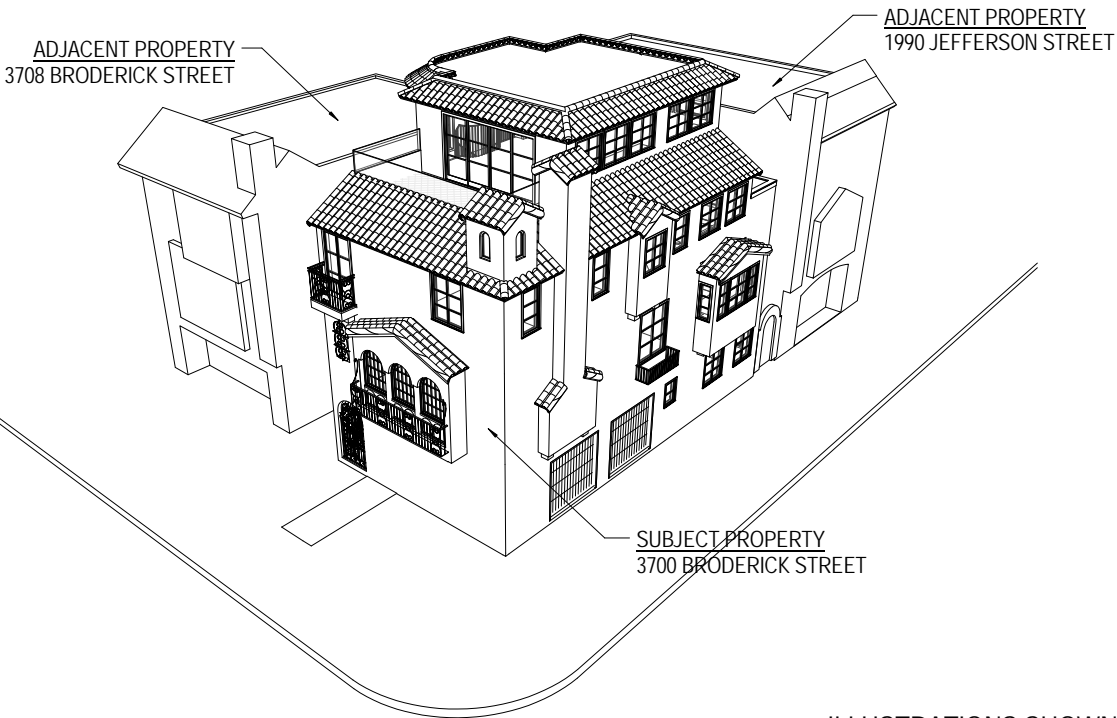
Existing SW Axonometric



Proposed NE Axonometric



Proposed SW Axonometric



ILLUSTRATIONS SHOWN FOR
REFERENCE ONLY



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Date & Issue

3700 Broderick Street

File:
Job #: 1206
Drawn By: bM/MH
DO NOT SCALE DRAWINGS
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3D Vignettes

A0.4



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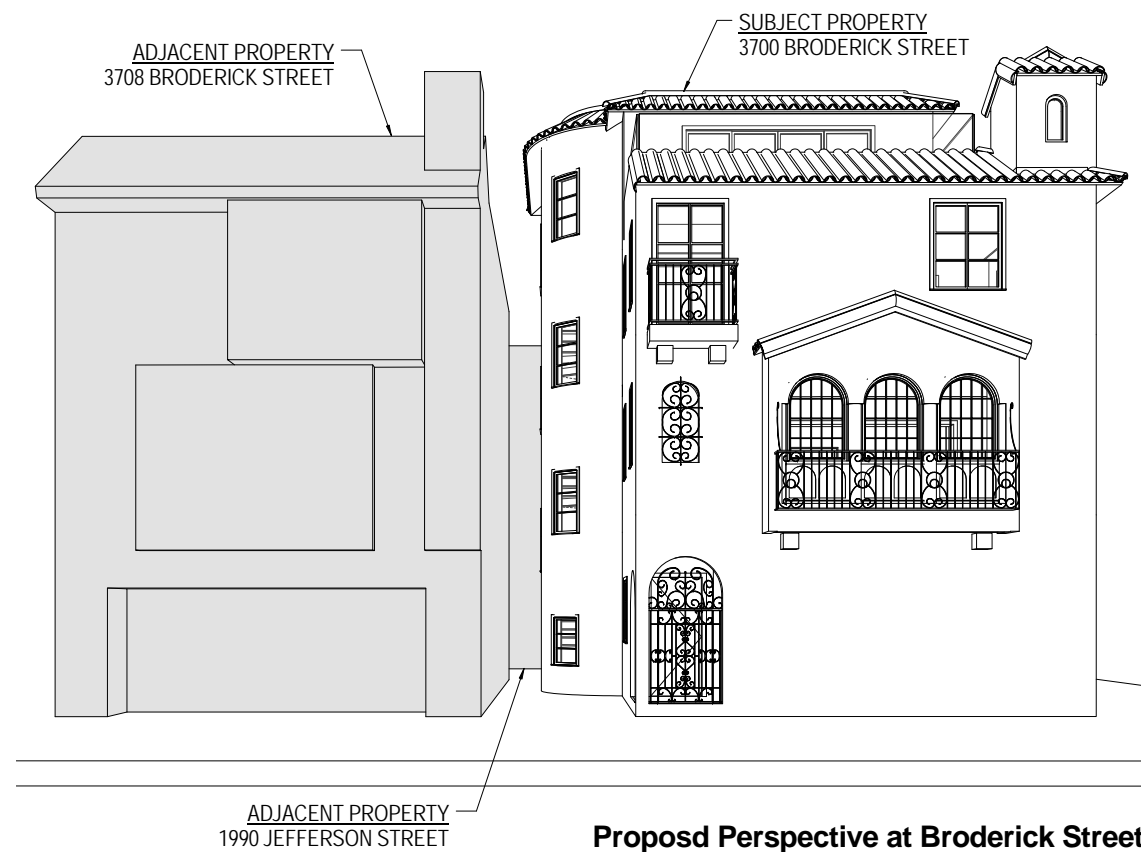
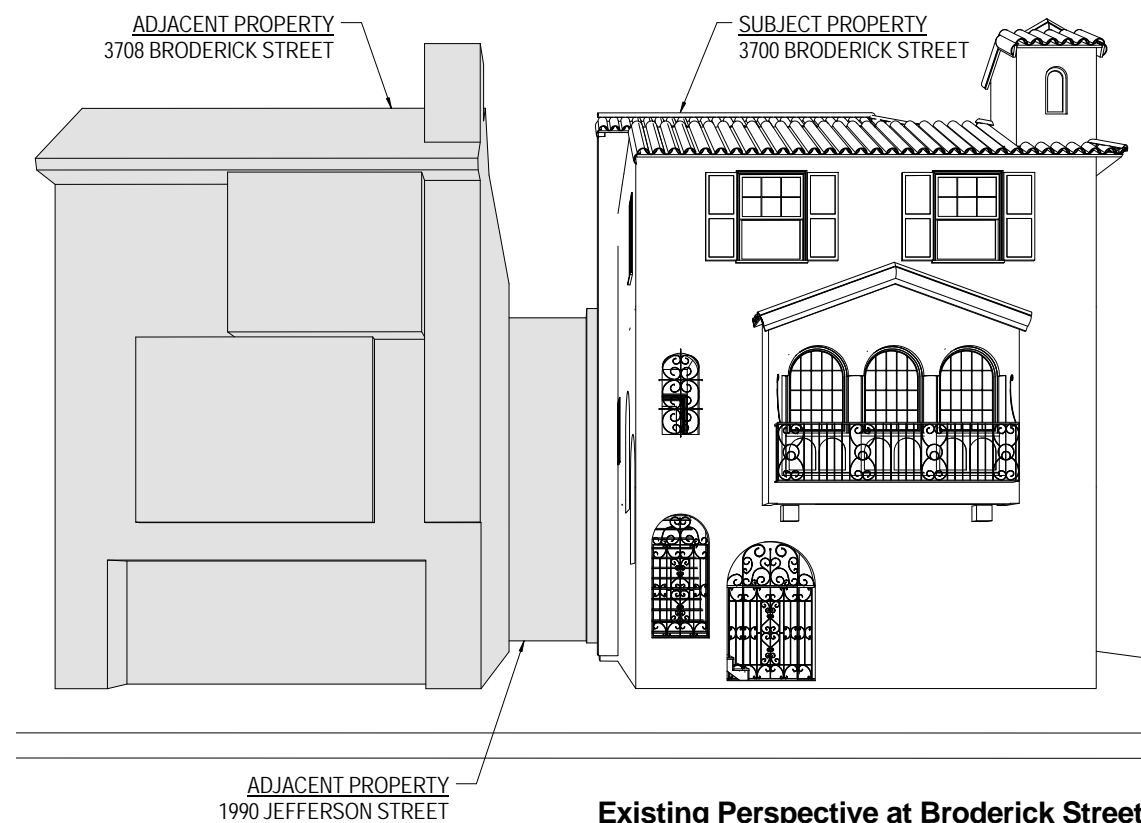
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Street Perspectives

A0.5



GENERAL NOTES

SHEET NOTES

A+V

ARMOUR+VOKIC

ARCHITECTURE

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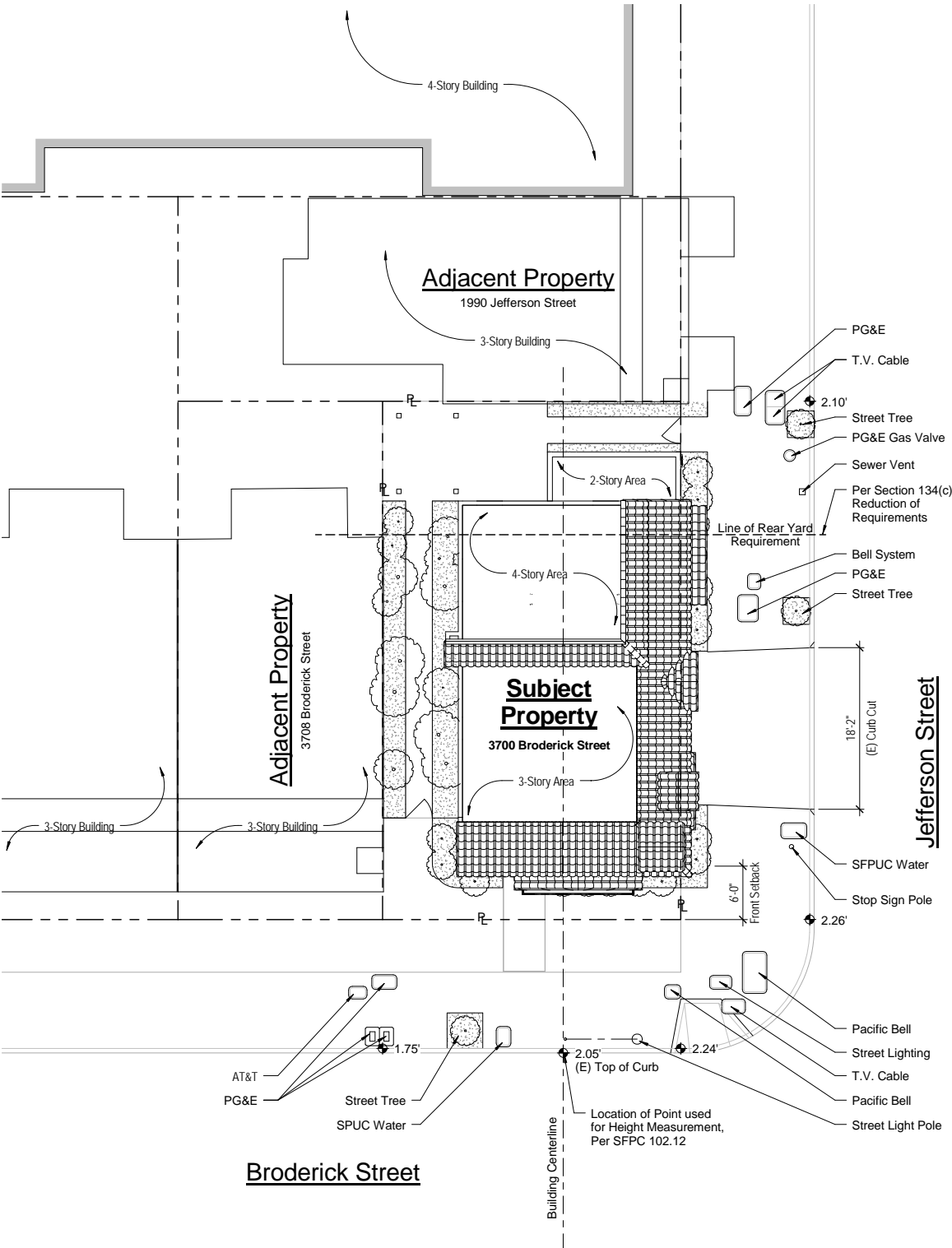
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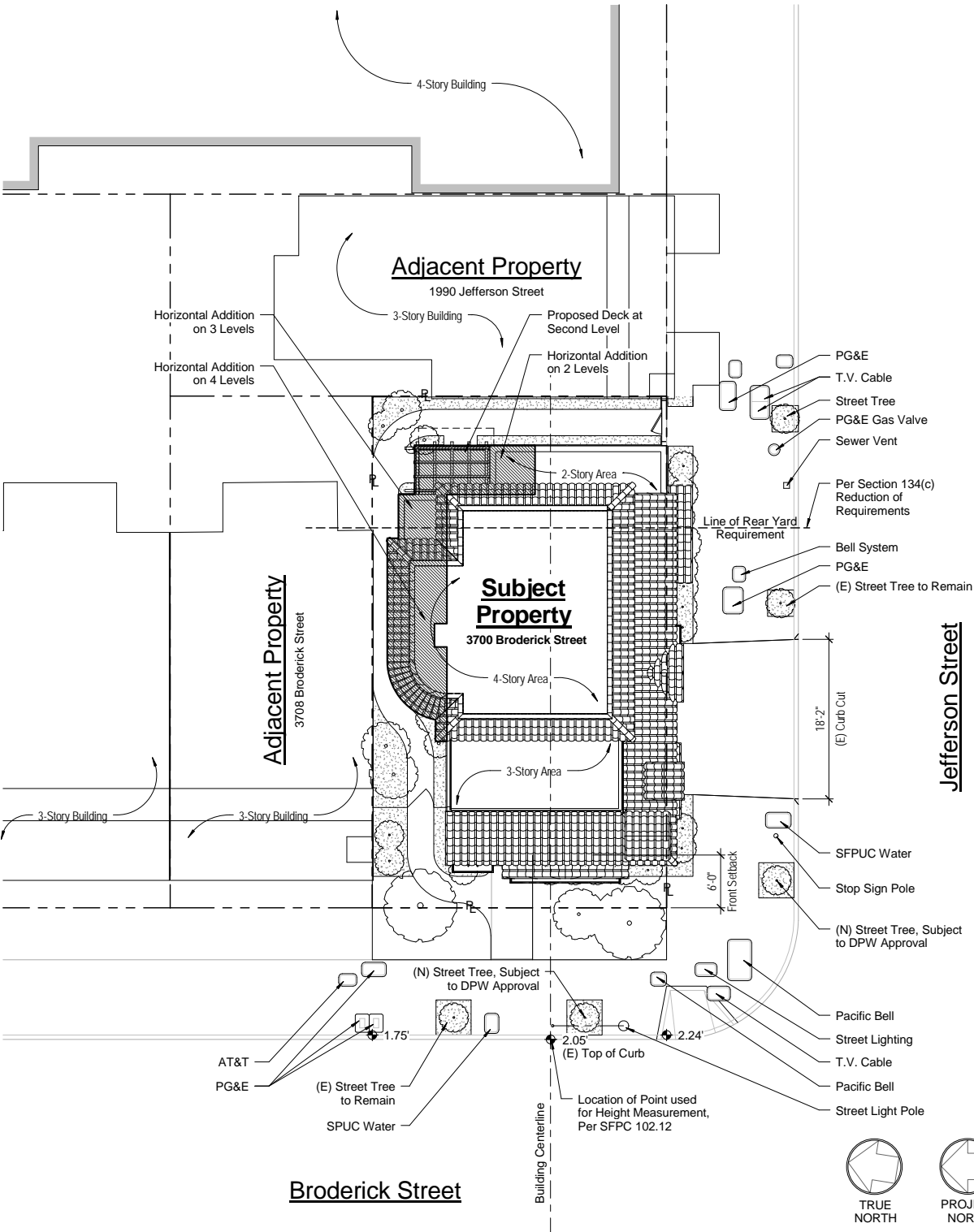
Existing & Proposed
Site Plans

A1.1



Existing Site Plan
SCALE: 1/8" = 1'-0"

2



Proposed Site Plan
SCALE: 1/8" = 1'-0"

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3700 Broderick St.
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3700 Broderick Street

File:

Job #: 1206

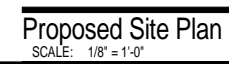
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Existing & Proposed Site Plans

A1.2





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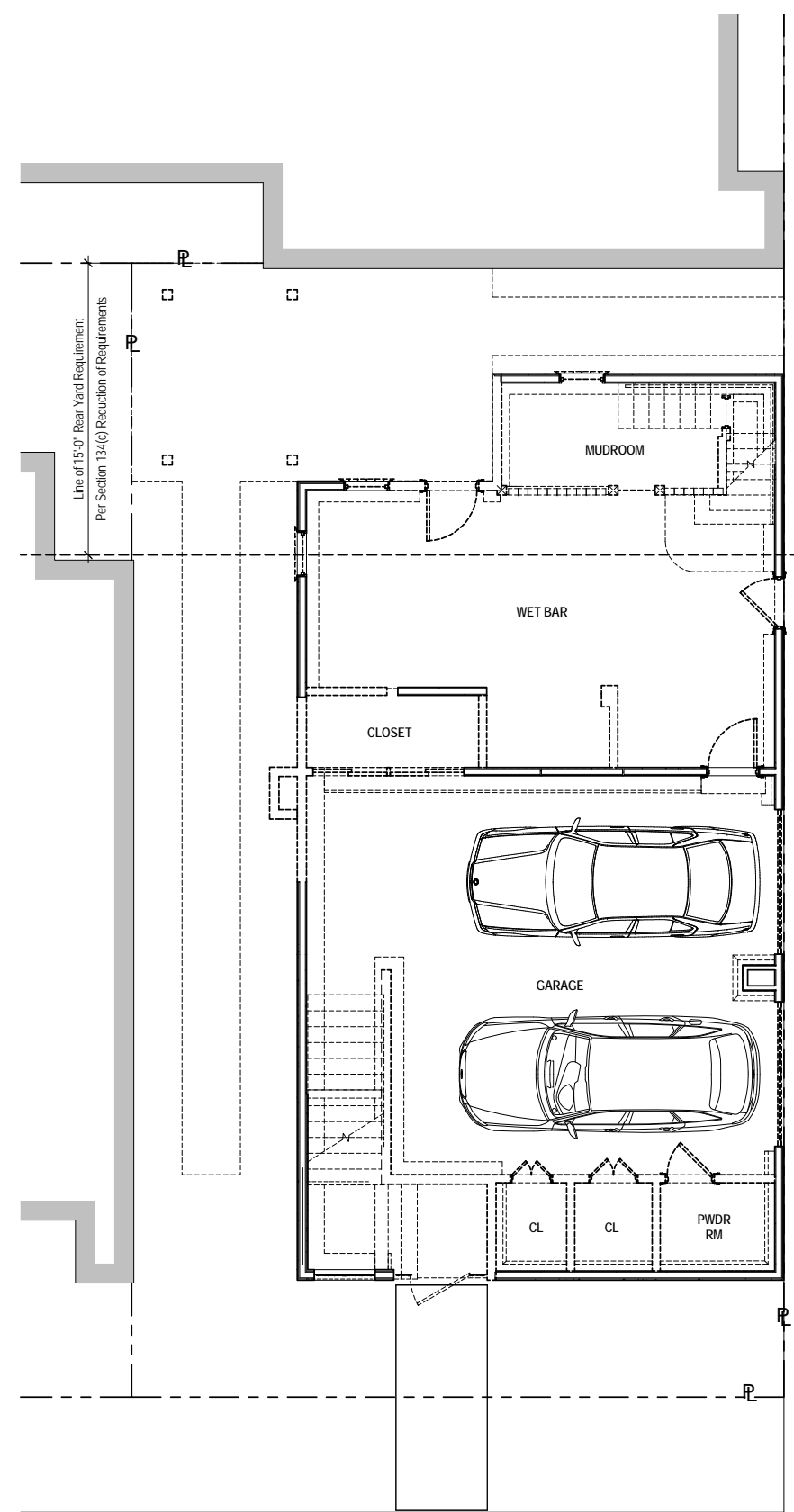
Date & Issue

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Job #: 1206
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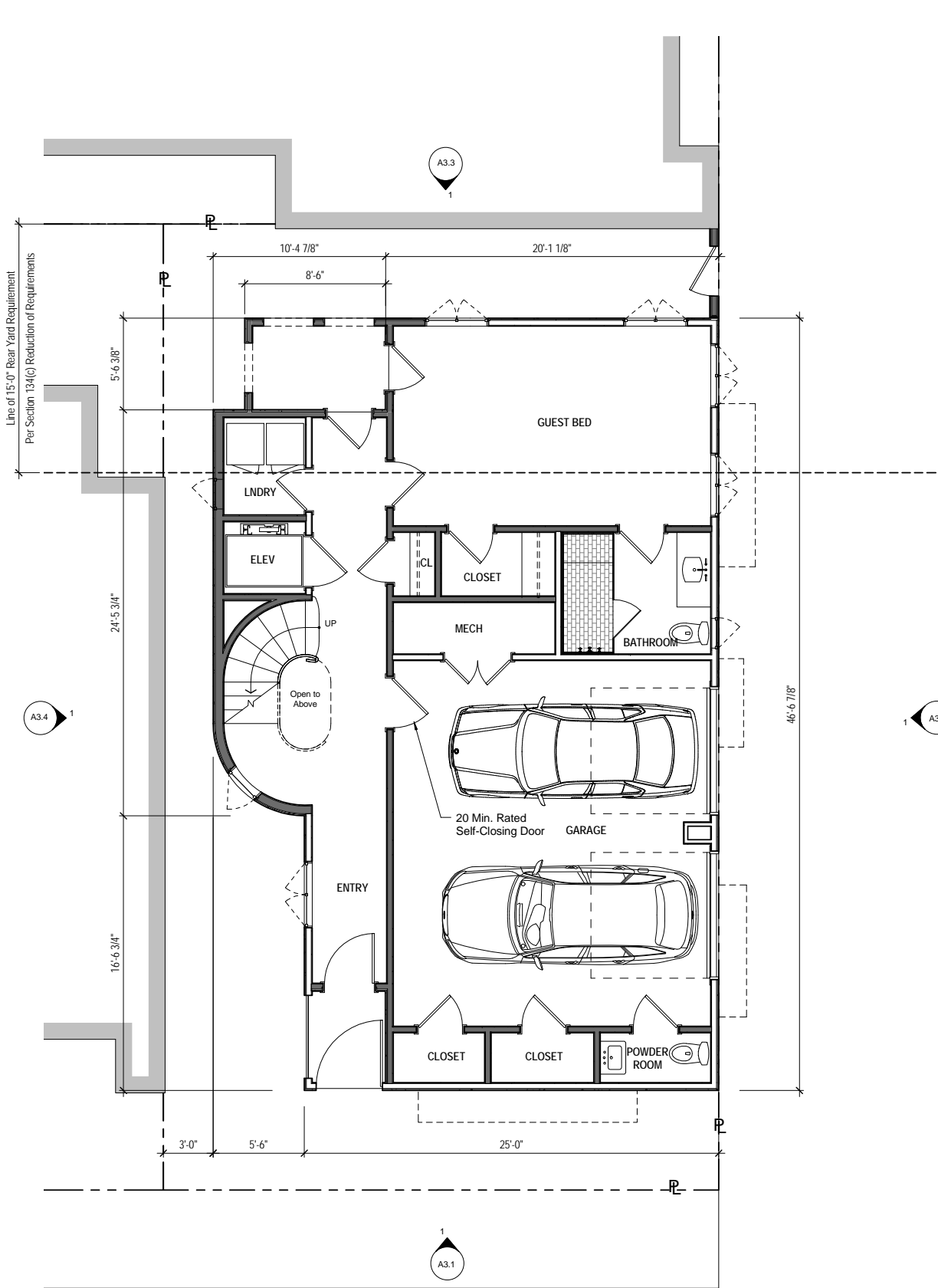
Existing & Proposed
Ground Floor Plans

A2.1



Ground Floor Demolition Plan
SCALE: 1/4" = 1'-0"

2



Wall Opening Calculations at North Elevation

Ground Floor:	
Wall Area (3' - 5' from Property Line)	234 SF
Total Area of Openings (3' - 5' from Property Line)	17 SF
Total Percentage	7 %

Proposed Ground Floor Plan
SCALE: 1/4" = 1'-0"

1





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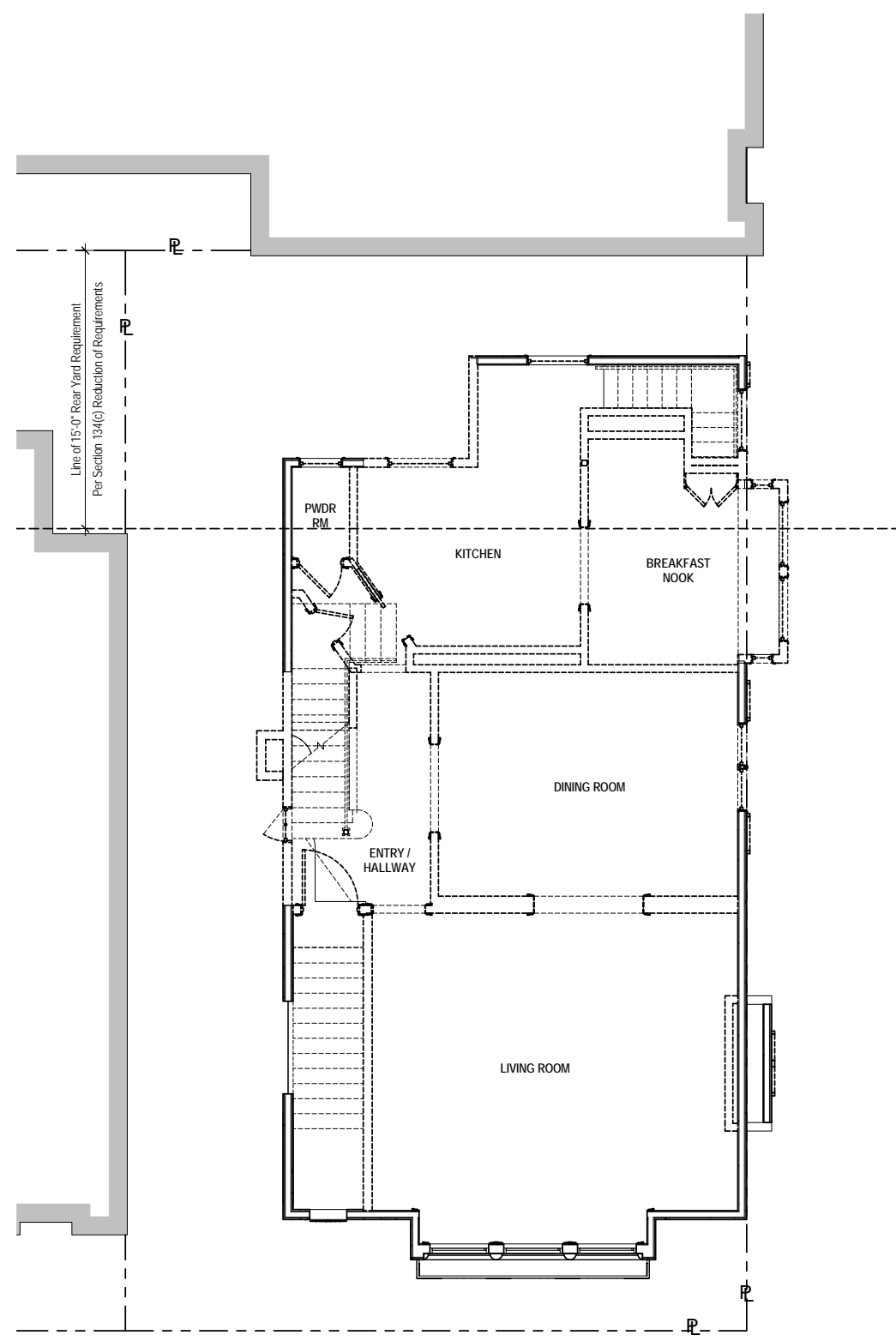
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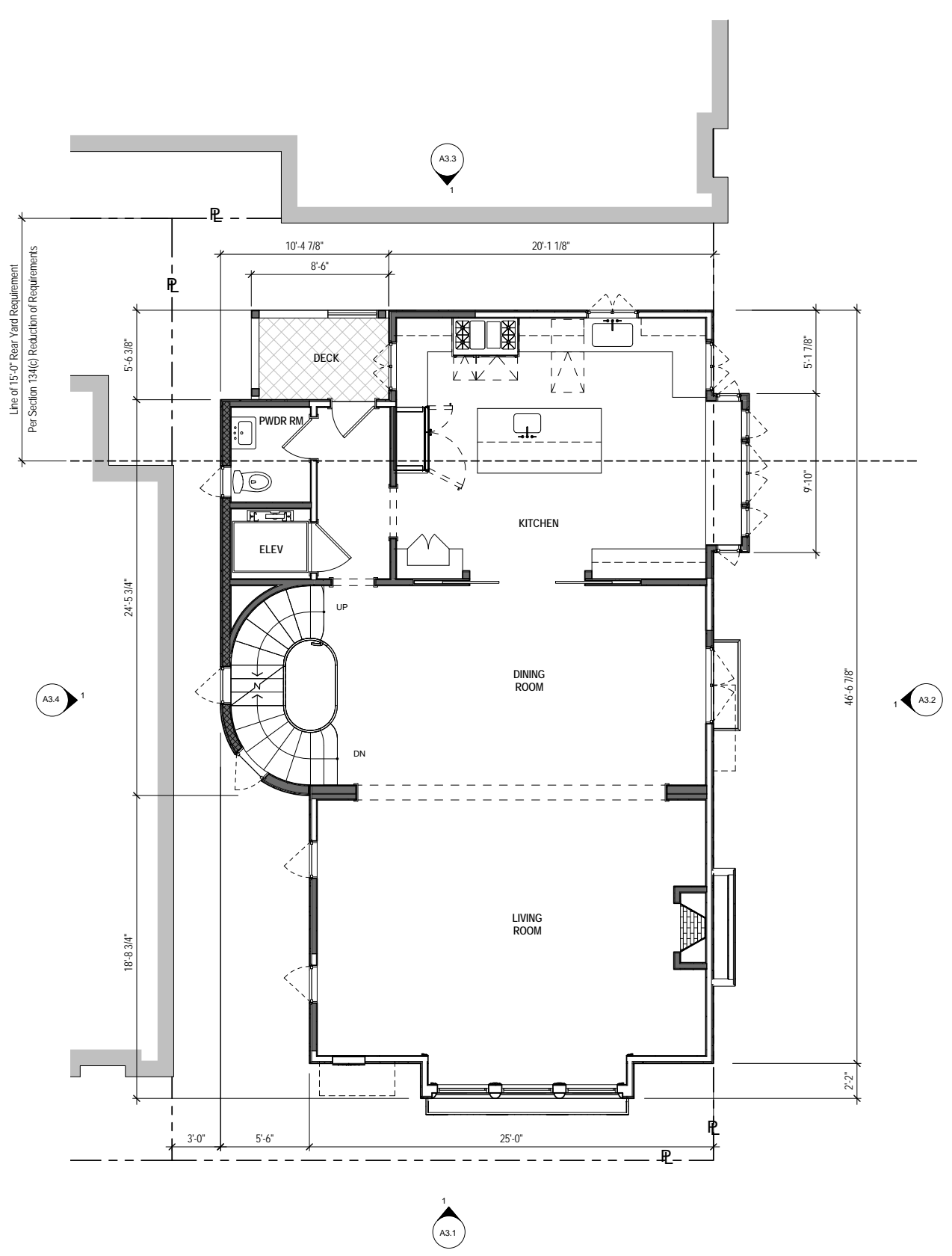
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Drawn By: bM/MH
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Existing & Proposed
Second Floor Plans

A2.2



Second Floor Demolition Plan
SCALE: 1/4" = 1'-0"



Wall Opening Calculations at North Elevation

Second Floor:	
Wall Area (3' - 5' from Property Line)	229 SF
Total Area of Openings (3' - 5' from Property Line)	22 SF
Total Percentage	10%

Proposed Second Floor Plan
SCALE: 1/4" = 1'-0"





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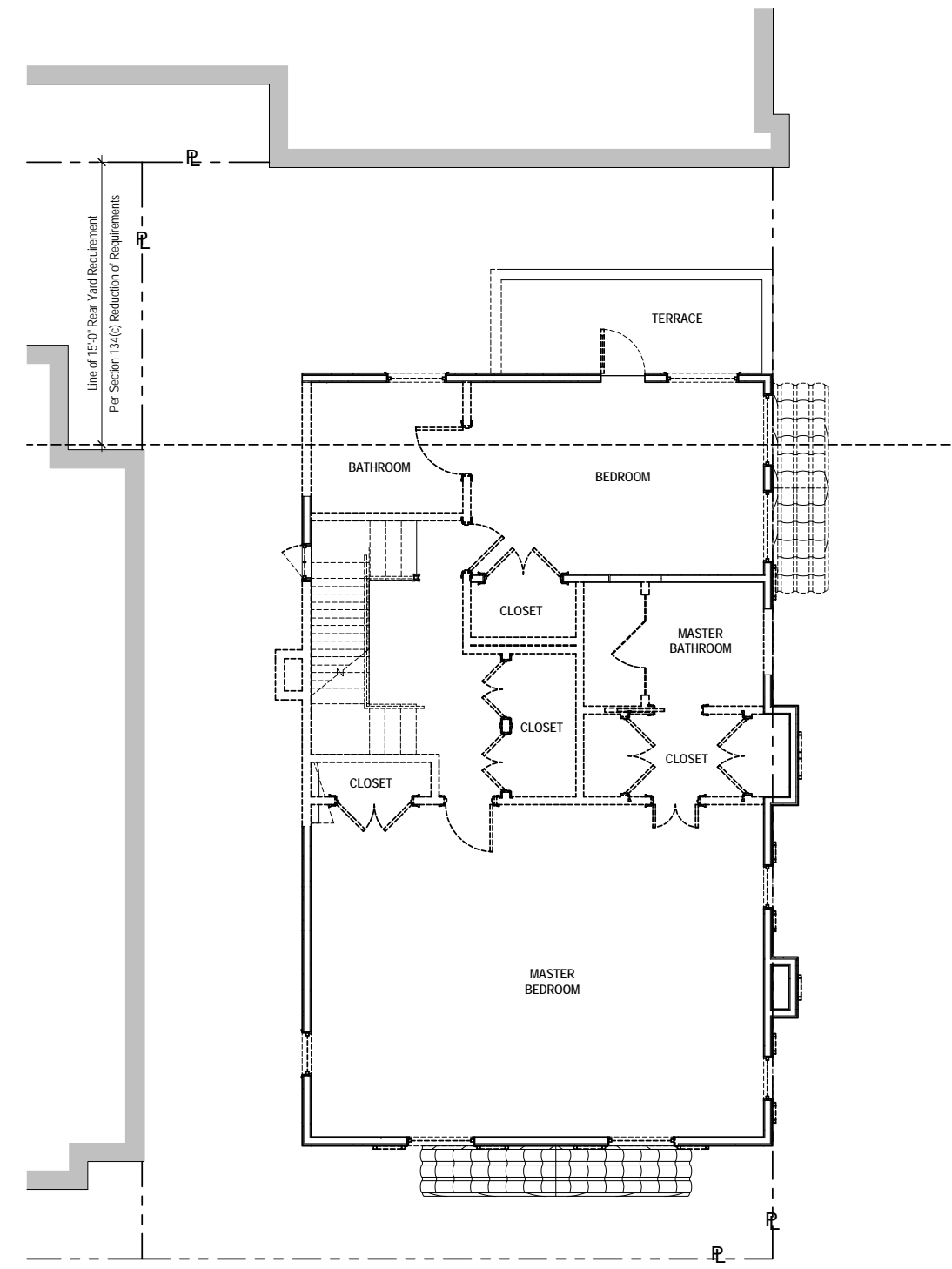
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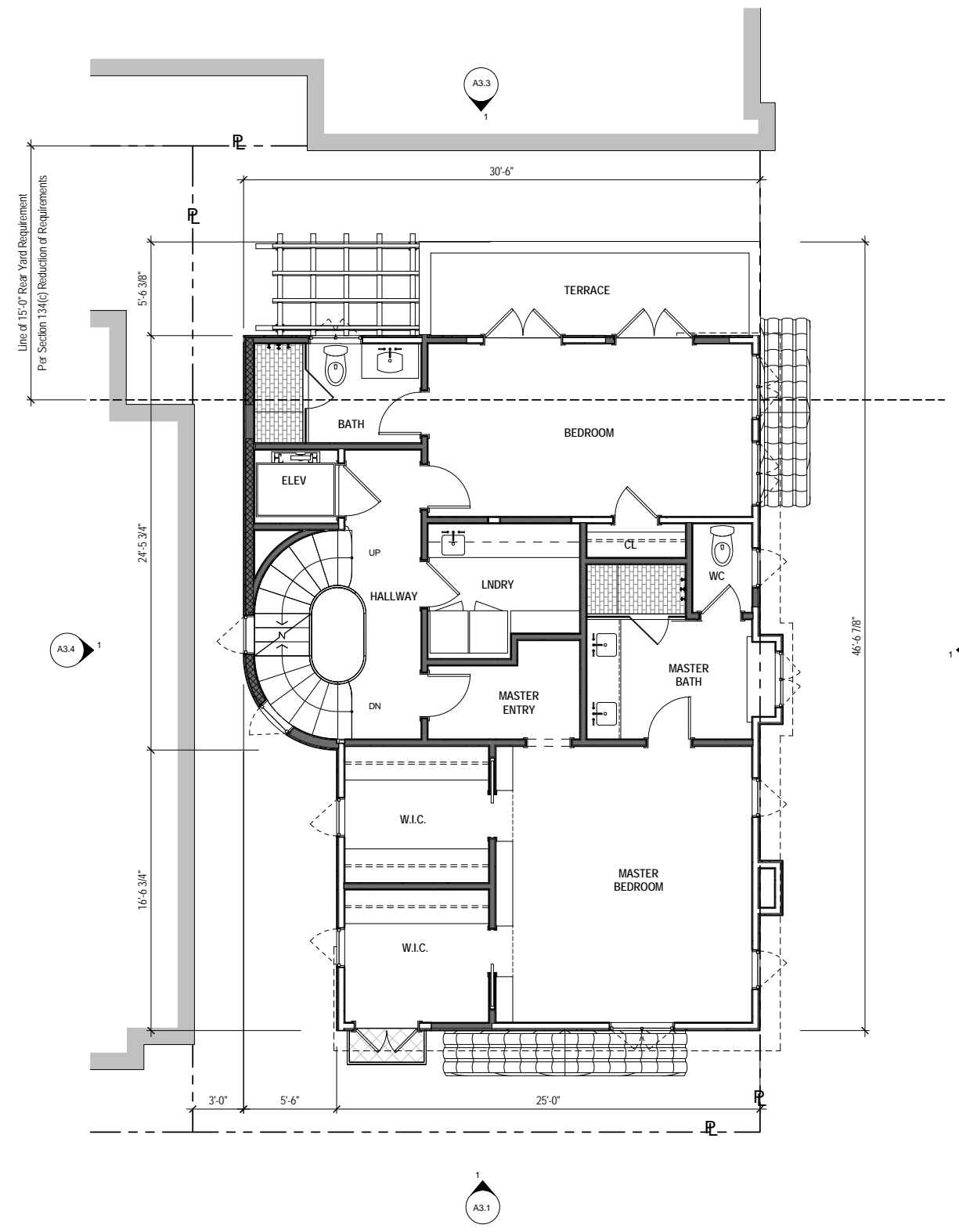
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Scale: 1/4" = 1'-0"
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Existing & Proposed
Third Floor Plans

A2.3



A2.3.2 Third Floor Demolition Plan
SCALE: 1/4" = 1'-0"



Wall Opening Calculations at North Elevation

Third Floor:
Wall Area (3' - 5' from Property Line) 221 SF
Total Area of Openings (3' - 5' from Property Line) 16 SF
Total Percentage 7 %

Proposed Third Floor Plan
SCALE: 1/4" = 1'-0"

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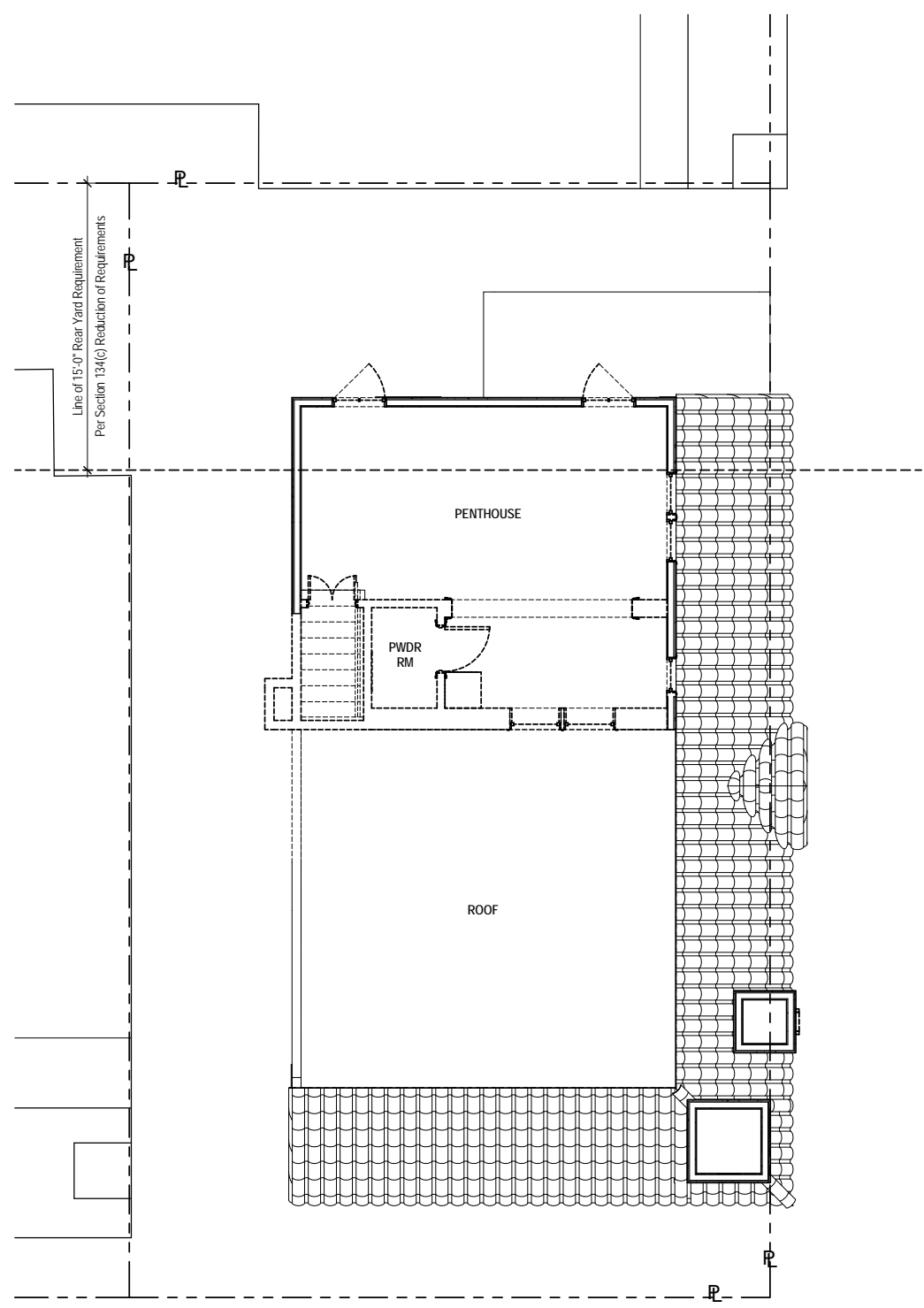
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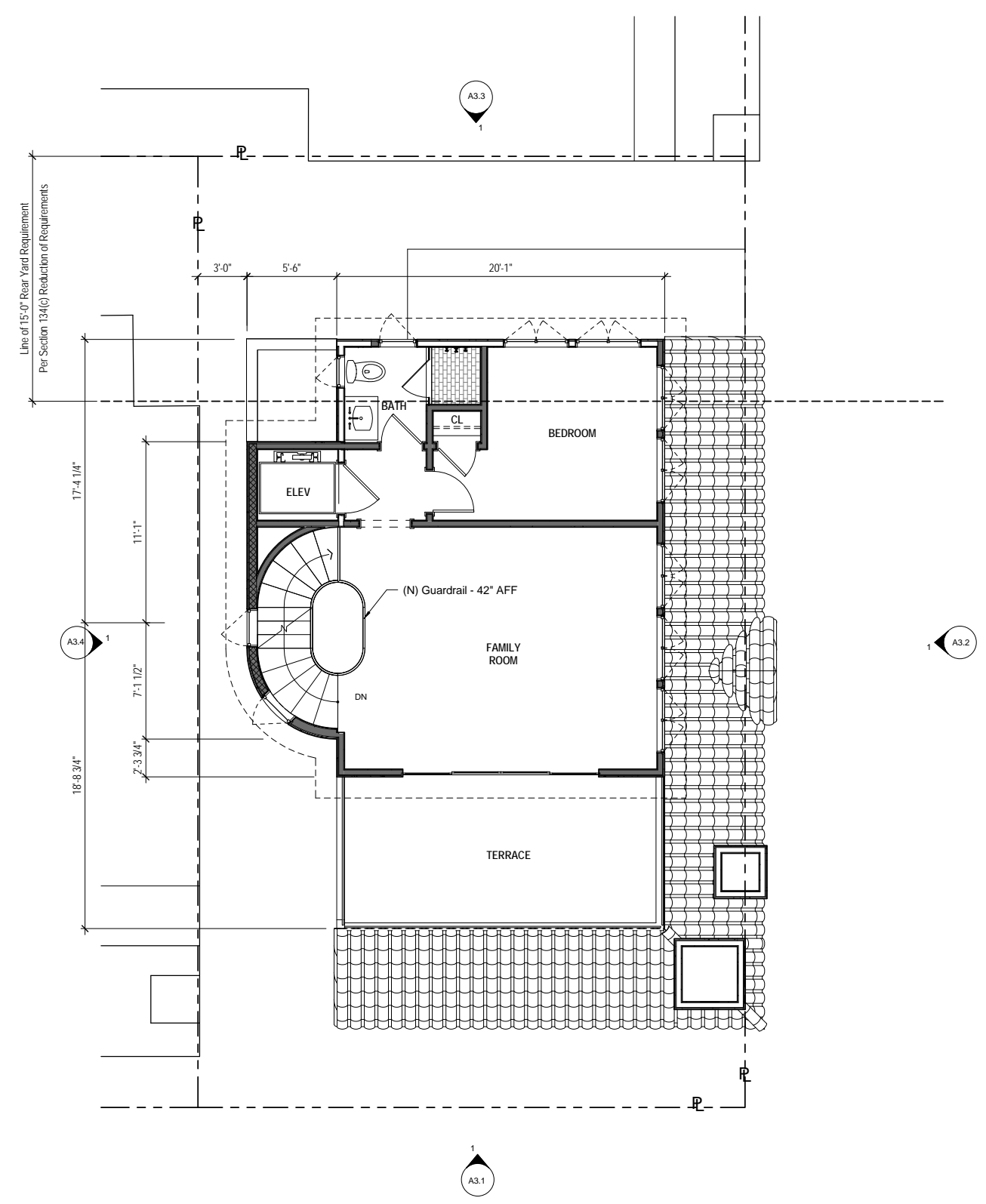
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Existing & Proposed
Fourth Floor Plans

A2.4



Roof Demolition Plan
SCALE: 1/4" = 1'-0"



Wall Opening Calculations at North Elevation

Fourth Floor:
Wall Area (3' - 5' from Property Line) 167 SF
Total Area of Openings (3' - 5' from Property Line) 17 SF
Total Percentage 10 %

Proposed Fourth Floor Plan
SCALE: 1/4" = 1'-0"



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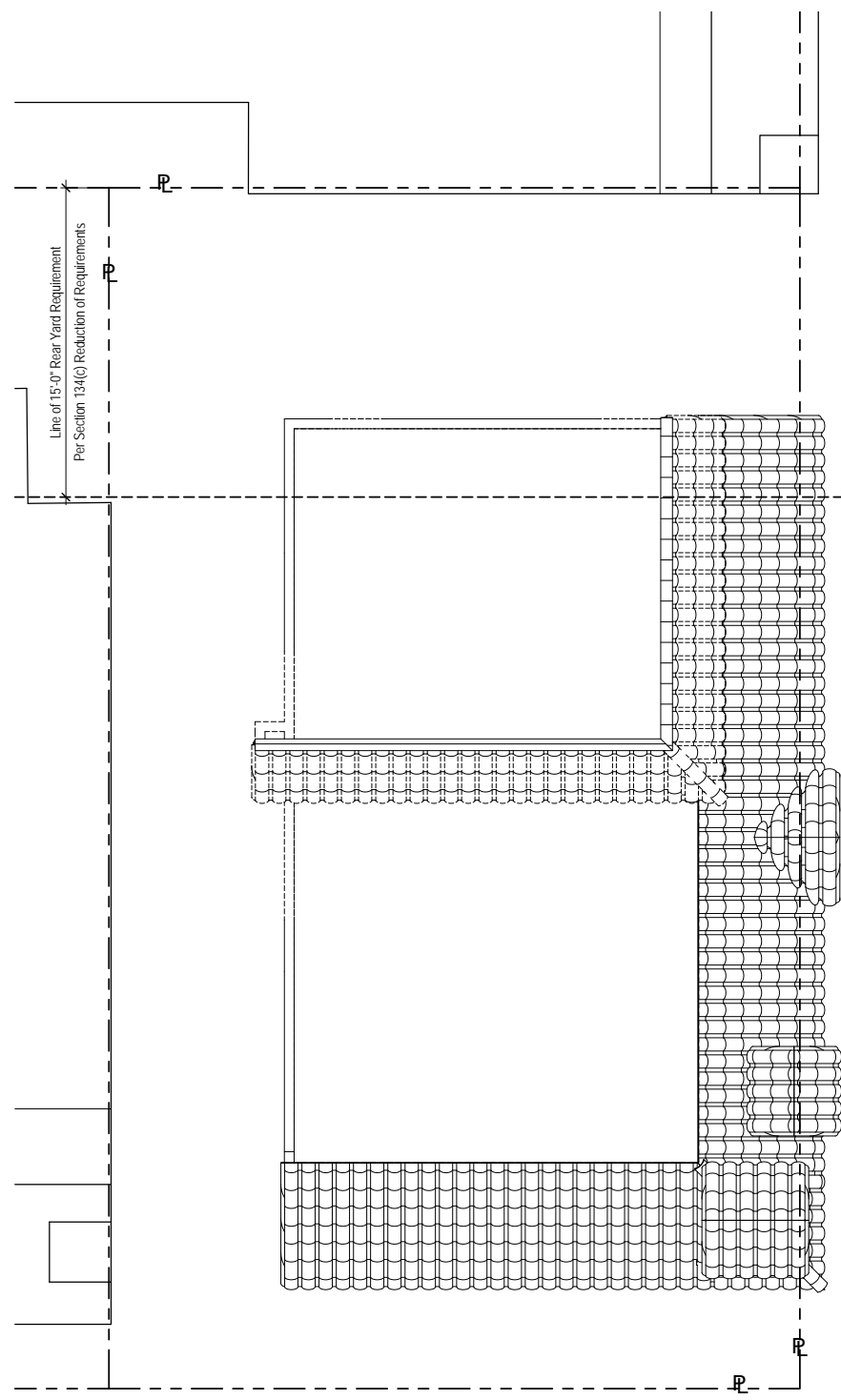
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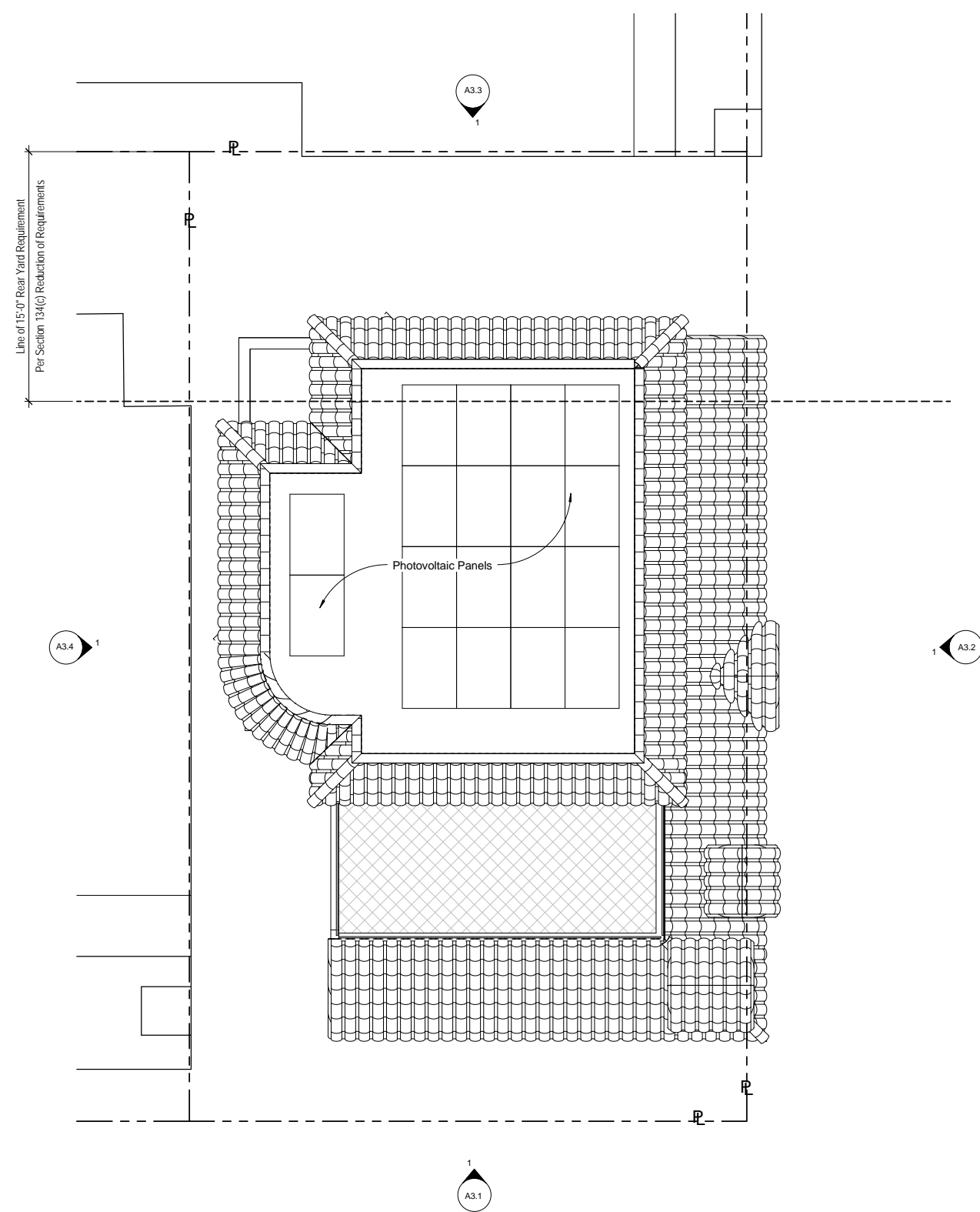
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Existing & Proposed
Roof Plans

A2.5



A2.5.2 Roof Demolition Plan
SCALE: 1/4" = 1'-0"



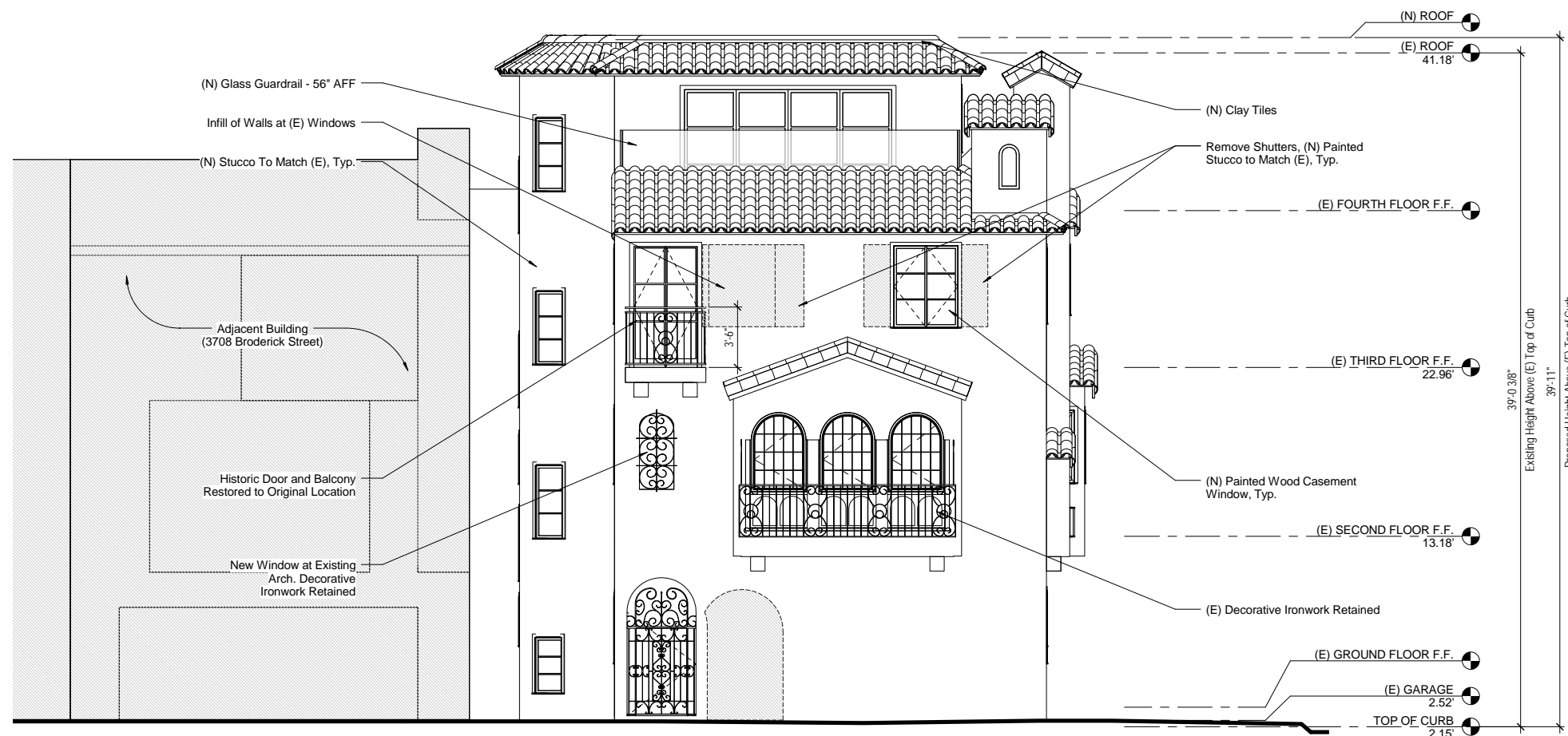
Proposed Roof Plan
SCALE: 1/4" = 1'-0"





Existing West Elevation
SCALE: 1/4" = 1'-0"

2



Proposed West Elevation
SCALE: 1/4" = 1'-0"

1

SHEET NOTES

GENERAL NOTES

- SEE SHEET A1.1 FOR LOCATION OF POINT USED FOR HEIGHT MEASUREMENT PER SFPC 102.12



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0 1 2 4 8

Existing & Proposed
West Elevations

A3.1

SHEET NOTES



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0 1 2 4 8

Existing & Proposed
South Elevations

A3.2

GENERAL NOTES

- SEE SHEET A1.1 FOR LOCATION OF POINT USED FOR HEIGHT MEASUREMENT PER SFPC 102.12

Existing South Elevation

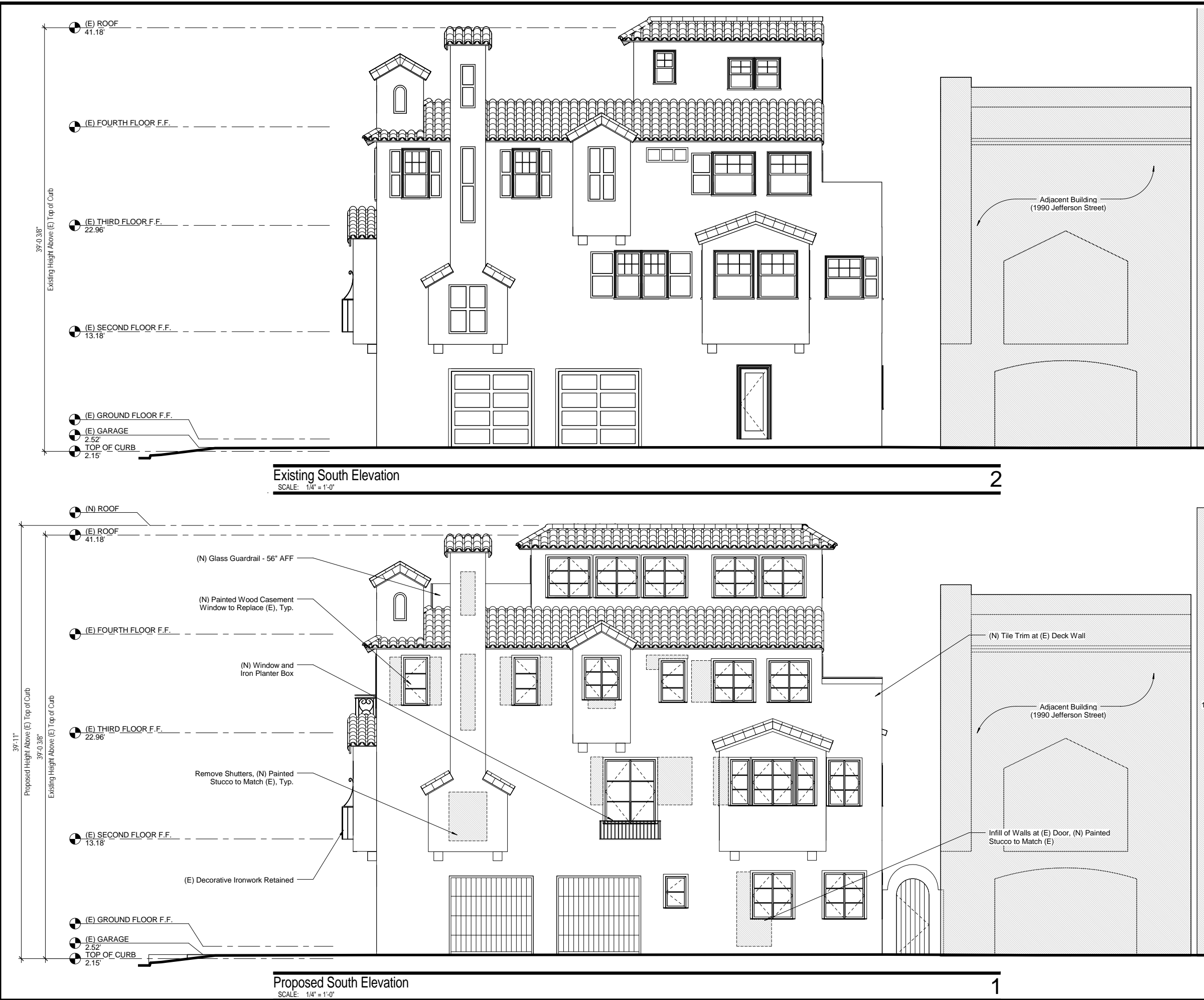
SCALE: 1/4" = 1'-0"

2

Proposed South Elevation

SCALE: 1/4" = 1'-0"

1



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Existing & Proposed
East Elevations

A3.3

GENERAL NOTES

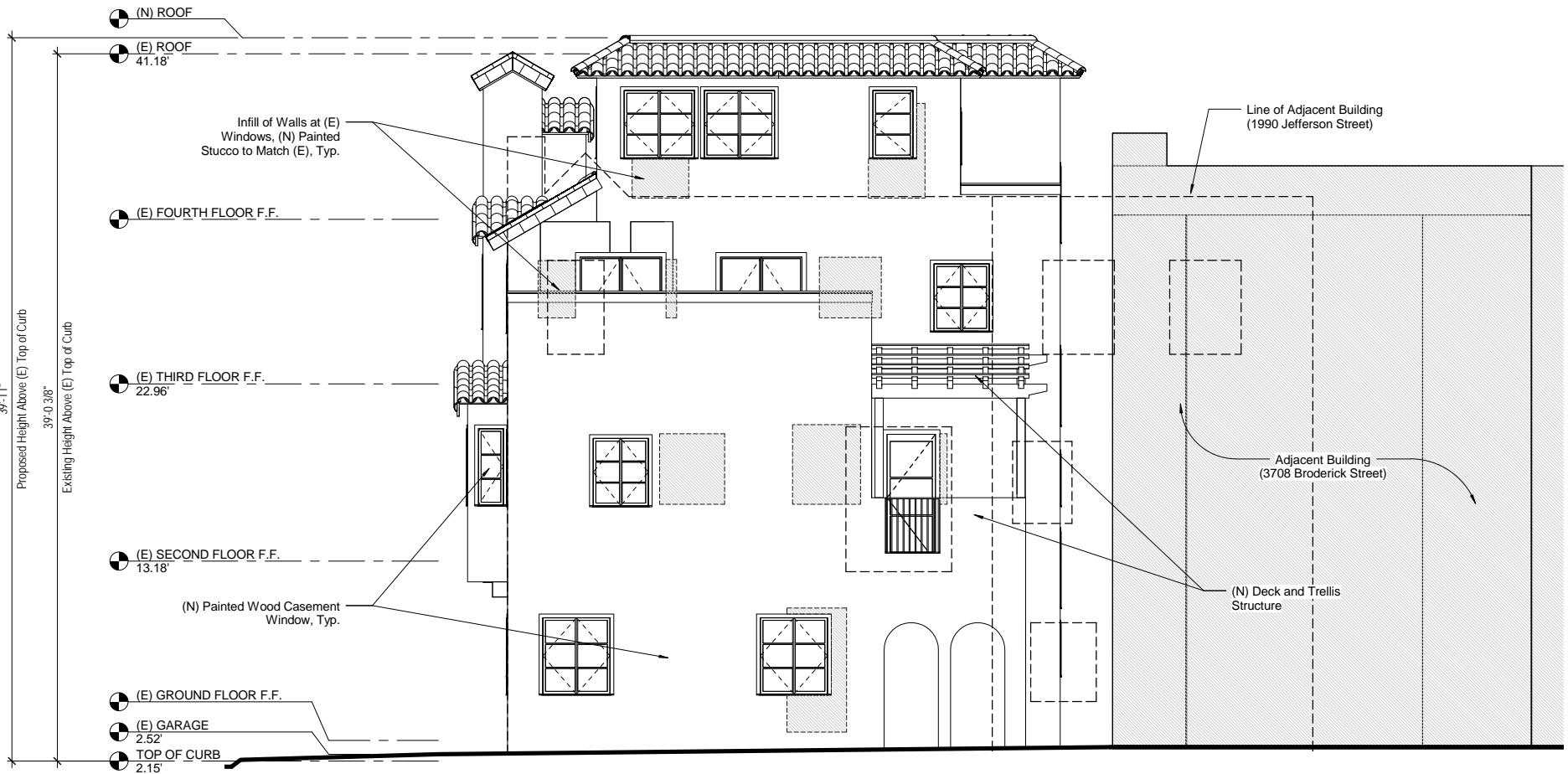
1. SEE SHEET A1.1 FOR LOCATION OF POINT USED FOR HEIGHT MEASUREMENT PER SFPC 102.12



Existing East Elevation

SCALE: 1/4" = 1'-0"

2



Proposed East Elevation

SCALE: 1/4" = 1'-0"

1

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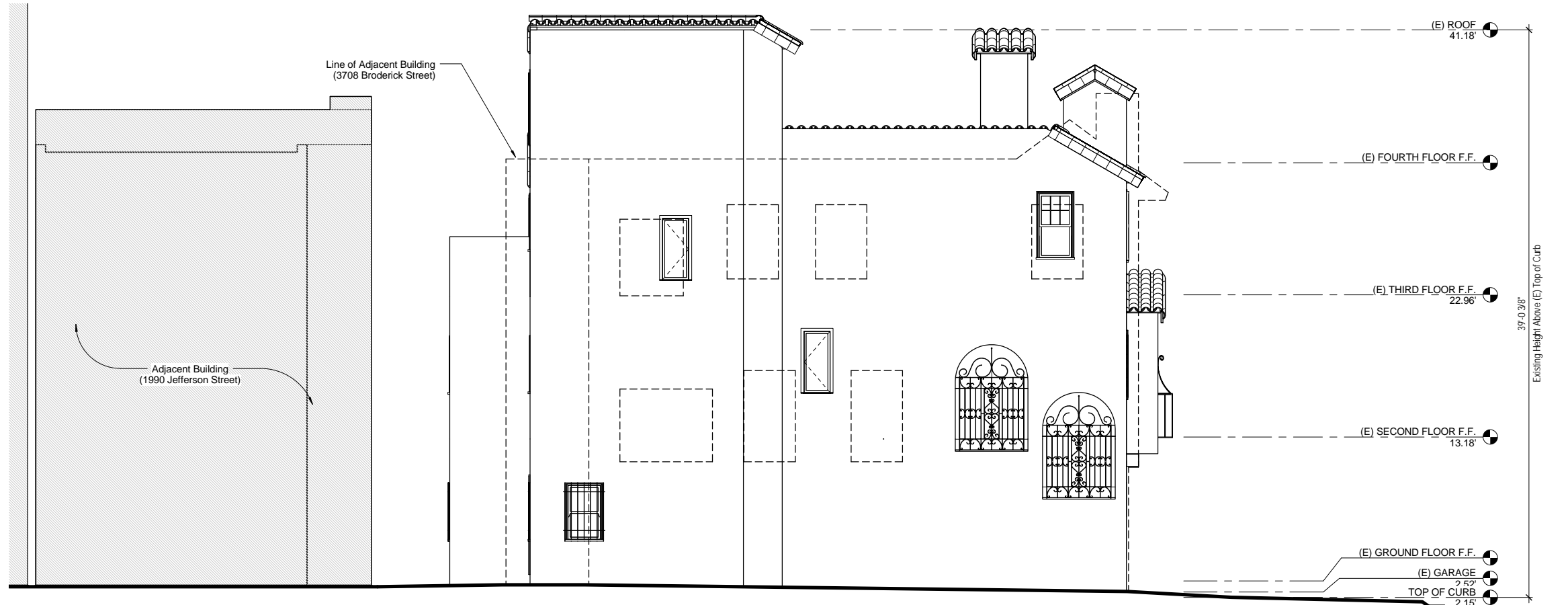
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Existing & Proposed
North Elevations

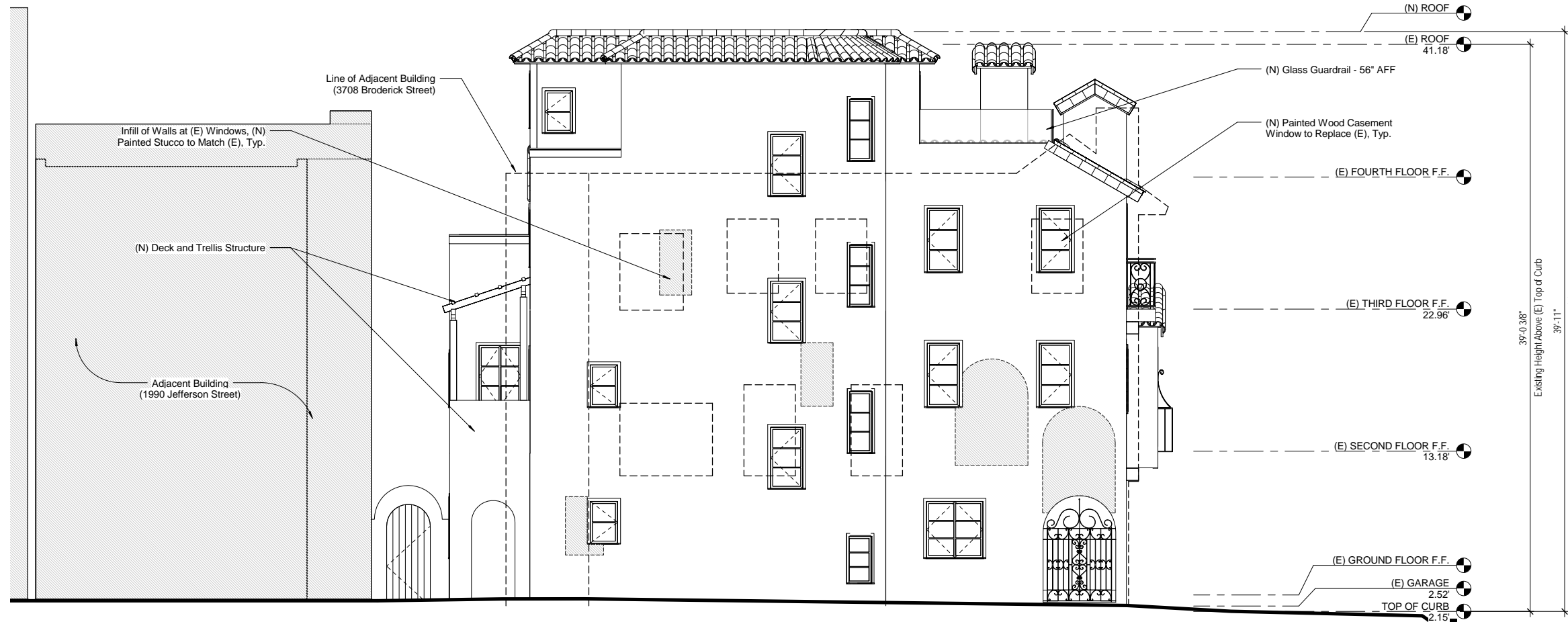
A3.4



Existing North Elevation

SCALE: 1/4" = 1'-0"

2



Proposed North Elevation

SCALE: 1/4" = 1'-0"

1

GENERAL NOTES

- SEE SHEET A1.1 FOR LOCATION OF POINT USED FOR HEIGHT MEASUREMENT PER SFGPC 102.12