

SAN FRANCISCO PLANNING DEPARTMENT

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Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date:Wednesday, January 23, 2013Time:9:30 AMLocation:City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408Case Type:Variance(Rear Yard and Noncomplying Structure)Hearing Body:Zoning Administrator

PORPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	797 Corbett Ave.	Case No.:	2012.0954V
Cross Street(s):	Romaine And 23rd St.	Building Permit:	2012.03.13.6008
Block / Lot No.:	2763/025	Applicant/Agent:	Norman Hooks
Zoning District(s):	RM-1 / 40-X	Telephone:	510.338.1008
Area Plan:	N/A	E-Mail:	normanhooks.arch@gmail.c om

PROJECT DESCRIPTION

The proposal is to reconstruct a rear deck at south side of an existing multi-unit building. The proposed replacement deck will match the origial configuration and is approximately 135 square feet and is 5' in length and 26' in width with 3'6" wooden railings.

SECTION 134 OF THE PLANNING CODE requires a rear yard of approximately 65' for the subject property. Since the entire lot is built out, the existing rear deck encroaches into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

SECTION 188 OF THE PLANNING CODE prohibits the expansion or replacement of a noncomplying structure. Because a portion of the existing deck already encroaches into the required rear yard, it is considered a legal noncomplying structure. Therefore, the proposed replacement requires a variance from Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:Planner: Jessica LookTelephone: 415.575.6812Mail: Jessica.look@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2012.0954V.pdf

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be perfromed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <u>http://upn.sfplanning.org</u> for more information.

SYMBOLS	
(A) GRID LINE NUMBER OR LETTER	GRID LINE
4 DETAIL NUMBER 6.4 SHEET WHERE DETAIL IS DRAWN. SAME DISCIPLINE	DETAIL
U.O.N. 4 4 4.2 SHEET WHERE SECTION IS DRAWN. SAME DISCIPLINE	SECTION
4 EXTERIOR ELEVATION NUMBER 5.1 SHEET WHERE ELEVATION IS DRAWN. SAME DISCIPLINE	EXTERIOR ELEVATION
A 7.1 A T.1 INTERIOR ELEVATION LETTER SHEET WHERE ELEVATION IS DRAWN. SAME DISCIPLINE	INTERIOR ELEVATION
DOOR MARK SEE DOOR SCHEDULE	- DOOR
1012 ROOM NUMBER SEE ROOM INDEX	- ROOM
A SEE SCHEDULE SHEET	WALL Type
1- SEE SCHEDULE SHEET	WINDOW Type
NORTH ARROW	North
ELEVATION ABOVE	DATUM POINT
$\frac{100.00}{=+106'-6''} \frac{\text{GRADE ELEVATION}}{\text{IN PLAN}}$	GRADE POINT
DELTA SEE DESCRIPTION BLOCK ON SAME SHEET FOR DATE & DESCRIPTION	DRAWING REVISION
WALLS <u>WALLS</u> <u>DASHED LINES</u> <u>INDICATES WALLS,</u> THAT ARE TO BE AND REMOVED	DOORS ETC DEMOLISHED
SOLID LINES INDICATES EXISTING ETC THAT ARE EXI AND ARE TO REMA	STING
SHADING WITHIN SOI INDICATES NEW W	LD LINES IALLS TO BE CONSTRUCTED
CONCRETE (LARGE	
CONCRETE (SMALL	
BRICK	
	-

ANCHOR BOLT A.B. A.C. ASPHALTIC CONCRETE A/C; RA/C AC. TILE ADJ. A.F.F. AIR CONDITIONING; ROOM A/C ACOUSTICAL TILE ADJUSTABLE ABOVE FINISHED FLOOR A.F.S. AUTOMATIC FIRE SPRINKLER ALUM. ALUMINUM AND ANGLE ANOD. ANODIZED ASPH. ASPHALT A.T. ASH TRAY BACK OF OR BOTTOM OF B/ BOARD BLDG. BUILDING BLKG.. BLOCKING BM. B.O.J. BOTT. BFAM BOTTOM OF JOISTS BOTTOM B.U. BUILT-UP CABT. CABINET CAD. PL. C.B. C.D. CEM. CER. CADMIUM PLATED CATCH BASKET OR CHALKBOARI CUP DISPENSER CEMENT CERAMIC CHANNEL ĊG CORNER GUARD CAST IRON C.I CONSTRUCTION JOINT C.J. CENTER LINE CLR. CLEAR CEILING C.M.U. C.O. CONCRETE MASONRY UNIT CLEANOUT COL. COMP. CONC. COLUMN COMPOSITION CONCRETE CONN. CONT. CONTR. CONNECTION CONTINUOUS CONTRACTOR C.O.T.G. CSK. C.W. CLEAN OUT TO GRADE COUNTERSUNK COLD WATER DIAMETER DET. D.F. D.F. DIM. D.S. DWG. EA. DETAIL DOUGLAS FIR DRINKING FOUNTAIN DIMENSION DOWNSPOUT DRAWING EACH EEWS. EMERGENCY EYEWASH/SHOWER EXPANSION JOINT E.J. ELEC. ELECTRICAL ELEV. ELEVATION ENCL. ENCLOSURE E.P.B. ELECTRIC PANEL BOARD EQUAL EXPANSION SHIELD ELECTRIC WATER COOLER E.W.C. ELECTRIC WATER HEATER E.W.H. EXHAUST EXH. EXIST. OR (E) EXISTING EXTERIOR F.B. FLAT BAR FBRGL. F.D. FIBERGLASS FLOOR DRAIN FDN. F.E. F.E.C. FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HYDRANT OR FLAT HEAD F.H. FH.C. FIRE HOSE CABINET FIN. FINISH FLR. FLOOR F.O. FINISHED OPENING F.O.C FACE OF CONCRETE F.O.F. FACE OF FINISH FACE OF MASONRY F.O.M. F.O.S. FACE OF STUD F.S. FTG. FLOOR SINK FOOTING FRP FIBERGLASS REINFORCED PLAST FWP FABRIC WRAPPED PANEL GA. GAUGE GALVANIZE (D) GALVANIZED IRON GALV. G.I. GRD. GROUND OR GRADE G.S.F. GROSS SQUARE FEET G.V. G.V.C.B. GATE VALVE GATE VALVE IN CONCRETE BOX GYP. GYPSUM HC HDR. HANDICAP HEADER HDWD. HARDWOOD HDWR. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL H.P. HIGH POINT HR. HOUR H.R.C. HOSE REEL CABINET H.S.B. HT. HIGH STRENGTH BOLT HEIGHT HANDICAP TOWEL DISPENSER H.T.D. HTG. HEATING H.W. HOT WATER HOT WATER DISPENSER H.W.D. I.D. INV. INSIDE DIAMETER INVERT INSUL. INT. INSULATION INTERIOR J.B. JUNCTION BOX K.O. KNOCKOUT K.P. KICKPLATE LAVS. L.P. LAVATORIES LOW POINT

ABBREVIATIONS

: UNIT	(N) N.I.C. N.S.F. N.T.S. O.C. O.D. O.F./P.C.H. O.H. OPNG.	MACHINE BOLI MECHANICAL METAL MANUFACTURER MANHOLE MINIMUM MACHINE SCREW MULLION NEW NOT IN CONTRACT NET SQUARE FEET NOT TO SCALE ON CENTER OVERFLOW DRAIN or OUTSIDE DIAMETER OWNER FURNISHED/POSITIONED
RD	P.A. P.B. P.D.F. P.H. P/L PLAS. PLAS. LAM. PLY. PNL. POL. PORC.ENAM. P.SD. PT	PUBLIC ADDRESS PANIC BAR POWDER DRIVEN FASTENER PHILLIPS HEAD PLATE PROPERTY LINE PLASTER PLASTIC LAMINATE PLYWOOD PANEL POLISHED PORCELAIN ENAMEL POWDER SOAP DISPENSER
7	REINF. RES. R.H. RM. RO.	RISERS RELOCATED/REUSED RETURN AIR RADIUS REINFORCED CONCRETE PIPE ROUND ROOF DRAIN RECESSED REINFORCED/ING RESILIENT ROUND HEAD ROOM ROUGH OPENING RIGHT OF WAY REDWOOD RAIN WATER LEADER
	SHI. SHTHG. SHVS. SIM. S.M.S. S.M.S. S.N.D. S.N.V. S.O.V. SPECS. SQ. S.S. STD. STD. STL. STOR. STRUCT.	SEAT COVER DISPENSER STORM DRAIN SECTION SQUARE FOOR/FEET STRETCHED FABRIC SYSTEM SHEET SHEATHING SHELVES SIMILAR SINK OR SKETCH SHEET METAL SHEET MENTAL SCREW SANITARY NAPKIN DISPOSER SANITARY NAPKIN VENDOR SHUT OFF VALVE SPECIFICATIONS SQUARE SERVICE SINK STANDARD STEEL STORAGE STRUCTURAL STAINLESS STEEL SUSPENDED
STIC	T.D.D. TEL. T & G T.O. T.O.C.	TOWEL DISPENSER TOWEL DISPENSER & DISPOSAL TELEPHONE TONGUE AND GROOVE TOP OF TOP OF CONCRETE TOP OF SLAB TOILET PAPER TREAD TYPICAL
	UR. V.C.P. VERT.	UNLESS OTHERWISE NOTED URINAL VITREOUS CLAY PIPE VERTICAL VERTICAL GRAIN DOUGLAS FIR VERIFY IN FIELD
	W/ WAINS. WD. W.P. W.R. W.S. W.S. W.W. W.W.F.	WITH WAINSCOT WOOD WORK POINT or WATERPROOF WATER RESISTANT or WASTE RECEPTACLE WEATHER STRIPPING or WOOD SCREW WINDOW WALL WELDED WIRE FABRIC

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPL CODES.
- 2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE BUILDING OWNER/ARCHITECT/ENGINEER HARMLESS FOR INJUTE TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, E SUBCONTRACTORS.
- 3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGI EXPENSE.
- 4. CODES: ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, IN CASE OF ANY WHERE THE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITE CONFLICTS.
- 5. STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BETWEEN THE CONSULTANTS WITH A WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THESE DRAWINGS OR S SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO THE BUILDING OWNER, TENANT, OR ARCHITECT.
- 6. AT COMPLETION OF THE WORK, REMOVE ALL DEBRIS FROM THE SITE, LEAVING SPACE CLEAN, WASH ALL WINDO COVERINGS, AND GLASS AND POLISH ALL HARDWARE. REPLACE AND PATCH AREAS OF CEILING DAMAGED DUE TO INSTALLATION OR MECHANICAL ADJUSTMENT.
- 7. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS AND FEES INCLUDING THE BUILDING PERMIT.
- 8. THESE DRAWINGS ARE THE "CONTRACT DOCUMENTS".

DIMENSIONS

- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESEN BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIME SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK.
- 2. DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DRAWINGS SHOULD BE CALLED TO THE ATT THE ARCHITECT.
- 3. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IF DISCREPANCIES ARE FOUND.
- 4. COORDINATION: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF ALL TRADES TO ENSURE COMPLIANCE WITH THE DRAWINGS.

CONSTRUCTION

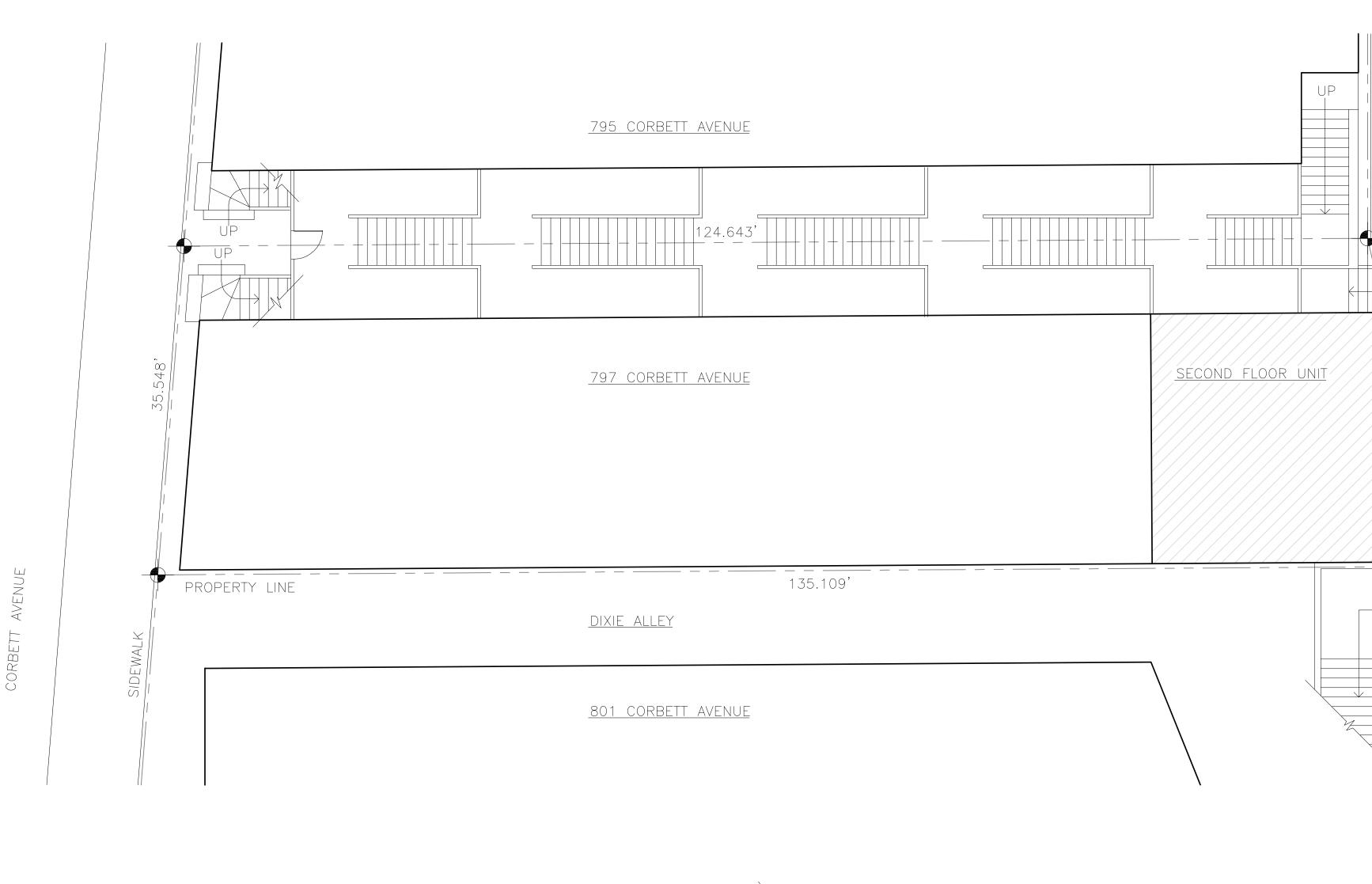
- 1. CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTR AND OTHER EXISTING CONDITIONS PRIOR TO BEGINNING THE WORK.
- 2. ALL NEW CONSTRUCTION SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH THE REQUIRE LATEST ADOPTED EDITION OF THE UNIFORM BUILDING CODE. MAX. DISTANCE ACCEPTABLE BRACES SHALL BE 8'-
- 3. THERE SHALL BE NO EXPOSED PIPE, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED AND FINISHED, UNLESS NOTED AS EXPOSED ON CONSTRUCTION DRAWINGS.

FINISHES

1. ALL PAINT AND OTHER APPLIED FINISH ITEMS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS

PLICABLE SAFETY JURY OR DEATH EMPLOYEES, OR GE AT HIS OWN Y CONFLICT ED THE TECT OF ALL THESE TS' DRAWINGS SPECIFICATIONS OWS, WINDOW TO LIGHTING	DRAWING INDEX 1. A0.0 COVER SHEET AND PROJECT INFORMATION 23. A1.2 STEE LOCATION PLAN 24. A2.1 PLANS 24. A2.1 PLANS 25. A3.2 SECTION AT SECOND FLOOR 27. A4.1 DETAILS	NORMAN D. HOOKS ARCHITECTURE 248 THIRD STREET, #639 0AKLAND, CALIFORNIA 94607 510.338.1008
TENTION OF	2010 CALIFORNIA ENERGY CODE 2. PROJECT: REPLACEMENT DECK	
-	 3. ZONING: RM-1 4. ASSESSOR'S PARCEL NUMBER: 2763/025 	
RICAL ELEMENTS REMENTS OF THE '-0". O OR FURRED	 OCCUPANCY CLASSIFICATION: GROUP R-3 CONSTRUCTION CLASSIFICATION: TYPE V-A FLOOR AREA: UNCHANGED REPLACEMENT DECK AREA: 135 SQUARE FEET SCOPE OF WORK 1. DEMOLISH EXISTING WOOD DECK AT SOUTH SIDE OF EXISTING BUILDING. 2. CONSTRUCT NEW REPLACEMENT WOOD DECK, MATCHING ORIGINAL CONFIGURATION	ZO
		REPLACEMENT DECK 797 CORBETT AVENUE San Francisco, California 94131 Owner: Chandler Properties Cover Sheet / Project information
	PROJECT TEAM	JOB NUMBER: 1106
	OWNERENGINEERCHANDLER PROPERTIESALCON ENGINEERINGREBECCA GLOYDSTEVE DEVITCH415.921.5733650.364.3832ARCHITECTNORMAN D. HOOKSARCHITECTURE510.338.1008	DRAWN BY: AU REVISIONS:
	CONTRACTOR DAN R. BUTLER & ASSOCIATES RON PIASTRELLI 650.784.3328	DATE: 07-10-12 SHEET NO.1 A0.0

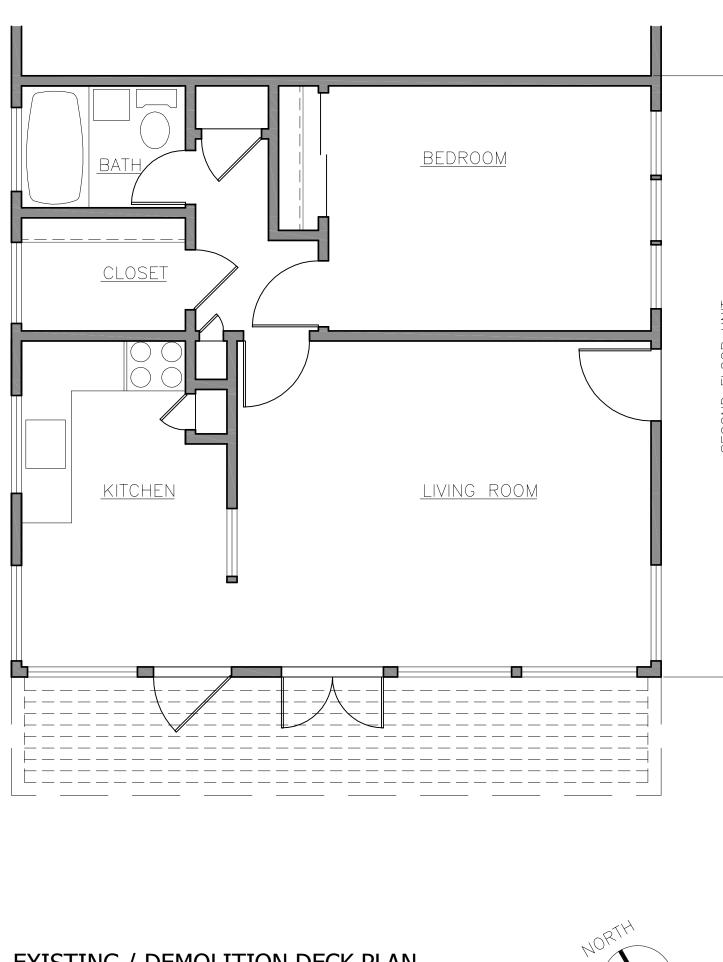
OF 07 SHEETS



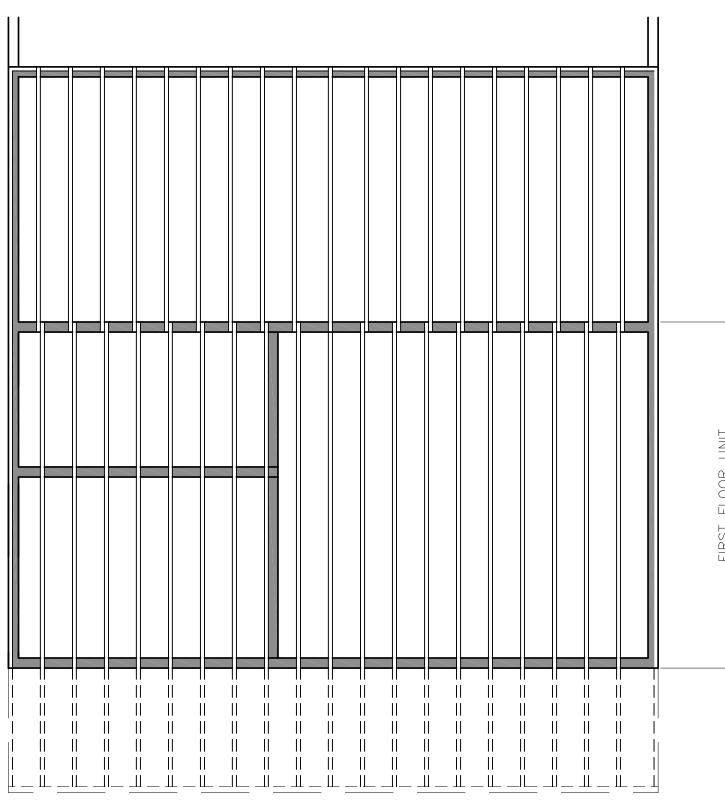
SITE PLAN 1/8"=1'-0"

X

	NORMAN D. HOOKS ARCHITECTURE 248 THIRD STREET, #639 OAKLAND, CALIFORNIA 94607	510.338.1008
- LINE OF REPLACEMENT DECK ABOVE	REPLACEMENT DECK 797 CORBETT AVENUE SAN FRANCISCO, CALIFORNIA 94131 OWNER: CHANDLER PROPERTIES	SITE PLAN
	JOB NUMBE 1106	R:
	DRAWN BY: Au	
	REVISIONS: DATE: 07-1 SHEET NO A1.2	.3



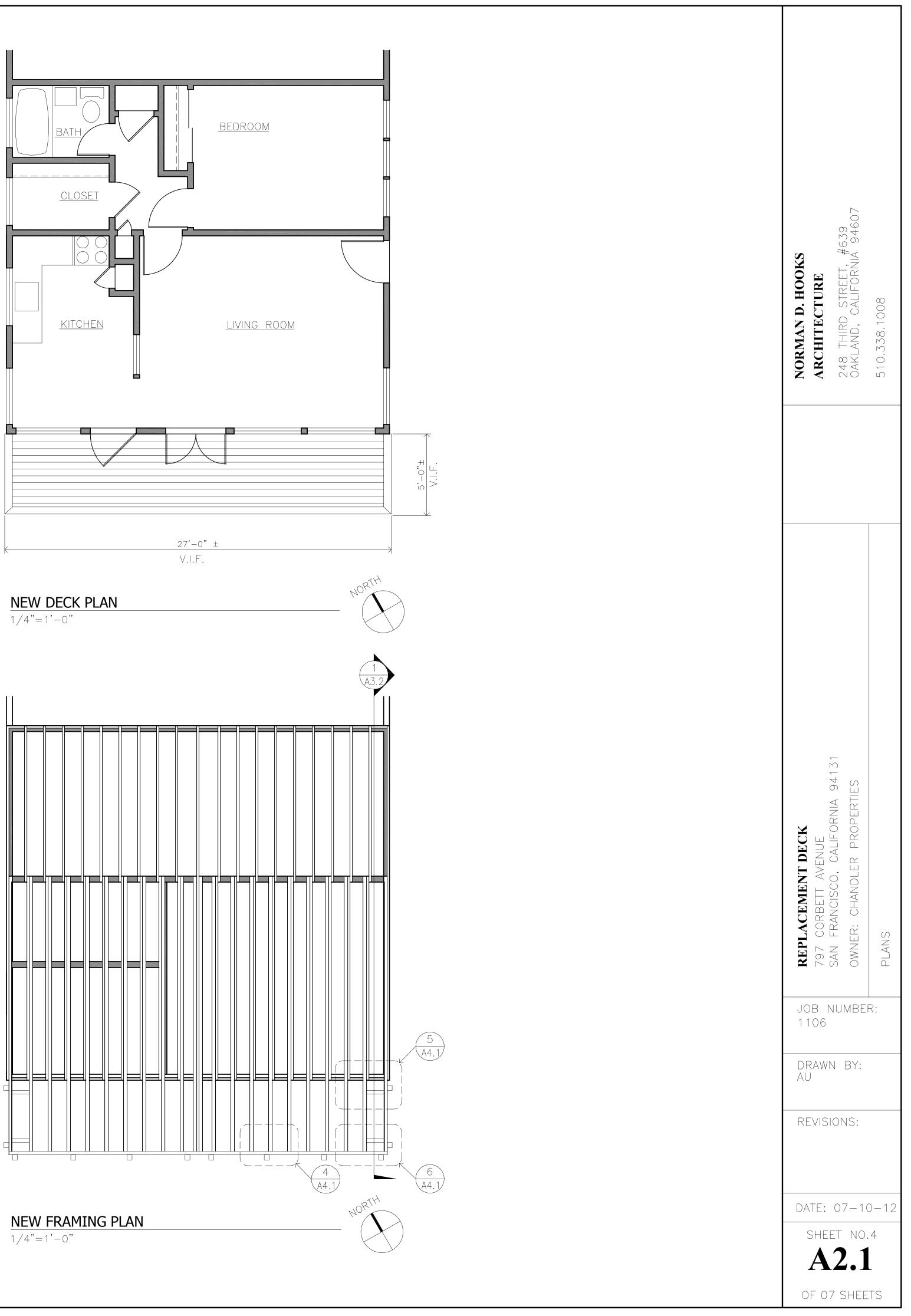
EXISTING / DEMOLITION DECK PLAN



EXISTING / DEMOLITION FRAMING PLAN

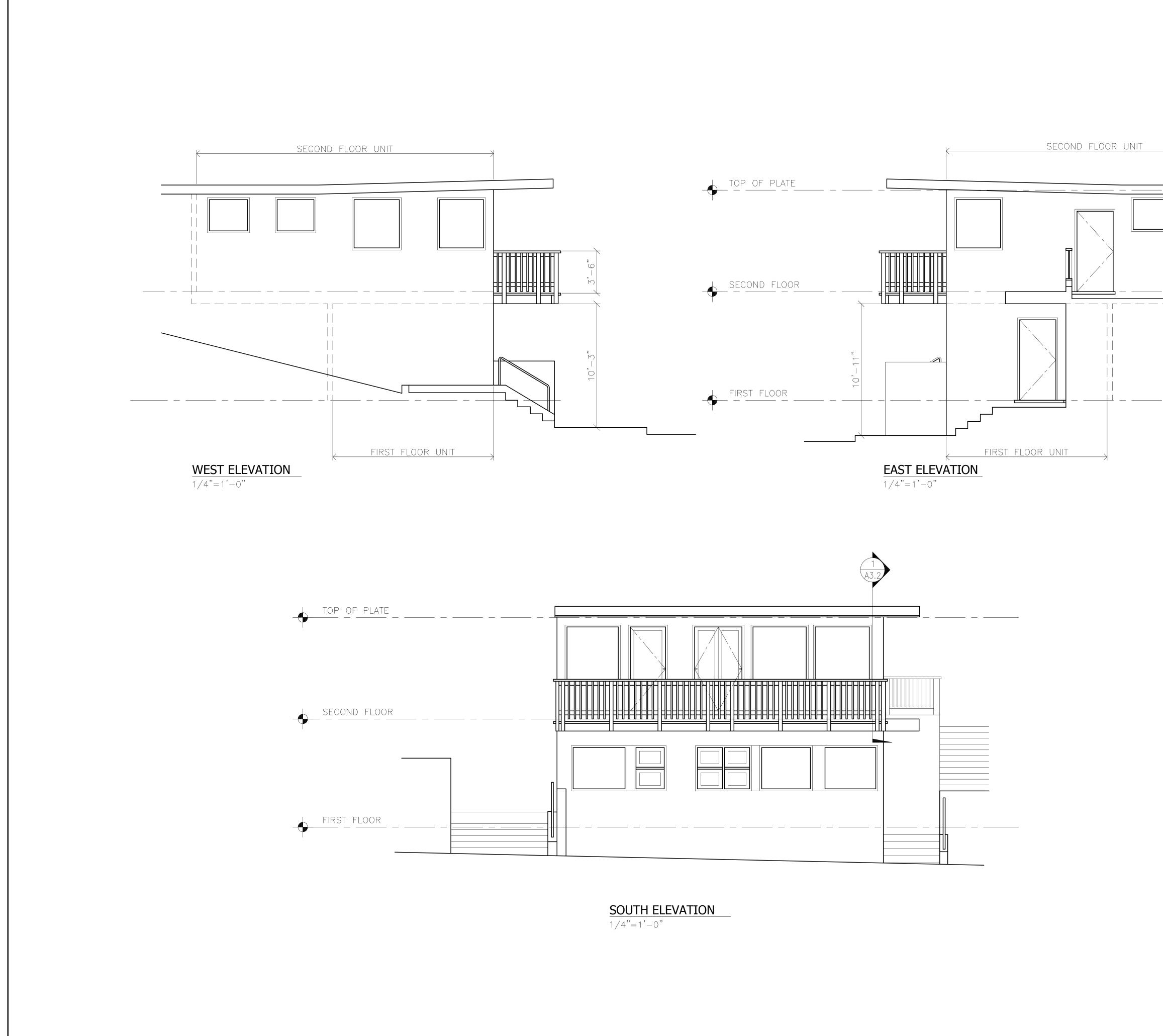


<u>BEDROOM</u> <u>CLOSET</u> <u>KITCHEN</u> <u>LIVING ROOM</u>









NORMAN D. HOOKS ARCHITECTURE 248 THIRD STREET, #639 0AKLAND, CALIFORNIA 94607	510.338.1008
REPLACEMENT DECK 797 corbett avenue San Francisco, california 94131 owner: chandler properties	
JOB NUMB 1106 DRAWN BY	
AU REVISIONS:	
date: 07– sheet no A3. of 07 she	D.5 1