



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 24, 2012**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	921 Post Street	Case No.:	2012.0872V
Cross Street(s):	Meacham Place	Building Permit:	N/A
Block /Lot No.:	0302/027A	Applicant/Agent:	Michael Garibay
Zoning District(s):	RC-4 / 80-T	Telephone:	415-920-1839
Area Plan:	N/A	E-Mail:	michael@ya-studio.com
PROJECT DESCRIPTION			
<p>The proposal is to add a fourth dwelling unit to an existing three-unit building. There would be no expansion of building envelope.</p> <p>PER SECTION 135 OF THE PLANNING CODE, each dwelling unit in the RC-4 District is required to provide 36 square feet of private usable open space. Common usable open space shall be provided in an amount equal to 1.33 square feet for each one square foot of private usable open space required. Currently the building does not provide any usable open space. The additional unit would require 144 square feet of open space if private, and 192 square feet of open space if common. The proposal does not provide any open space; therefore, a variance for open space is required.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Kate Conner Telephone: (415) 575-6914 E-Mail: kate.conner@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2012.0872V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



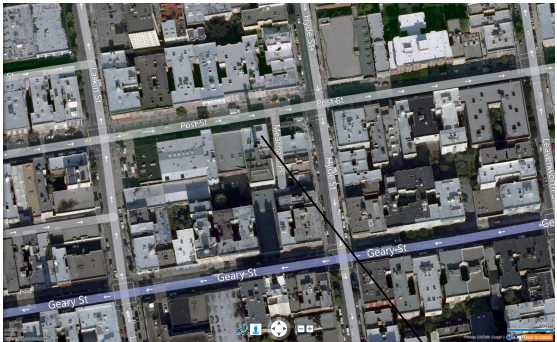
4 - PHOTO: EAST FACADE OF 921 POST ST. AND ADJACENCIES



3 - PHOTO: FRONT FACADE OF 921 POST ST. AND ADJACENCIES



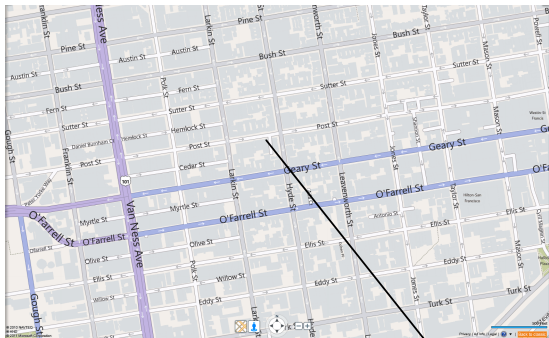
5 - PHOTO: FRONT FACADE OF 921 POST ST.



6 - AERIAL VIEW:

SCALE: N.T.S.

SUBJECT PROPERTY: 921 POST STREET



1 - VICINITY MAP:

SCALE: N.T.S.

SUBJECT PROPERTY: 921 POST STREET

GENERAL NOTES

1. All work shall be in conformance with all applicable codes including but not limited to those listed in "Project Data," and to include all the requirements of other agencies having jurisdiction.
2. All work shall be done in accordance with AIA General Conditions Documents A-201, the edition attached to the Construction Contract.
3. Examination of the site and portions thereof which affect this work shall be made by the General Contractor, who shall compare existing conditions with the contract documents and satisfy him/herself as to the existing conditions under which work is to be performed. Contractor shall at such time ascertain and verify the locations of existing structures.
4. The contract documents describe design intent, and are not intended to be all inclusive. Contractor is responsible for the means and methods to provide complete operational systems & installations. No claims for additional work will be awarded for work which is described in these documents or which is reasonably inferable from them.
5. Contractor shall be responsible for thorough coordination of trades. All claims for additional work will not be awarded for any and all work related to such coordination.
6. Contractor shall verify all dimensions, elevations and conditions at the site, confirm that the work is buildable as shown, and notify Architect in writing of any discrepancies prior to proceeding with any and all work in question.
7. All dimensions are to finish face of concrete, centerline of steel, face of stud or casework unless otherwise noted. Dimensions noted as "CLR" must be precisely maintained. Dimensions are not adjustable without architect's approval unless noted as "+/-". Verify dimensions marked "V.I.F." prior to commencement of construction, and notify architect of any inconsistencies.
8. All dimensions, notes and details shown on one portion of a drawing shall apply typically to all opposite hand and/or conditions unless otherwise noted.
9. "Align" shall mean to accurately locate finish faces in the same plane.
10. The contract documents are complementary. What is shown or referred to partially or whole on any shall be provided as though shown on all.
11. Do not scale drawings. Dimensions shall govern. Drawings at a large scale shall take precedence over drawings of a small scale. Details shall govern over plans and elevations.
12. Contractor shall verify layout of partitions, doors, electrical outlets, data and telephone outlets, light fixtures, and switches with Architect prior to proceeding with construction. Contractor shall verify that no conflicts exist in locations of any mechanical, telephone, data, electrical, lighting, plumbing, and sprinkler equipment (to include, but not limited to all piping, ductwork and conduit) and that all required clearances for installation and maintenance are provided.

13. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced to the satisfaction of the Owner at the expense of the Contractor.
14. All work listed, shown, or implied on any contract document shall be supplied and installed by the Contractor; except where noted otherwise.
15. In case of conflict between the architect's and engineer's drawings in the location of materials and/or equipment, architectural drawings shall govern. The Contractor shall notify the Architect immediately of such conflict.
16. All manufactured articles, materials, and equipment shall be installed, connected, erected, cleaned, and conditioned per the manufacturer's instructions. In case of differences between manufacturer's instructions and the contract documents, the contractor shall notify the architect before proceeding with the work in question.
17. All work noted "By Others" or "N.I.C." shall be provided by owner or under separate contract. Submit to the architect and owner schedule requirements for this "other" work in the construction progress schedule and coordinate as required to assure orderly sequence of installation.
18. The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a daily basis and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting any finished areas in or outside the job site. Burning of debris on site shall not be permitted.
19. Contractor shall not proceed with any work requiring additional compensation beyond the contract amount without authorization from the architect or owner's representative. Failure to obtain authorization shall invalidate any claim for additional compensation.
20. Provide fireblocking at all ceilings, floors, furred-down ceilings, soffits, and concealed draft openings per CBC 708.2.1 Fireblocking shall not exceed 10 ft. max. in both vertical and horizontal directions.
21. Some work shall be designated as design / build - deferred submittal. It shall be submitted to the project architect and engineer of record for review and coordination. Following completion review and coordination by architect and engineer of record, the Design Builder is responsible to submit stamped drawings and calculations to the San Francisco Building Department for review and approval along with a letter from Architect and Engineer of record that they have been coordinated and found to be acceptable with no exceptions. Design / Build - deferred submittal work shall include, but is not limited to:

- Electrical Plans
- Plumbing Plans
- Mechanical Plans
- Sprinkler and Fire Alarm Plans

SCOPE OF WORK:

CONVERSION OF EXISTING BASEMENT IN 3-STORY RESIDENTIAL UNIT INTO NEW 519 S.F. UNIT. WORK TO INCLUDE KITCHEN AND BATHROOM ADDITION, AND NEW EGRESS WINDOW ALONG ALLEYWAY.

PROJECT DATA:

BLOCK / LOT:	0302 / 027A
NEIGHBORHOOD:	DOWNTOWN / CIVIC CENTER
ZONING:	RC-4 RESIDENTIAL & COMMERCIAL, HIGH DENSITY
LOT SIZE:	1,524 SQ.FT.
LOT DIMENSIONS:	28'-0" X 54'-6"
(E) AND PROPOSED USE:	R-2 (3 RESIDENTIAL APARTMENTS)
EXISTING AND PROPOSED CONSTRUCTION TYPE:	MASONRY, TYPE VA, NON-SPRINKLERED

PROJECT DIRECTORY:

OWNER : STEVE WASSERMAN 127 20TH AVENUE SAN FRANCISCO, CA 94121 415-630-0156	ARCHITECT: Y.A. studio 2407 HARRISON STREET, SUITE 2 SAN FRANCISCO, CA 94110 415.920.1839
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STRUCTURAL ENGINEER:
KG Associates
1425 CAYUGA AVENUE
SAN FRANCISCO, CA 94112
415.587.8610

PROJECT CALCS:

EXISTING:	
(E) BASEMENT:	1,444 SQ.FT.
(E) EXT. HALLWAY (UNCONDITIONED):	144 SQ.FT.
(E) FIRST FLOOR:	1,450 SQ.FT.
(E) LOBBY (UNCONDITIONED):	56 SQ.FT.
(E) SECOND FLOOR:	1,450 SQ.FT.
(E) THIRD FLOOR:	1,450 SQ.FT.
TOTAL CONDITIONED (GROSS):	5,794 SQ.FT.
PROPOSED:	
BASEMENT:	1,444 SQ.FT.
(E) EXT. HALLWAY (UNCONDITIONED):	144 SQ.FT.
FIRST FLOOR:	1,450 SQ.FT.
(E) LOBBY (UNCONDITIONED):	80 SQ.FT.
SECOND FLOOR:	1,450 SQ.FT.
THIRD FLOOR:	1,450 SQ.FT.
TOTAL CONDITIONED (GROSS):	5,794 SQ.FT.

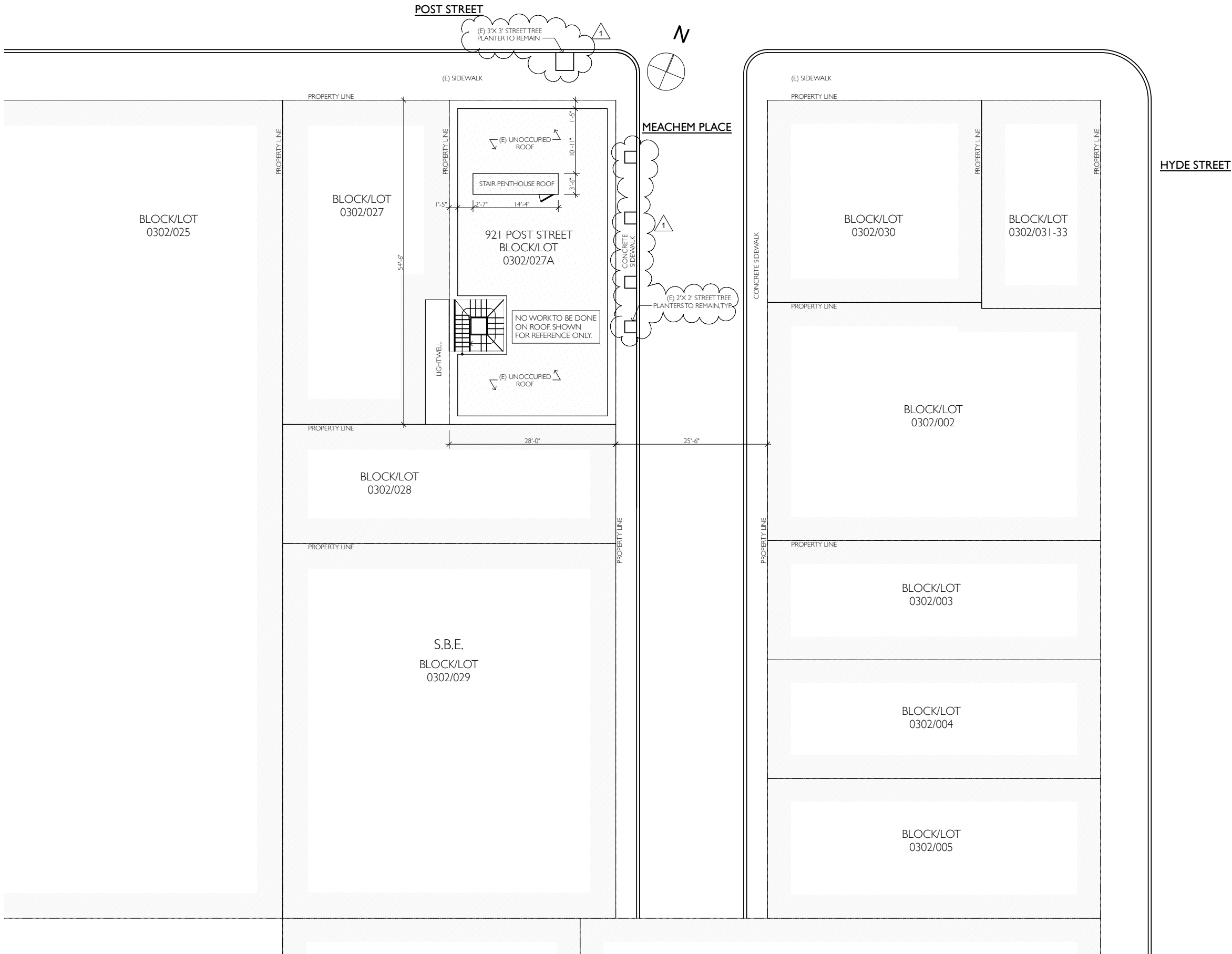
APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE
WITH SF ADMENDMENTS
2010 CALIFORNIA FIRE CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA ELECTRICAL
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA ENERGY CODE

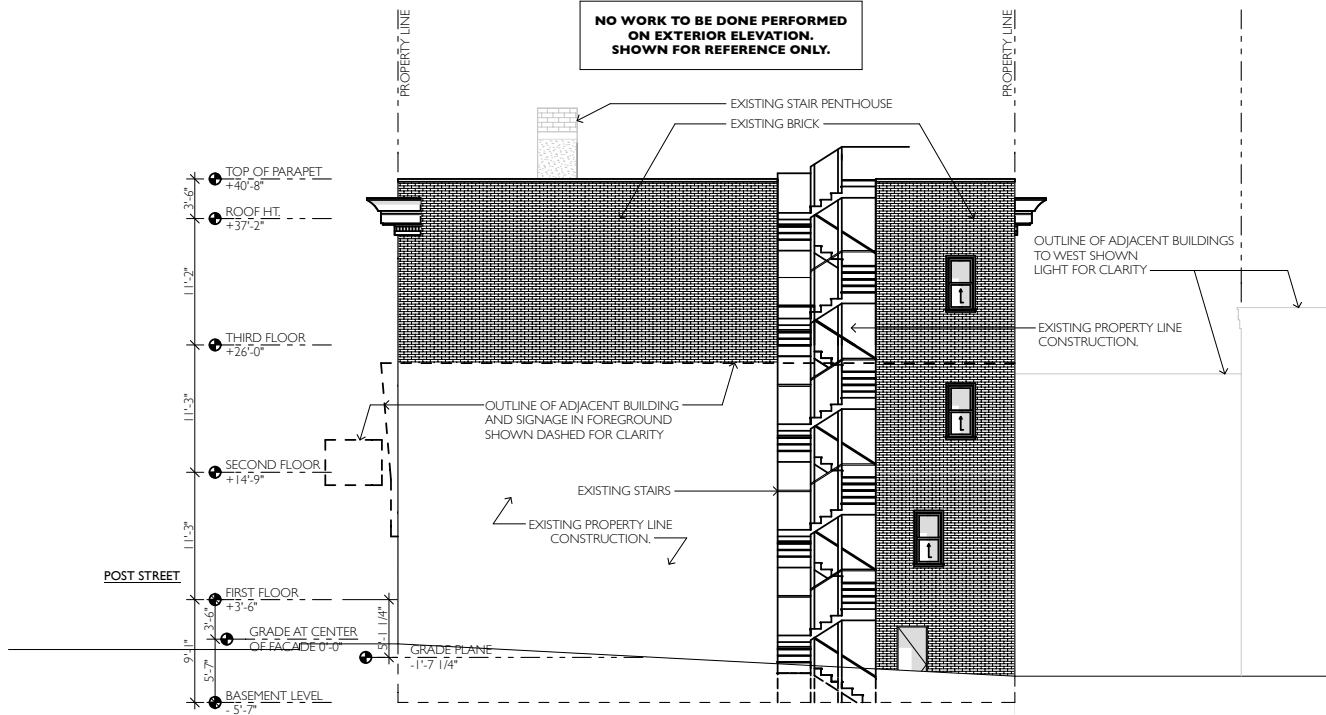
ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS

SHEET INDEX:

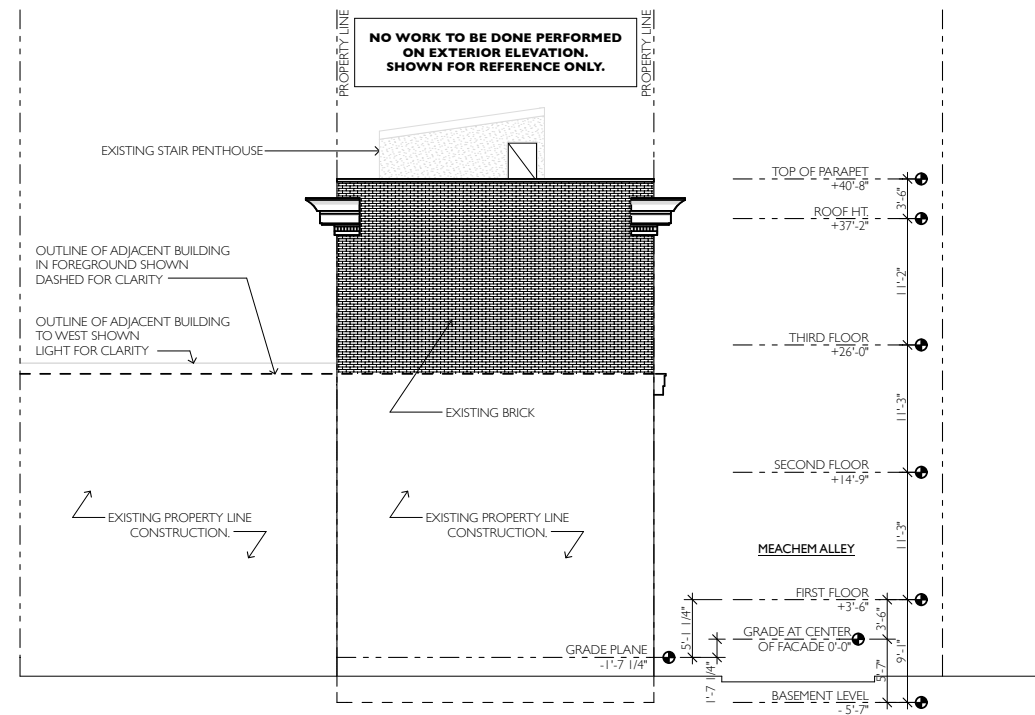
ARCHITECTURAL:	
A0.1	COVER, INDEX, DESCRIPTION
EC2.0	EXISTING SITE PLAN
EC2.1	EXISTING FLOOR PLANS
EC3.1	EXISTING ELEVATIONS
A2.1	PROPOSED BASEMENT PLAN, FIRST FLOOR PLAN AND DETAILS
A9.1	PROPOSED BASEMENT/FIRST FLOOR POWER AND SIGNAL PLAN
S1	GENERAL STRUCTURAL NOTES
S2	TYPICAL STRUCTURAL DETAILS
S3	FOUNDATION & FIRST FLOOR FRAMING PLAN
S4	SECTIONS AND DETAILS
S5	DETAILS



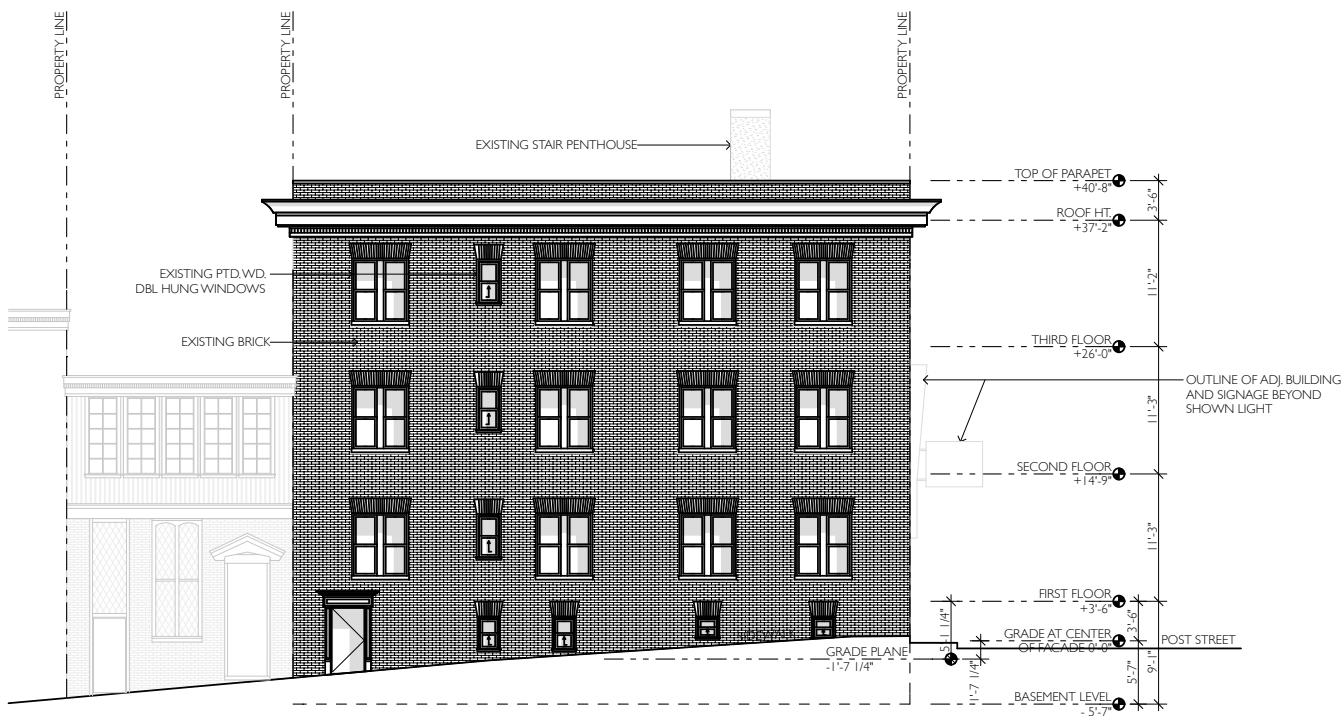
1 (E) SITE PLAN
SCALE: 1/8" = 1'-0"



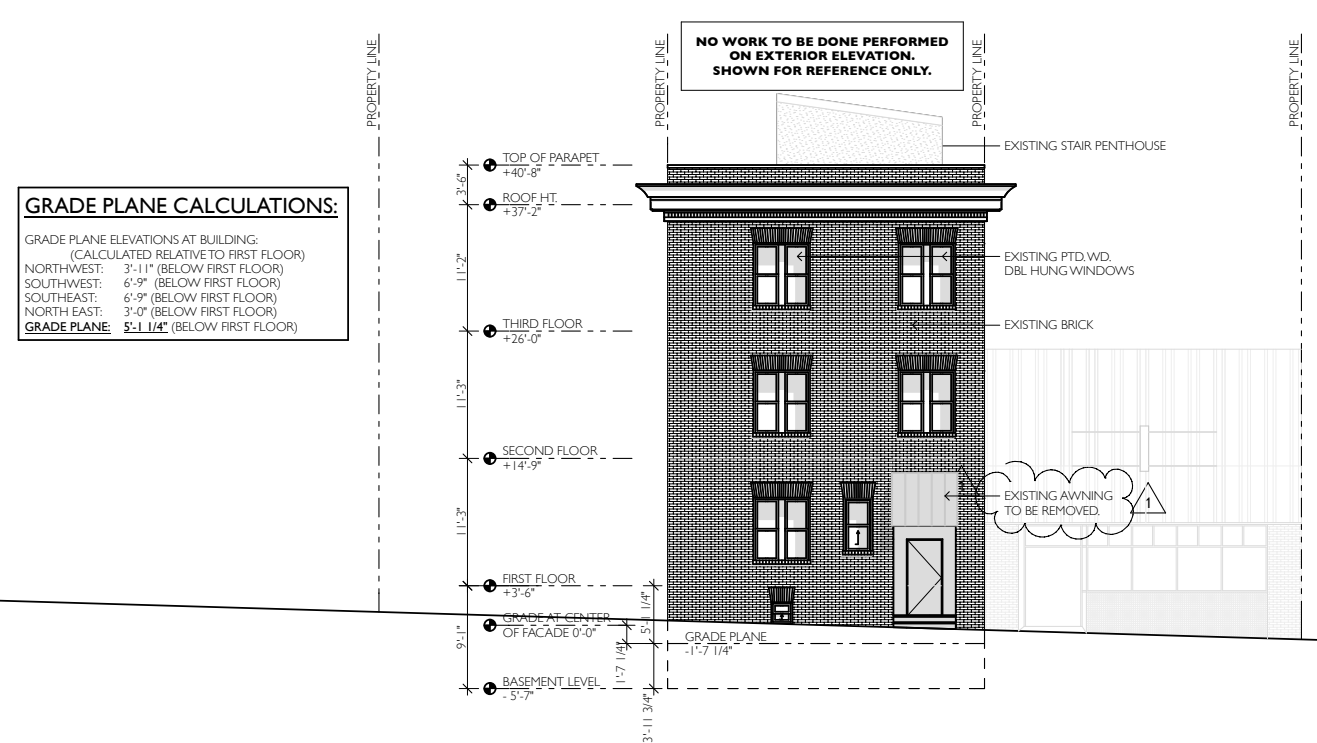
4 (E) WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 (E) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 (E) EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 (E) NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GRADE PLANE CALCULATIONS:	
GRADE PLANE ELEVATIONS AT BUILDING: (CALCULATED RELATIVE TO FIRST FLOOR)	
NORTHWEST:	3'-11" (BELOW FIRST FLOOR)
SOUTHWEST:	6'-9" (BELOW FIRST FLOOR)
SOUTHEAST:	6'-9" (BELOW FIRST FLOOR)
NORTH EAST:	3'-0" (BELOW FIRST FLOOR)
GRADE PLANE:	5'-1 1/4" (BELOW FIRST FLOOR)



1 PROPOSED EAST ELEVATION OPTION A
SCALE: 1/4" = 1'-0"