



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 05, 2012**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1082 Jamestown Av	Case No.: 2012.1002V
Cross Street(s): Btw Jennings and Ingalls	Building Permit: 201202073678
Block / Lot No.: 4969/053	Applicant/Agent: Louis Coughenour
Zoning District(s): RH-1 / 40-X	Telephone: 415-816-4060
Area Plan: N/A	E-Mail: csc.louis@gmail.com

PROJECT DESCRIPTION

The proposal is to legalize reconstruction of a fire-damaged deck at the rear of the house.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 25 percent of lot depth, but in no case less than 15 feet. The subject property has a required rear yard of 15 feet. The proposed deck replacement is located completely within the required rear yard in the northwest corner of the lot. The deck would be approximately 8 feet in height, measuring approximately 11 feet by 10 feet.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika Jackson** Telephone: **415-558-6363** Mail: erika.jackson@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.1002V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

PLANS ARE NOT TO BE SCALD, UNIFORM PROJECT MANAGER OF ANY DISCREPANCIES. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.

THE CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS AND ALL APPLICABLE CODES. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE STATE OF CALIFORNIA.

ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE STATE OF CALIFORNIA.

SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.

DURING CONSTRUCTION, PROVIDE A FORKABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A1 (IBC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA).

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES REGARDING EARTHQUAKE PRINCS, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS AND MECHANICAL EQUIPMENT. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE AND NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.

DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION.

KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS, RUBBERISE AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE.

CONTRACTOR TO PROVIDE AND MAINTAIN DUST FREE ENVIRONMENT AT AREAS ADJACENT TO THE AREA OF WORK.

THE CONTRACTOR SHALL PROTECT EXISTING WORK AND OTHER NEW WORK BY OTHER CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING WORK OR WORK BY OTHERS INCURRED WHILE FULFILLING THE OBLIGATIONS OF THIS PROJECT.

JUNCTURES OF NEW AND EXISTING WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT PROPOSED SURFACES. EXISTING WALLS REQUIRING MODIFICATION OF ANY KIND SHALL BE REFINISHED TO THE WORKERS' OUTSIDE OR INSIDE CORNERS AND FROM FLOOR TO CEILING UNLESS NOTED.

ALL PIPES, DUCTS AND BUS DUCTS THAT PENETRATE CEILING, FLOOR, OR WALL PENUMS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE THE MOISTURE RESISTIVENESS, FIRE RATING, AND STRUCTURAL INTEGRITY OF THE SPACES WITHIN FACILITY AND BUILDING ENVELOPE.

ALL STRINGER JOIST TO LEDGER BOARD CONNECTIONS TO BE SIMPSON OK EQUAL.

ALL PLATFORM FRAME CONNECTIONS TO BE STRENGTHENED WITH SIMPSON GUSSET ANGLES & APPROVED FASTENERS.

ALL JOIST TO KICKER BOARD CONNECTIONS TO BE PROVIDED WITH ADDITIONAL WOOD BLOCKING AND 3d NOT DRIPPED ZINC NAILS @ 7" MIN. O.C.

PROVIDE STEEL ANGLES W/ LAG OR THROUGH BOLTS TO JOIST AND/OR CARRIAGE PLATFORM.

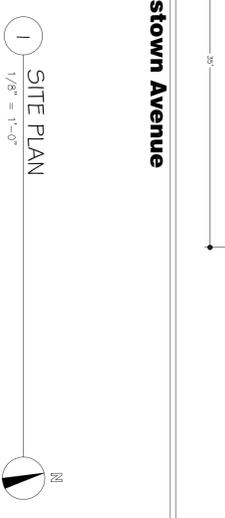
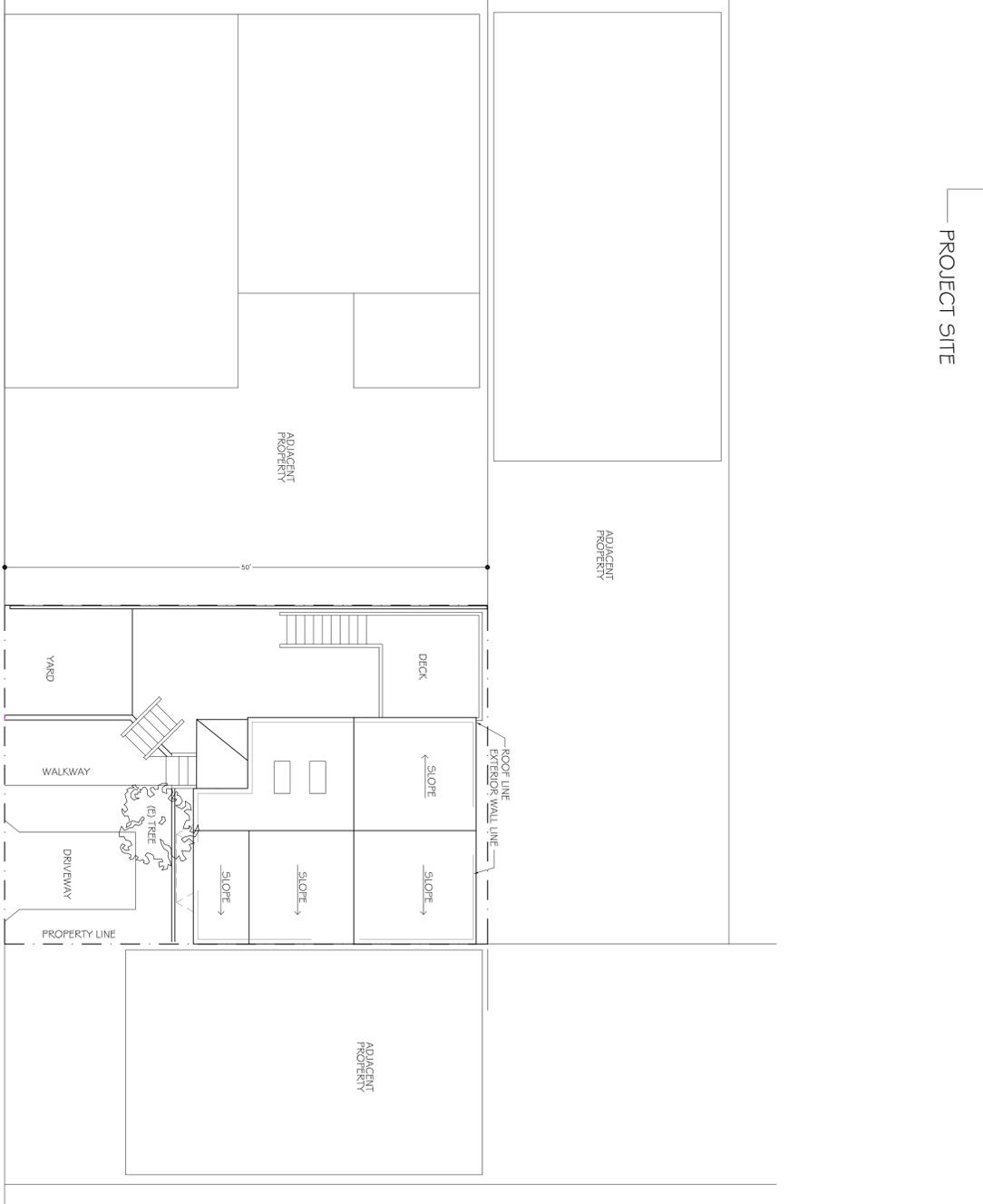
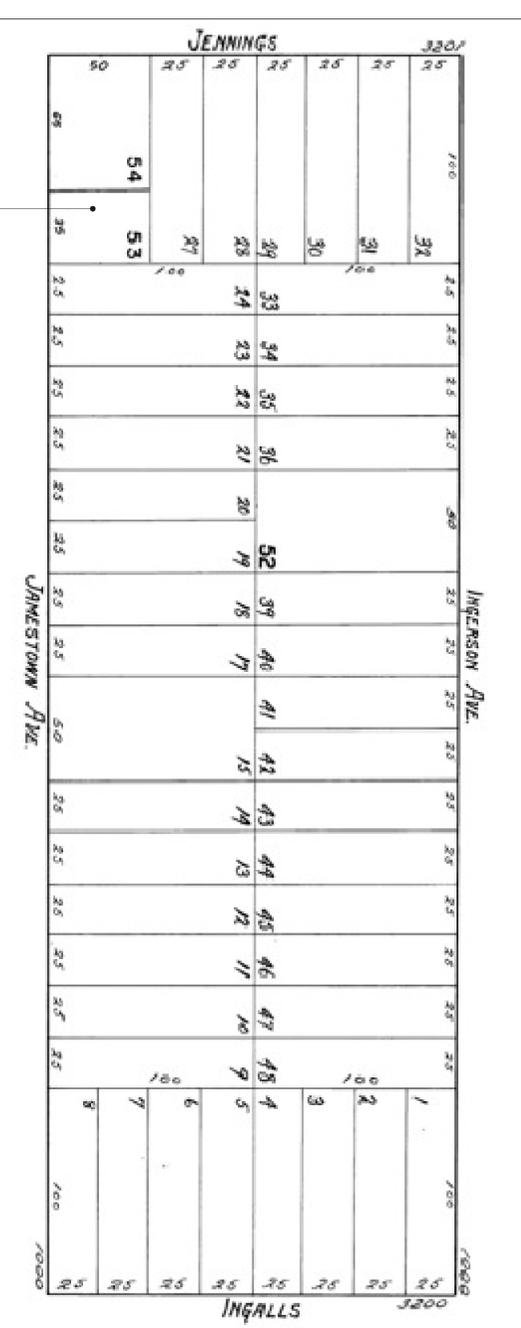
PROVIDE FIRE BLOCKING AS REQUIRED BY BLDG. INSPECTOR.

ABBREVIATIONS

A/C	AIR CONDITIONING	INSUL.	INSULATION
A.O.D.	ADDITIONAL ABOVE FINISH FLOOR	INT.	INTERIOR
BLDG.	BUILDING	JT.	JOINT
BLDG. BOT.	BUILDING BOTTOM	MAX. MIN.	MAXIMUM MINIMUM
C.G.	CEILING	(N)	NEW
C.C.	CLEAR	O.C.	ON CENTER
C.R.	CONCRETE MASONRY UNIT	PSF	PER SQUARE FOOT
CMU	CONCRETE MASONRY UNIT	REQ.	REQUIRED
COL.	COLUMN	RM.	ROOM
CONC.	CONCRETE		
D.B.	DESIGN BUILD - UNDER SEPARATE PERMIT		
DET.	DETAIL		
DIA.	DIAMETER		
DN.	DOWN		
DN.	DOWN		
ELEC.	ELECTRICAL	SCWD	SOLID CORE WOOD
ELEV.	ELEVATION	SCHED.	SCHEDULE
EQ.	EQUIPMENT	SHT.	SHEET
EXT.	EXISTING EXTERIOR	SPEC.	SPECIFICATIONS
		S.S.D.	SEE STRUCTURAL DRAWINGS
		STL.	STEEL STRUCTURAL
		T.O.	TOP OF TYPICAL
FIN.	FINISHED	U.O.N.	UNLESS OTHERWISE NOTED
F.P.	FIRE PROTECTION		
FTG.	FOOT OR FEET FOOTING	W/ W/O	WITH WITHOUT
GA.	GALV.	WDW.	WINDOW
G.P.	GYP. BD.		

SCOPE OF WORK

- REPLACE EXISTING INTERIOR STAIRWAY TO MEET CODE
- CONVERT ATTIC STORAGE SPACE TO LIVABLE SPACE
- ADDRESS VIOLATIONS FOR WINDOWS AND DOORS
- ADDRESS VIOLATIONS FOR ENTRY STAIRS
- REPLACE ROOF
- COMPLY WITH N.O.V. #200674408
- WINDOWS, DOORS AND ROOF (SEE PERMIT) 201.0091.60962
- REPLACE EXISTING DECK IN KIND
- ADD 2ND BATH ON 2ND FLOOR



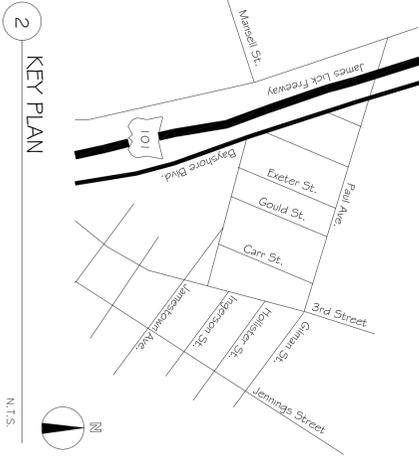
PROJECT DATA

PROJECT ADDRESS: 1082 JAMESTOWN AVE., SAN FRANCISCO, CA 941124
 PROJECT SCOPE: REPLACE EXISTING ATTIC ACCESS STAIR WITH WALKWAY AND DECK, ADD 2ND BATH, W/ W/O SPACE FOR WALKWAY AND DECK.
 BLOCK #: 4969
 LOT #: 053
 OWNER: LOUIS COUGHLIN (415) 674-0509
 OCCUPANCY TYPE: R3
 CONSTRUCTION TYPE: TYPE V4N
 SQUARE FOOTAGE TOTALS:
 (E) 5/F: 660 S.F.
 (E) HOUSE: 660 S.F.
 (E) LOT: 1750 S.F.
 TOTAL (E) LOT COVERAGE: 660 S.F. (29%)
 (N) 5/F:
 (N) HOUSE: 1244 S.F.
 (E) LOT: 1750 S.F.
 TOTAL (N) LOT COVERAGE: 660 S.F. (29%)

DRAWING LIST

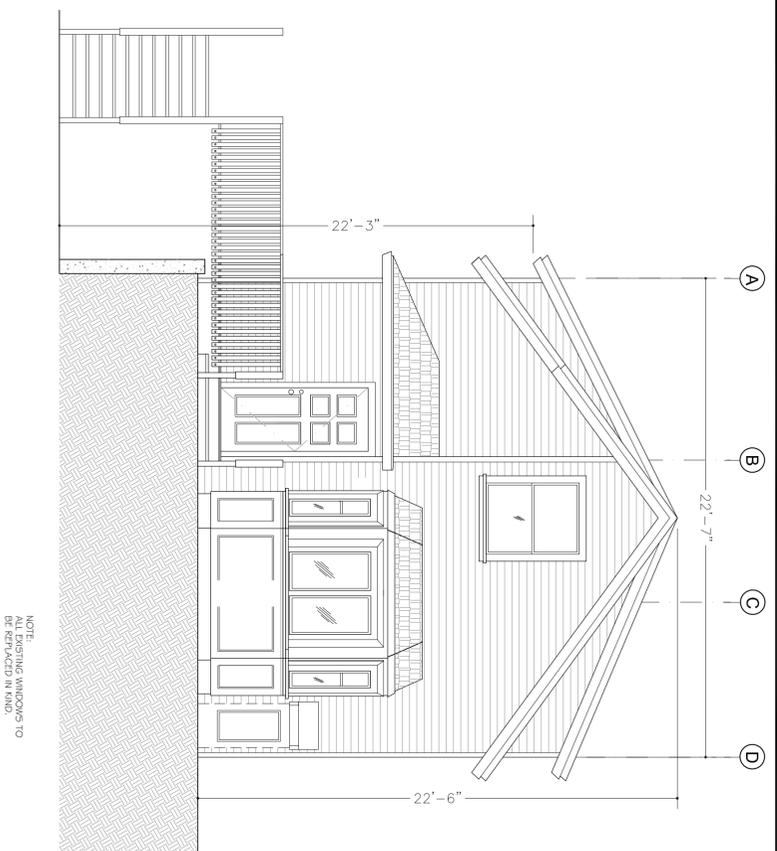
SHEET NO.	DRAWING TITLE
A-0	TITLE SHEET, SITE PLAN, NOTES, AND PROJECT DATA
A-1	FLOOR PLANS
A-3	ELEVATIONS
A-4	EXTERIOR DECK REPAIR & DETAILS
5-0	STRUCTURAL DRAWINGS
T24	TITLE 24 ENERGY CODE MEASURES

KEY PLAN



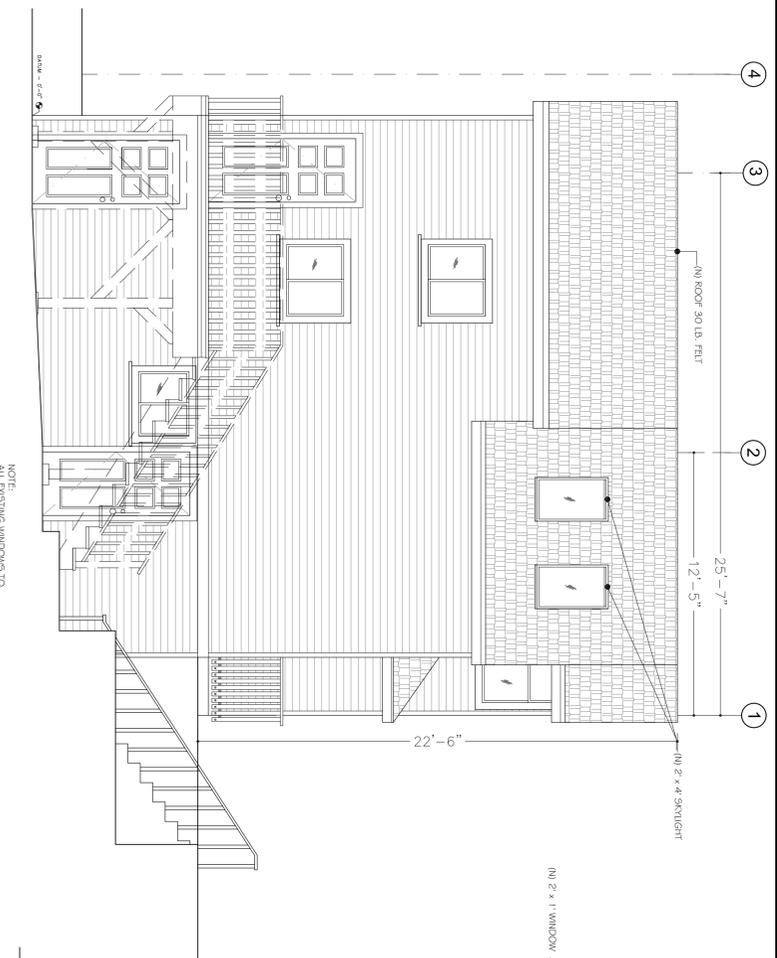
PERMIT SUBMITTAL
 1082 JAMESTOWN AVE., SAN FRANCISCO, CA

REVISION/DATE/BY
 01/11/2012 EW
 SCALE: AS SHOWN
 DATE: 07/04/09
 JOB #: 4000-0132
 DRAWING TITLE: SITE PLAN NOTES, & PROJECT INFO.
 SHEET NUMBER: A-0



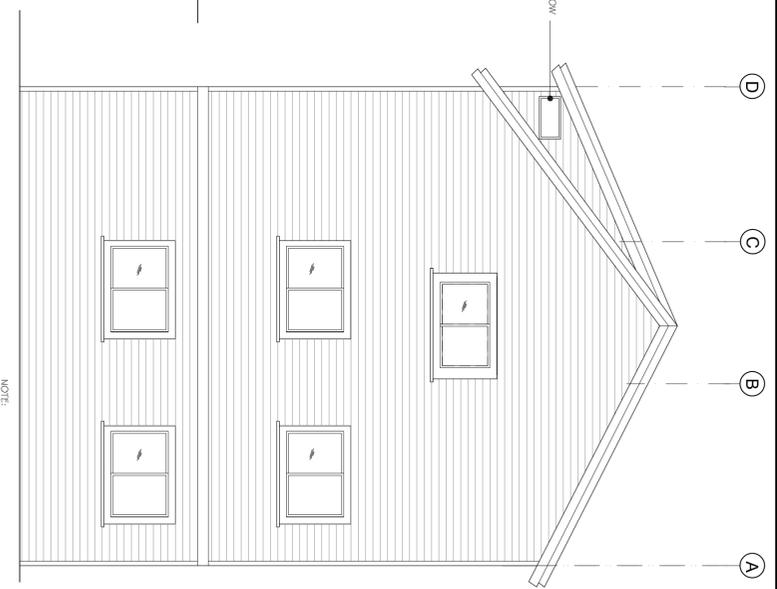
6 (N) SOUTH ELEVATION

1/4" = 1'-0"



5 (N) WEST ELEVATION

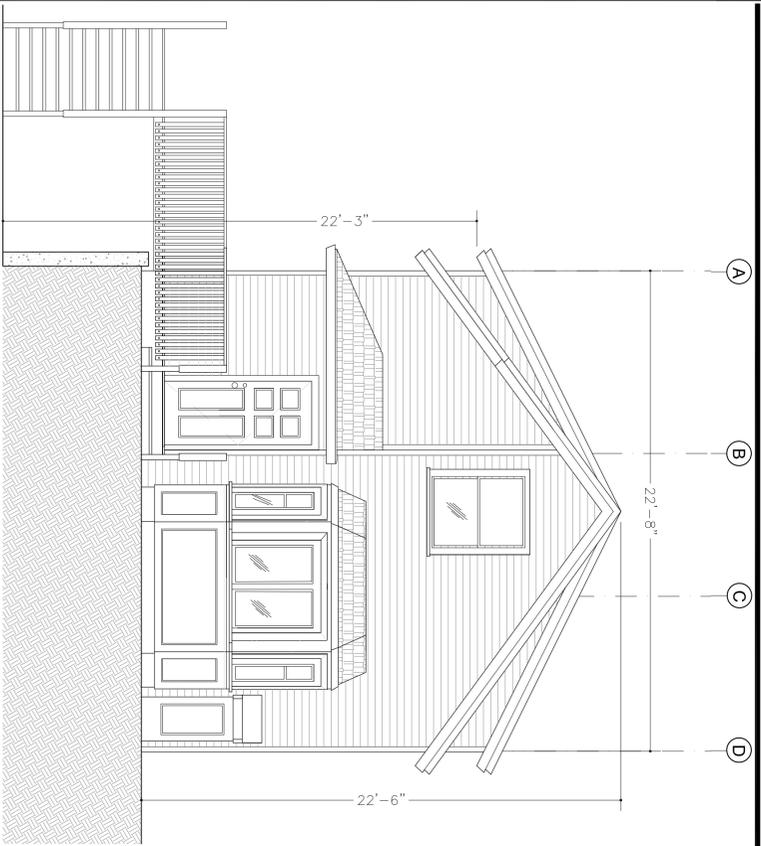
1/4" = 1'-0"



4 (N) NORTH ELEVATION

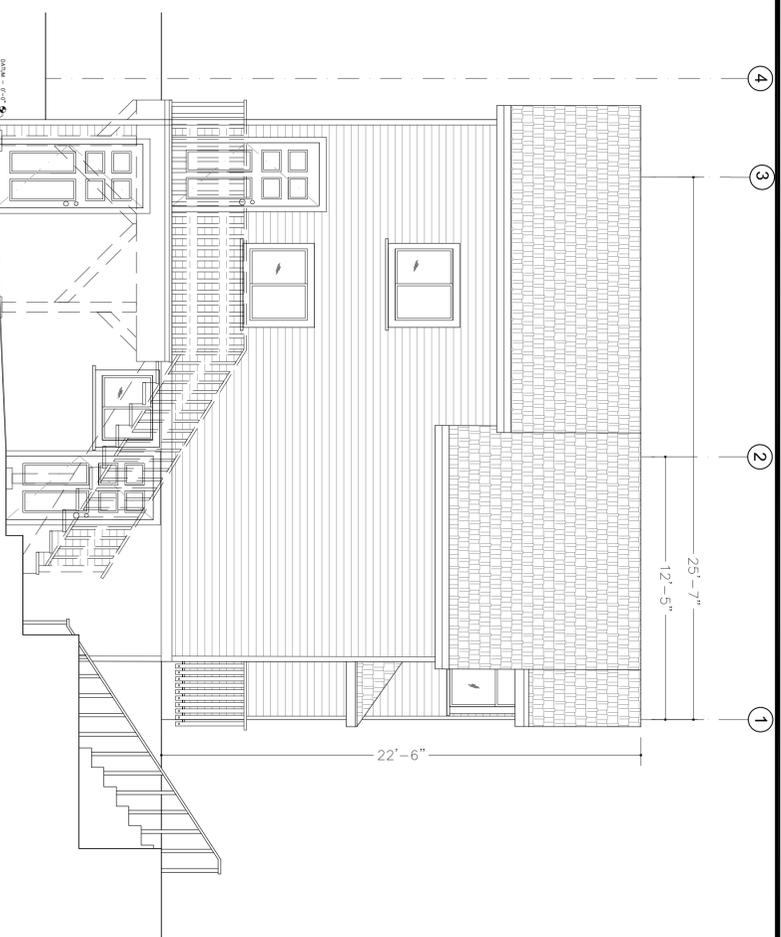
1/4" = 1'-0"

PROPOSED



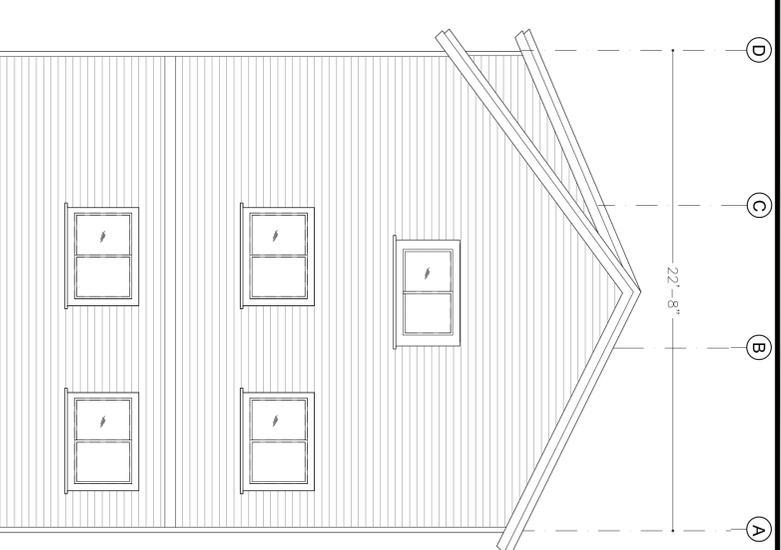
3 (E) SOUTH ELEVATION

1/4" = 1'-0"



2 (E) WEST ELEVATION

1/4" = 1'-0"



1 (E) NORTH ELEVATION

1/4" = 1'-0"

EXISTING

PERMIT SUBMITTAL
1082 JAMESTOWN AVE., SAN FRANCISCO, CA

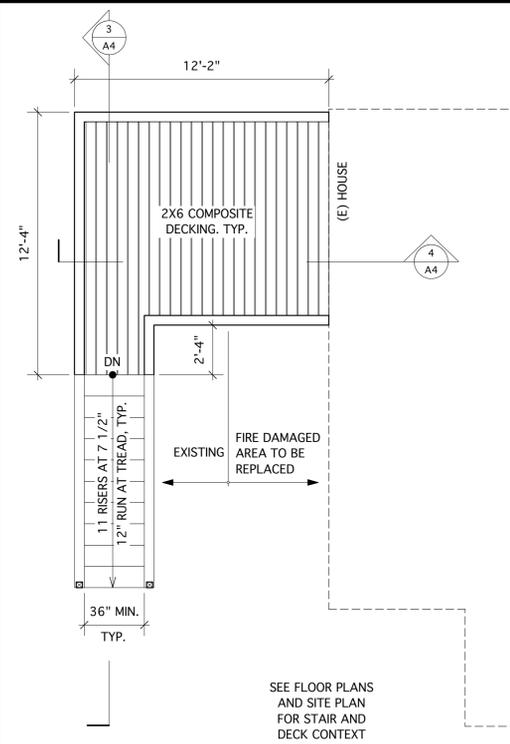
REVISION/DATE/BY
01/11/2012 EM

SCALE: AS SHOWN
DATE: 07/04/09
JOB #: 0003-0132
DRAWING TITLE

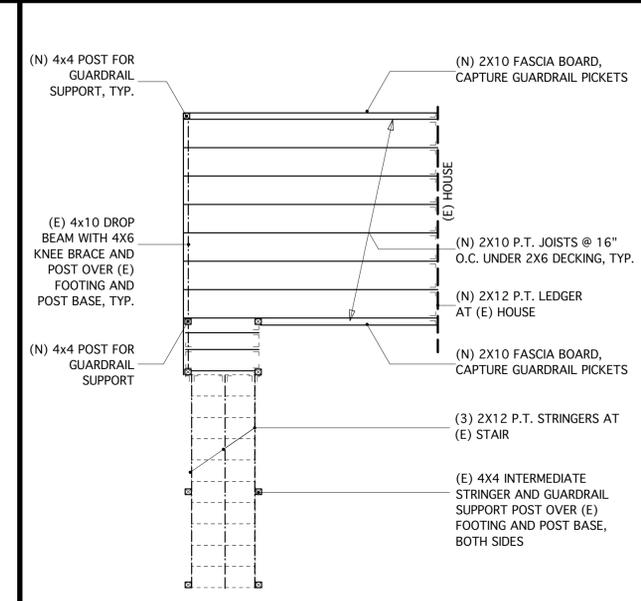
ELEVATIONS

SHEET NUMBER

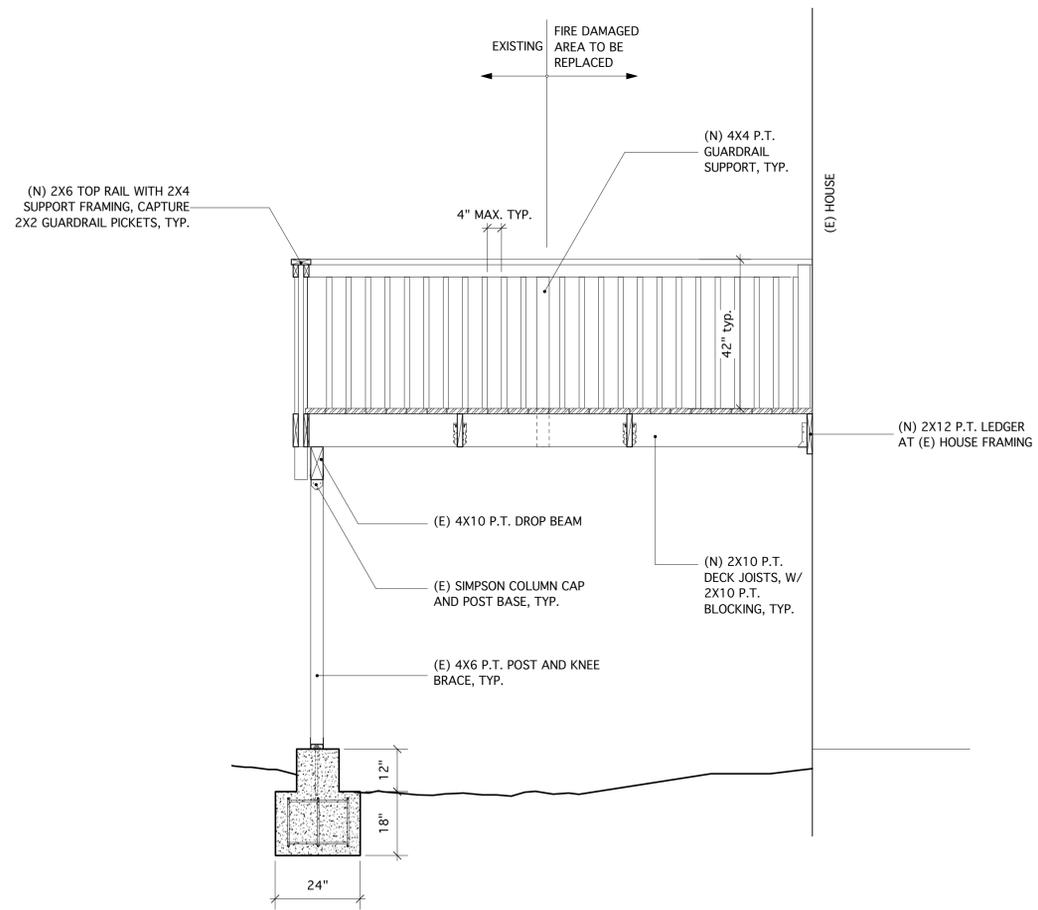
A-3



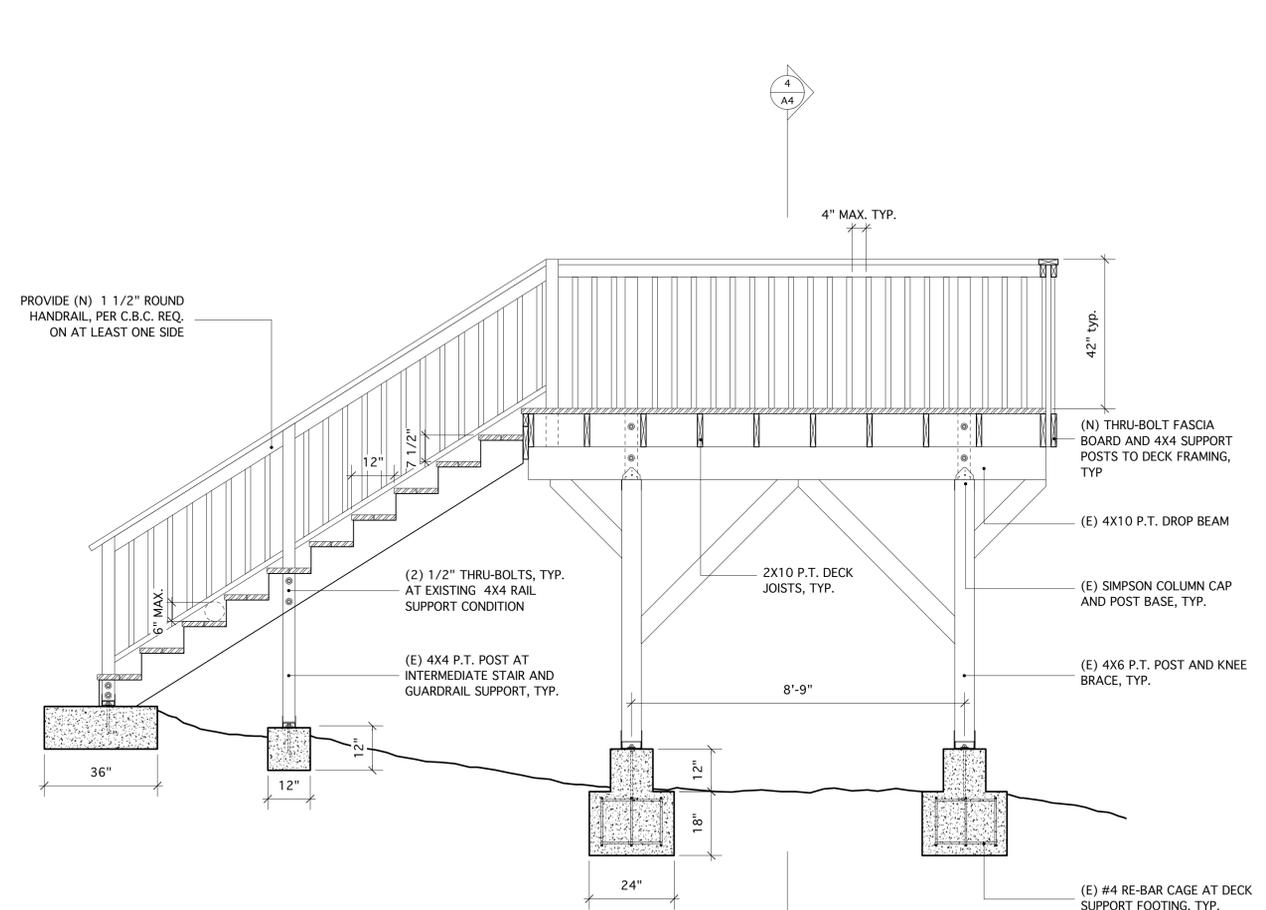
2 DECK PLAN
1/4" = 1' - 0"



1 DECK FRAMING PLAN
1/4" = 1' - 0"



4 SECTION AT HOUSE
1/2" = 1' - 0"



3 SECTION AT STAIR
1/2" = 1' - 0"

PERMIT SUBMITTAL
1082 JAMESTOWN AVE., SAN FRANCISCO, CA

REVISION/DATE/BY

SCALE: AS SHOWN DRAWN: BA
DATE: 10.05.10 JOB #: JGZD-0132

DRAWING TITLE
**REPAIR AND REPLACE
(E) EXTERIOR DECK**

SHEET NUMBER

A-4