



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 24, 2012**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance(Rear Yard, Mass Reduction)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>42 Bonview St</b>	Case No.: <b>2012.0819V</b>
Cross Street(s): <b>Stoneman</b>	Building Permit: <b>2012.09.18.0030</b>
Block / Lot No.: <b>5613/014</b>	Applicant/Agent: <b>Lucian Robert Blazej</b>
Zoning District(s): <b>RH-1 / 40-X</b>	Telephone: <b>415 695-1111</b>
Area Plan: <b>N/A</b>	E-Mail: <b>lrblazej@pacbell.net</b>

### PROJECT DESCRIPTION

The proposal is to (1) construct an approximately 100 square foot rear addition on the ground floor, (2) construct an approximately 125 square foot rear addition on the first floor, (3) construct a new interior staircase to connect the ground and first floors, and (4) construct a new approximately 100 square foot rear deck on the second floor of the existing single family dwelling.

**PER SECTION 242(e)(2)(A) OF THE PLANNING CODE** the subject property is required to maintain a rear yard equal to 35 percent of the total depth of the lot. The subject property has a required rear yard of 24.5 feet. The proposed addition on the first floor has a bay window that extends into the required rear yard by 3 feet leaving a required rear yard of 21.5 feet.

**PER SECTION 242(e)(3) OF THE PLANNING CODE** the subject property is required to maintain a mass reduction of 650 square feet. The existing building has a mass reduction of approximately 550 square feet. The proposed additions would exacerbate this deficiency leaving a mass reduction of approximately 425 square feet.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Erika Jackson** Telephone: **415-558-6363** Mail: [erika.jackson@sfgov.org](mailto:erika.jackson@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0819V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

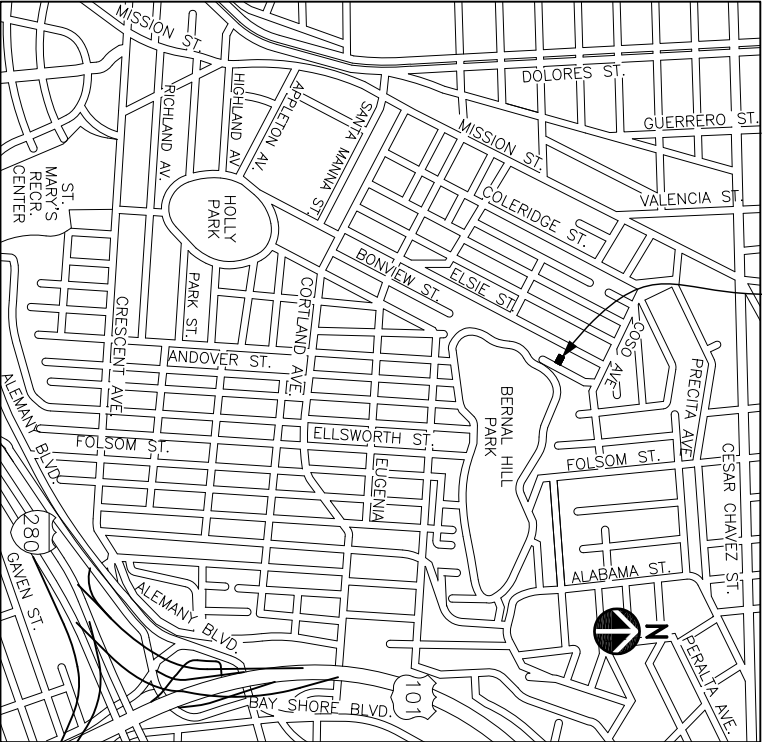






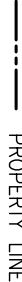





## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

# RESIDENTIAL RENOVATION

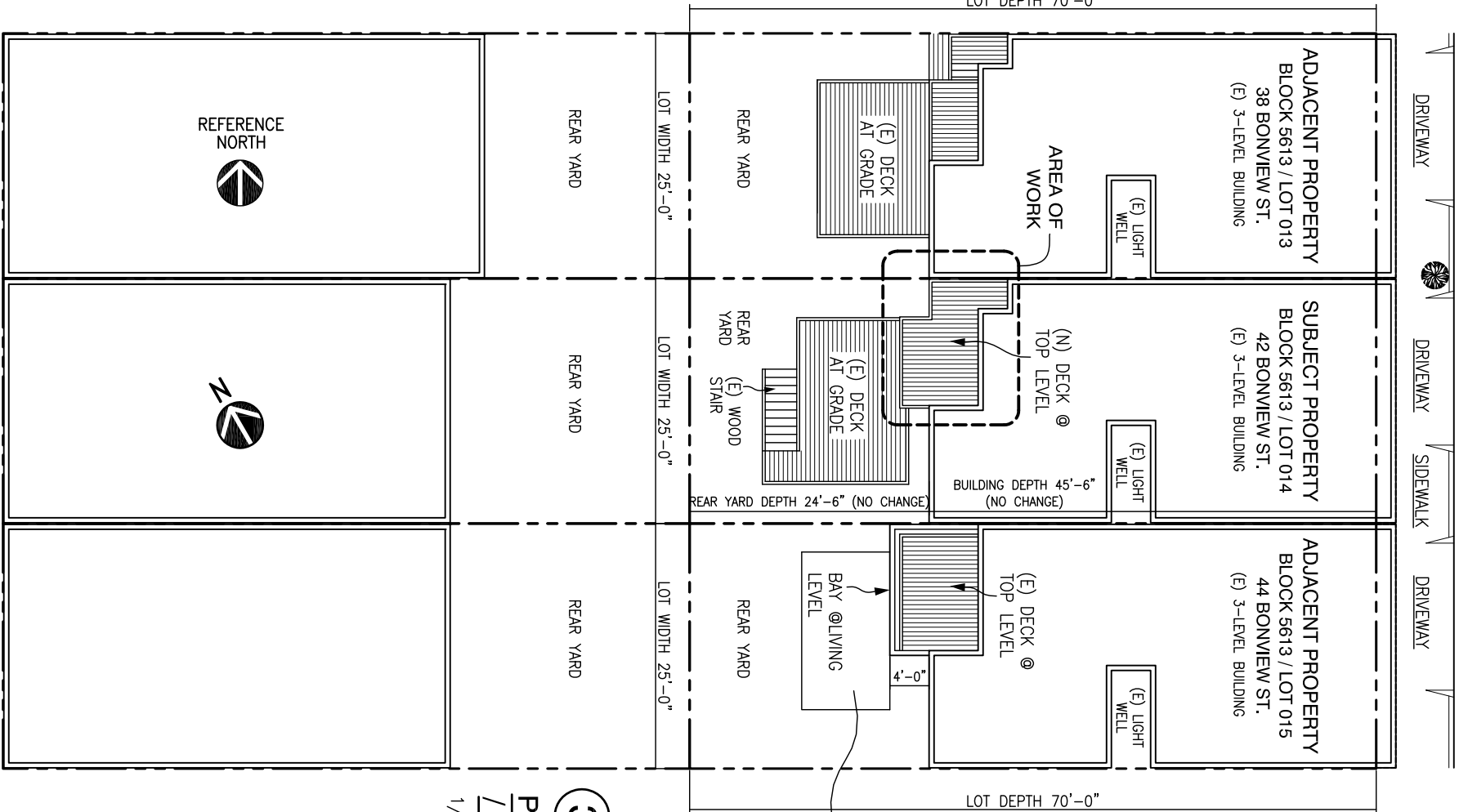
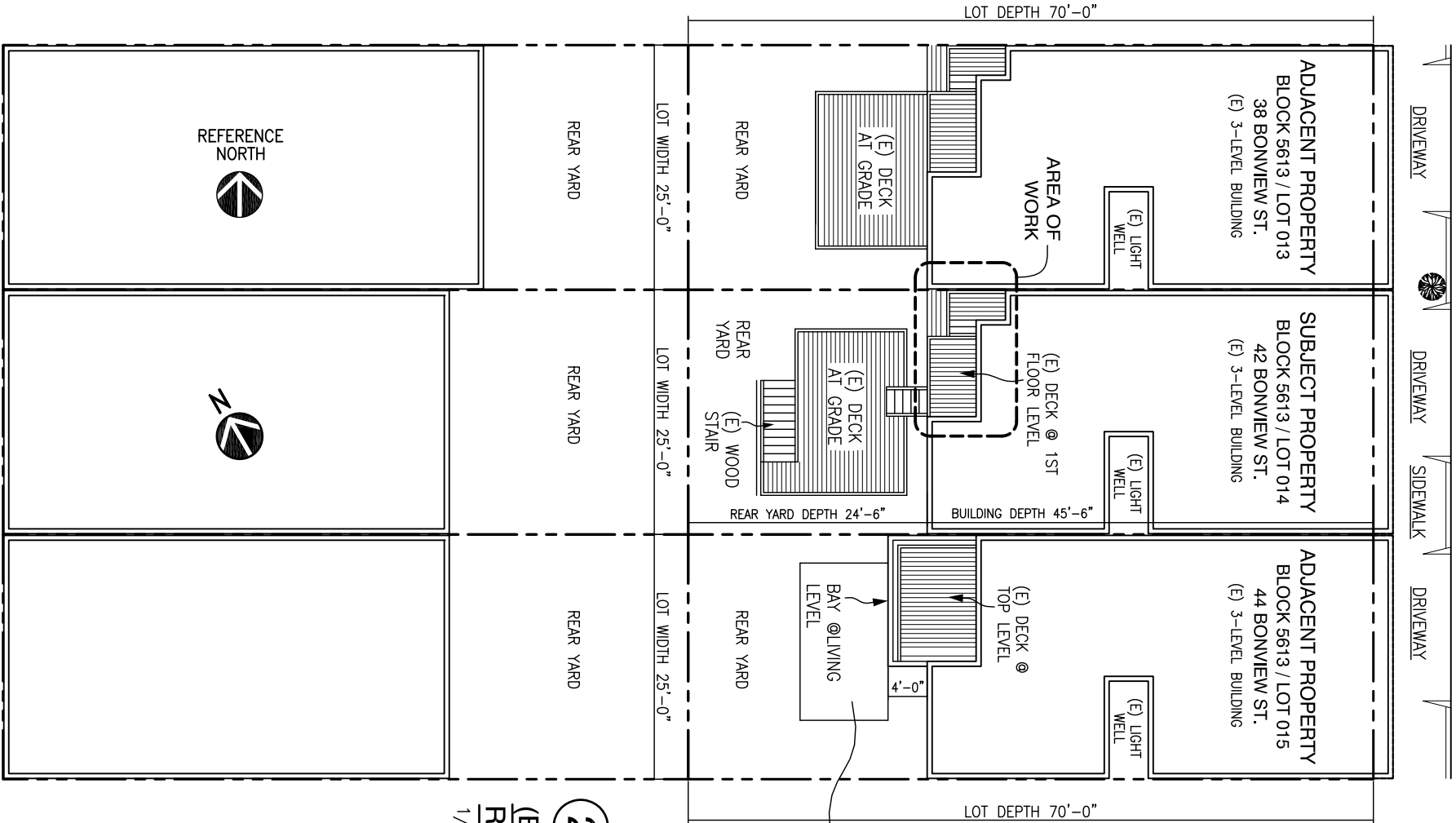
## 42 BONVIEW STREET, SAN FRANCISCO, CA

LOCATION MAP N.T.S.		GENERAL NOTES		ABBREVIATIONS
<div><div>SUBJECT PROPERTY</div></div>		<p>GOVERNING CODES:</p> <p>2010 CALIFORNIA BUILDING CODE &amp; S.F. AMENDMENTS</p> <p>2010 CALIFORNIA MECHANICAL CODE &amp; S.F. AMENDMENTS</p> <p>2010 CALIFORNIA PLUMBING CODE &amp; S.F. AMENDMENTS</p> <p>2010 CALIFORNIA ELECTRICAL CODE &amp; S.F. AMENDMENTS</p> <p>2010 CALIFORNIA ENERGY CODE</p> <p>2010 CALIFORNIA FIRE CODES &amp; S.F. AMENDMENTS</p> <p>ALL DIMENSIONS RELATING TO THE EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD. DIMENSIONS SHALL NOT BE SCALED FROM THE DRAWINGS.</p> <p>ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. WORK SHALL NOT BE COMMENCED UNLESS THE DISCREPANCIES ARE CLARIFIED AND THE REVISED DRAWINGS ARE ISSUED BY THE CONTRACTOR/OWNER.</p> <p>ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 1 OR BETTER. ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED DOUGLAS FIR.</p> <p>ALL STEEL HANGERS AND CONNECTORS TO BE BY SIMPSON OR EQUIVALENT.</p> <p>ALL NAILS SHALL BE STEEL COMMON WIRE NAILS UNLESS OTHERWISE NOTED.</p> <p>INSULATION – USE R30 BENEATH ROOF AND IN GARAGE CEILING; R13 IN ALL EXTERIOR WALLS AND PARTITION WALLS BETWEEN GARAGE AND HABITABLE ROOMS.</p> <p>FINISHES</p> <p>INTERIOR WALLS AND CEILINGS – 5/8" SMOOTH WALL FINISH.</p> <p>OWNER WILL FURNISH CONTRACTOR WITH A LIST OF SELECTED COLORS AND LOCATION OF WHERE SAME IS TO BE APPLIED.</p>		<div><div>A/C</div><div>ADJ.</div><div>A.F.F.</div><div>ALUM</div><div>ALT.</div><div>APPROX.</div><div>ARCH</div><div>BLDG.</div><div>BM.</div><div>CAB.</div><div>CL</div><div>CLG.</div><div>CLR.</div><div>COL.</div><div>CONC.</div><div>CONST.</div><div>C.T.</div><div>CTR.</div><div>DET.</div><div>DIA.</div><div>DIM.</div><div>DN</div><div>AIR CONDITIONING</div><div>ADJUSTABLE</div><div>ABOVE FINISH FLR.</div><div>ALUMINUM</div><div>ALTERNATE</div><div>APPROXIMATELY</div><div>ARCHITECTURAL</div><div>BUILDING</div><div>BLOCKING</div><div>BEAM</div><div>CABINET</div><div>CENTER LINE</div><div>CEILING</div><div>CLO.</div><div>CLOSET</div><div>CLEAR</div><div>COLUMN</div><div>CONCRETE</div><div>CONSTRUCTION</div><div>CERAMIC TILE</div><div>CENTER</div><div>DETAIL</div><div>DIAMETER</div><div>DIMENSION</div><div>DOWN</div><div>DR</div><div>DWG.</div><div>(E)</div><div>EA.</div><div>EL.</div><div>ELEC.</div><div>EQ.</div><div>EQUIP.</div><div>EXP.</div><div>EXPOS.</div><div>EXT.</div><div>F.D.</div><div>FIN.</div><div>FL.</div><div>FLUOR.</div><div>F.O.F.</div><div>F.O.S.</div><div>FTG.</div><div>GA.</div><div>GEN.</div><div>G.C.</div><div>GRP.</div><div>BD.</div><div>H.B.</div><div>H.C.</div><div>HDWR</div><div>DOOR</div><div>DRAWING</div><div>EXISTING</div><div>EACH</div><div>ELEVATION</div><div>ELECTRICAL</div><div>EQUAL</div><div>EQUIPMENT</div><div>EXPANSION</div><div>EXPOSED</div><div>EXTERIOR</div><div>FLOOR DRAIN</div><div>FINISH</div><div>FLOOR</div><div>FLUORESCENT</div><div>FACE OF FINISH</div><div>FACE OF STUD</div><div>FOOTING</div><div>GAUGE</div><div>GEN. CONTRACTOR</div><div>GYPSUM BOARD</div><div>HOSE BIB</div><div>HANDICAP</div><div>HARDWARE</div><div>H.W.</div><div>INSUL</div><div>HOT WATER</div><div>INSULATION</div><div>INTERIOR</div><div>LOW POINT</div><div>MECH.</div><div>MECHANICAL</div><div>MTL</div><div>METAL</div><div>(N)</div><div>NEW</div><div>NOT IN CONTRACT</div><div>N.I.C.</div><div>NO.</div><div>O.C.</div><div>ON CENTER</div><div>OPP.</div><div>OPPOSITE</div><div>P-LAM</div><div>PLASTIC LAMINATE</div><div>PLYWD.</div><div>PLYWOOD</div><div>R.D.</div><div>ROUGH OPENING</div><div>R.O.</div><div>S.C.</div><div>SOLID CORE</div><div>STOR.</div><div>STORAGE</div><div>SHT.</div><div>SHEET</div><div>T+G</div><div>TONGUE &amp; GROOVE</div><div>TYP.</div><div>TYPICAL</div><div>U.O.N.</div><div>UNLESS OTHERWISE NOTED</div><div>WD.</div><div>WOOD</div><div>W.P.</div><div>WATERPROOF</div></div>
PROJECT DATA		SCOPE OF WORK	DRAWING INDEX	LEGEND
<p>PROPERTY ADDRESS</p> <p>42 BONVIEW STREET SAN FRANCISCO, CA 94110</p> <p>APN:</p> <p>BLOCK 5613 / LOT 014</p> <p>ZONING:</p> <p>RH-1</p> <p>LOT FRONTAGE:</p> <p>25'-0"</p> <p>LOT DEPTH:</p> <p>70'-0"</p> <p>LOT AREA:</p> <p>1746 SQ. FT.</p> <p>YEAR BUILT:</p> <p>1971</p> <p>CONSTRUCTION TYPE:</p> <p>FRAME</p>		<p>1. AT BASEMENT LEVEL : IN-FILL @DECK AND CONSTRUCT INTERIOR STAIRWAY TO FIRST FLOOR LEVEL.</p> <p>2. AT FIRST FLOOR LEVEL : CONSTRUCT SQUARED BAY – AREA OF EXPANSION 125 SQ. FT.; RECONFIGURE BATHROOM</p> <p>3. SECOND FLOOR LEVEL : ADD NEW DECK.</p>	<p>A-1 COVER SHEET, NOTES &amp; LOCATION</p> <p>A-2 (E) &amp; PROPOSED SITE PLAN</p> <p>A-3 (E) &amp; PROPOSED BASEMENT FLOOR PLAN</p> <p>A-4 (E) &amp; PROPOSED FIRST FLOOR PLAN</p> <p>A-5 (E) &amp; PROPOSED SECOND FLOOR PLAN</p> <p>A-6 FRONT ELEVATION</p> <p>A-7 (E) REAR ELEVATION</p> <p>A-8 PROPOSED REAR ELEVATION</p> <p>A-9 (E) &amp; PROPOSED NORTH ELEVATION</p> <p>A-10 (E) &amp; PROPOSED SOUTH ELEVATION</p> <p>A-11 PLANNING CODE HEIGHT COMPLIANCE DIAGRAM</p>	<p>NOT ALL SYMBOLS WILL BE USED</p> <div><div></div><div>SECTION DETAIL</div></div> <div><div></div><div>DETAIL REFERENCE</div></div> <div><div></div><div>BEAM</div></div> <div><div></div><div>DIMENSIONED LUMBER</div></div> <div><div></div><div>JOIST HANGER</div></div> <div><div></div><div>JOIST</div></div> <div><div></div><div>PROPERTY LINE</div></div> <div><div></div><div>TREE/PLANT</div></div> <div><div></div><div>SECTION – CONCRETE</div></div> <div><div></div><div>SECTION – SOIL</div></div> <div><div></div><div>WOOD POST</div></div> <div><div></div><div>CONCRETE FOOTING</div></div>

PROJECT PROPERTY		SHEET TITLE	<div><div>PPM</div><div>Prague Property Management, Inc.</div><div>Tel: 415-826-2981</div><div>Fax: 415-621-7583</div><div>1019 Howard Street, San Francisco, CA 94103</div></div>		
42 BONVIEW STREET SAN FRANCISCO, CA BLOCK 5613 LOT 014					
REVISIONS		COVER SHEET			
DATE	06-25-12				
SCALE	AS SHOWN				
JOB NO.	W12-323				
SHEET					
A-1					
1 OF 11 SHEETS					

BONVIEW ST.

BONVIEW ST.



LEGEND

PROPERTY LINE



TREE/PLANT

2  
(E) SITE /  
ROOF PLAN  
1/16" = 1'-0"

3  
PROPOSED SITE  
/ ROOF PLAN  
1/16" = 1'-0"

GENERAL NOTE:  
THESE DRAWINGS REPRESENT  
APPROXIMATIONS OF EXISTING  
CONDITIONS. ALL CONDITIONS AND  
DIMENSIONS ARE TO BE FIELD  
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Prague Property Management, Inc.

Tel: 415-826-2981  
Fax: 415-621-7583

1019 Howard Street, San Francisco, CA 94103

SHEET TITLE  
(E) & PROPOSED  
SITE PLAN

PROJECT PROPERTY  
42 BONVIEW STREET  
SAN FRANCISCO, CA  
BLOCK 5613 LOT 014

REVISIONS

DATE 06-25-12

SCALE AS SHOWN

JOB NO. W12-323

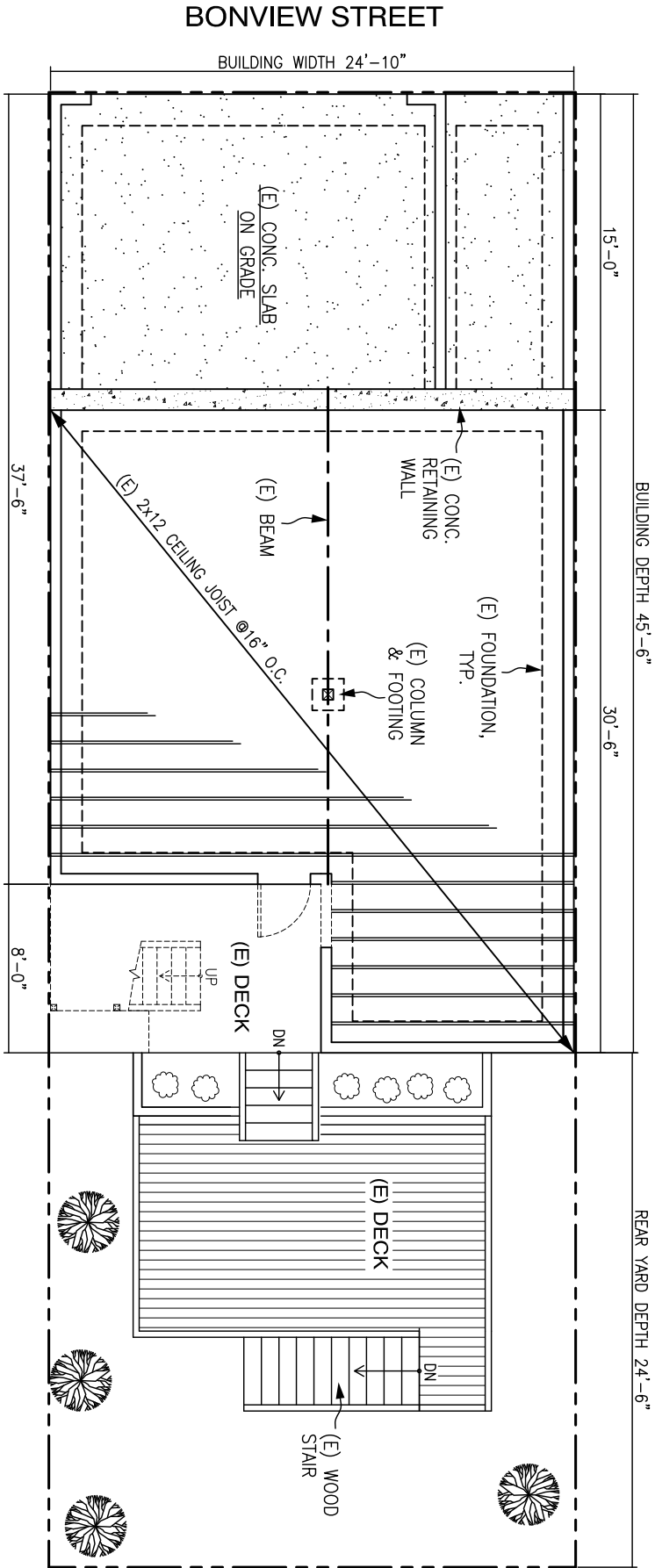
SHEET

A-2

2 OF 11 SHEETS

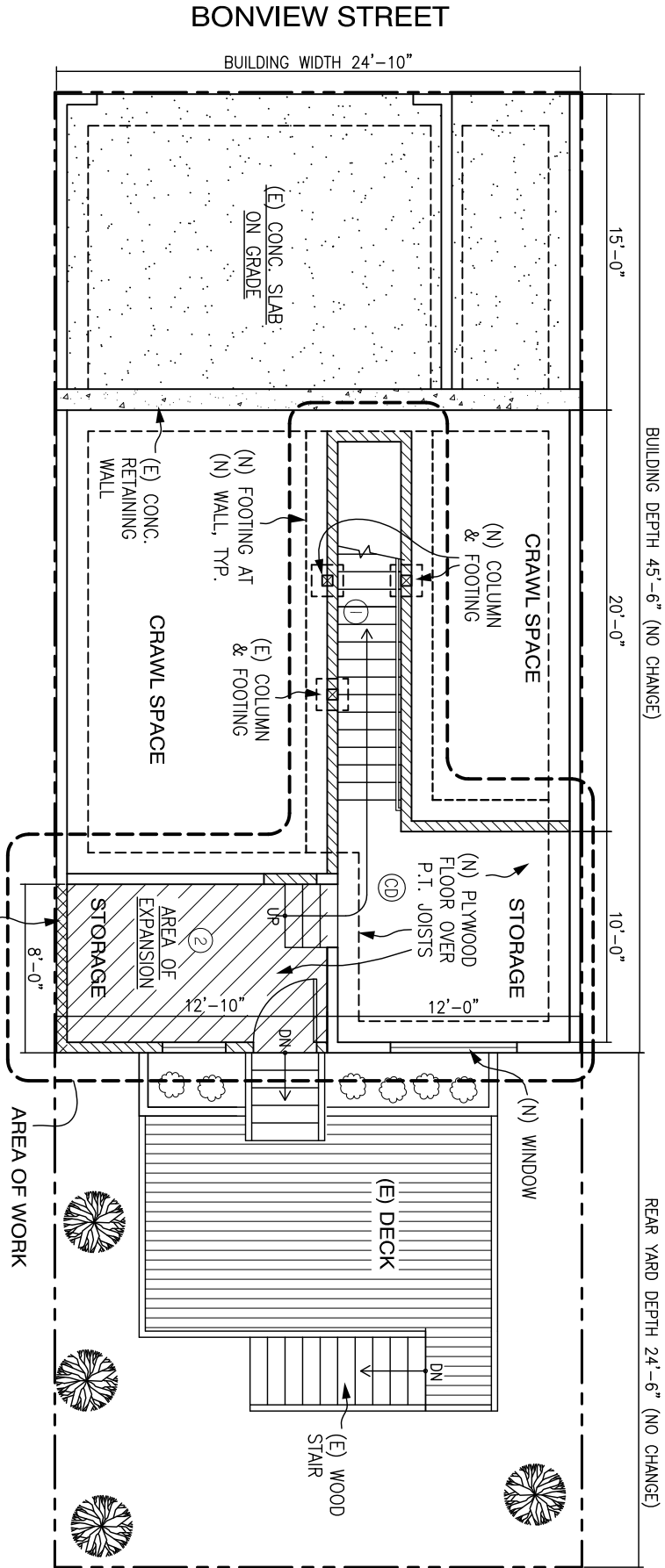
ELSIE ST.

ELSIE ST.



4 (E) BASEMENT FLOOR PLAN

1/8" = 1'-0"



5 PROPOSED BASEMENT FLOOR PLAN

1/8" = 1'-0"

GENERAL NOTE:  
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LEGEND

PROPERTY LINE

DETAIL REFERENCE

SECTION DETAIL

WOOD BEAM

COLUMN

(E) WALL TO REMAIN

(E) WALL / DOOR / STRUCTURE TO BE DEMO'D

(N) 2x WALL STUDS @16" O.C. OVER (N) CONC. FOOTING

(N) 1-HR FIRE-RATED WALL @PROPERTY LINE

(SD) SMOKE DETECTOR

(CD) COMBINATION CARBON MONOXIDE / SMOKE DETECTOR



REFERENCE NORTH

PPM

Prague Property Management, Inc.

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SHEET TITLE

(E) & PROPOSED BASEMENT FLOOR PLAN

PROJECT PROPERTY

42 BONVIEW STREET  
SAN FRANCISCO, CA  
BLOCK 5613 LOT 014

REVISIONS

DATE 06-25-12

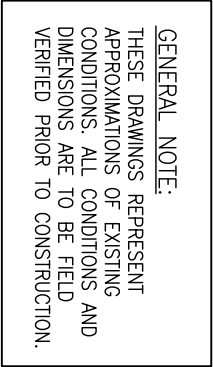
SCALE AS SHOWN

JOB NO. W12-323

SHEET

A-3

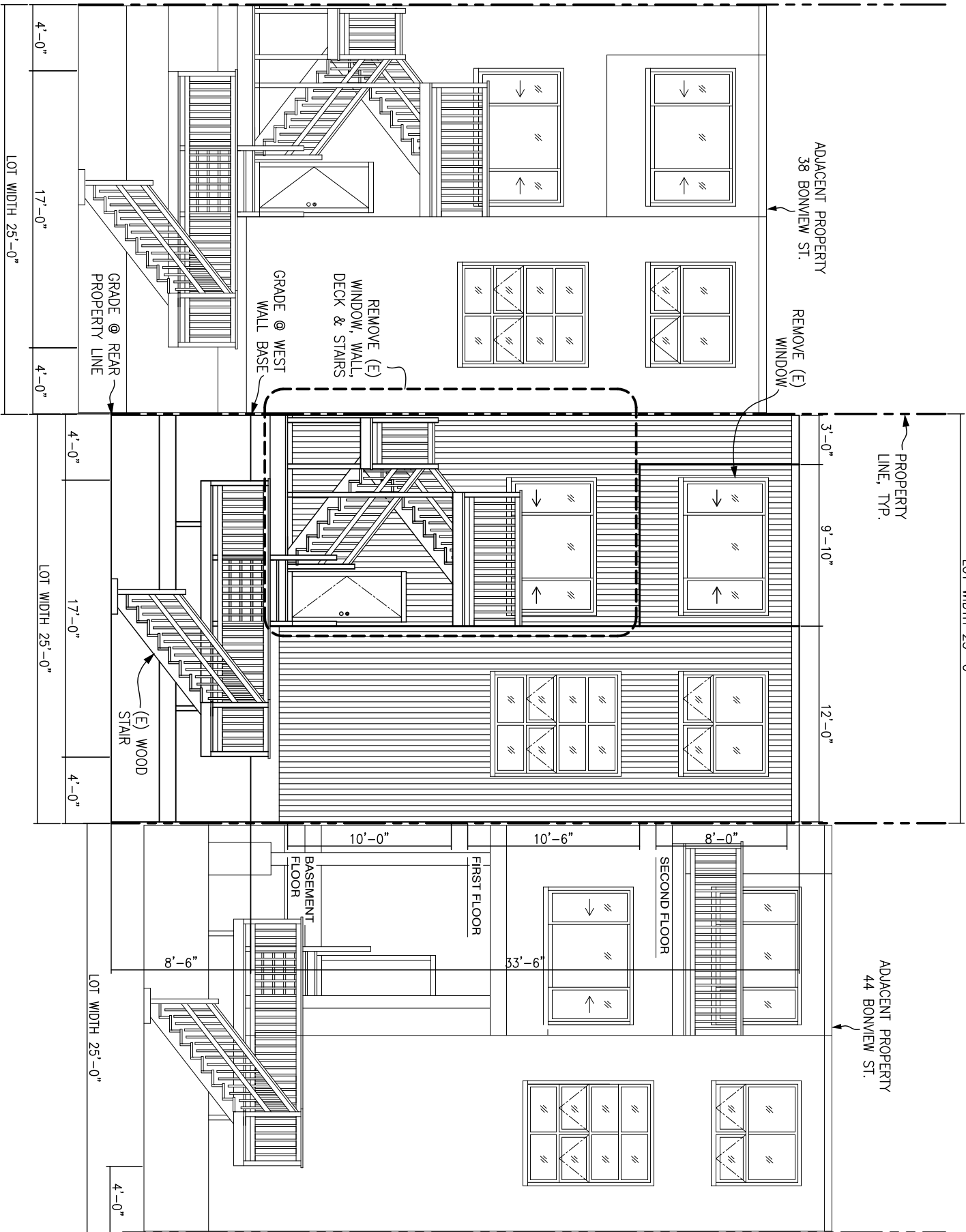
3 OF 11 SHEETS



**LEGEND**

———— PROPERTY LINE

SHEET  <div>A-6</div>  6 OF 11 SHEETS	JOB NO. W12-323	SCALE AS SHOWN	DATE 06-25-12								REVISIONS	PROJECT PROPERTY  42 BONVIEW STREET SAN FRANCISCO, CA BLOCK 5613 LOT 014	SHEET TITLE  (E) FRONT ELEVATION	<div>PPM</div> Prague Property Management, Inc.  Tel: 415-826-2981 Fax: 415-621-7583  1019 Howard Street, San Francisco, CA 94103
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**12 (E) REAR ELEVATION**  
1/8" = 1'-0"

**LEGEND**  
----- PROPERTY LINE

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SHEET TITLE  
**(E) REAR ELEVATION**

PROJECT PROPERTY  
**42 BONVIEW STREET  
SAN FRANCISCO, CA  
BLOCK 5613 LOT 014**

REVISIONS

DATE 06-25-12

SCALE AS SHOWN

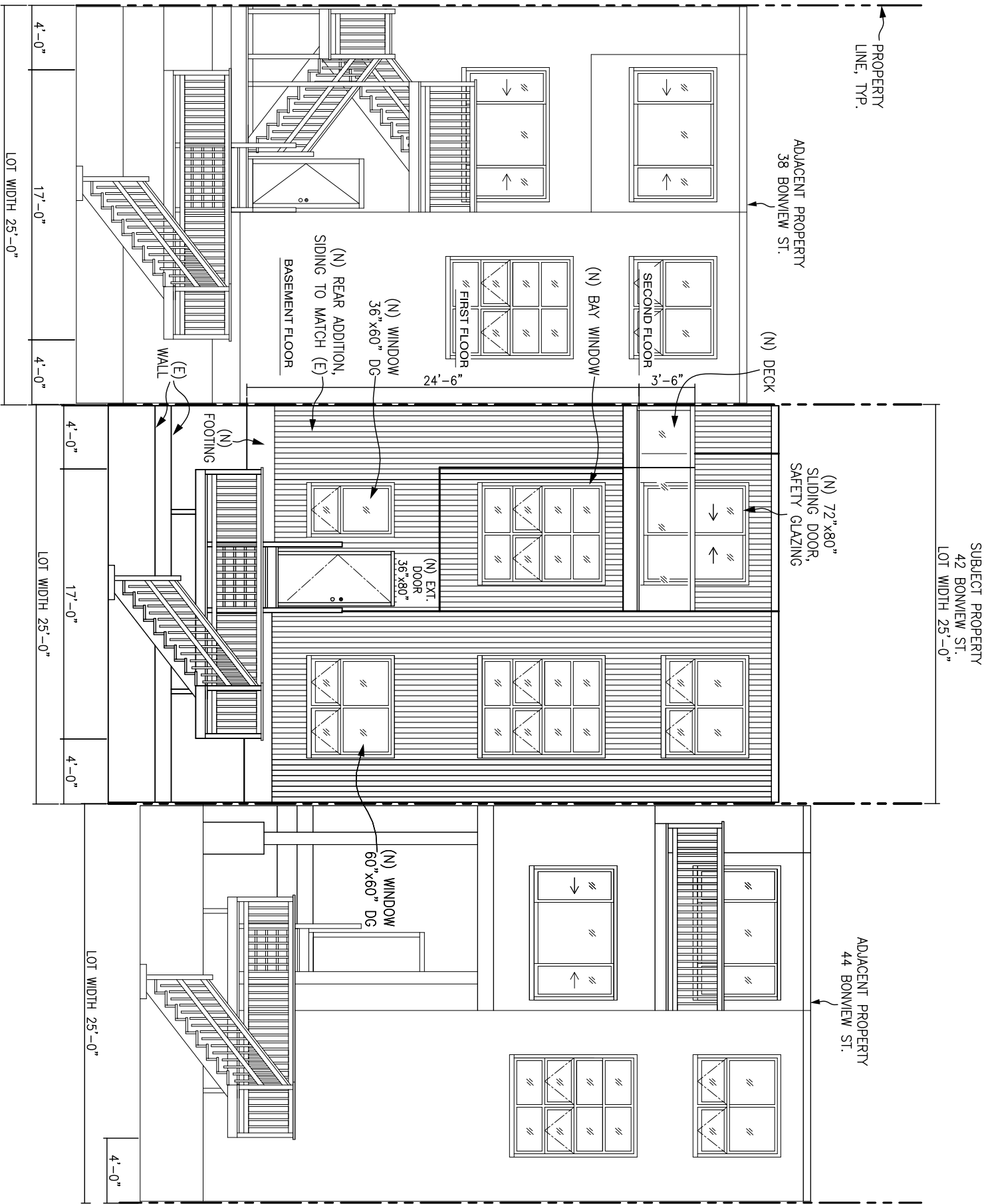
JOB NO. W12-323

SHEET

**A-7**

7 OF 11 SHEETS





**13** PROPOSED REAR ELEVATION

1/8" = 1'-0"

**LEGEND**

----- PROPERTY LINE

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SHEET TITLE

PROPOSED REAR  
ELEVATION

PROJECT PROPERTY

42 BONVIEW STREET  
SAN FRANCISCO, CA  
BLOCK 5613 LOT 014

REVISIONS

DATE 06-25-12

SCALE AS SHOWN

JOB NO. W12-323

SHEET

A-8

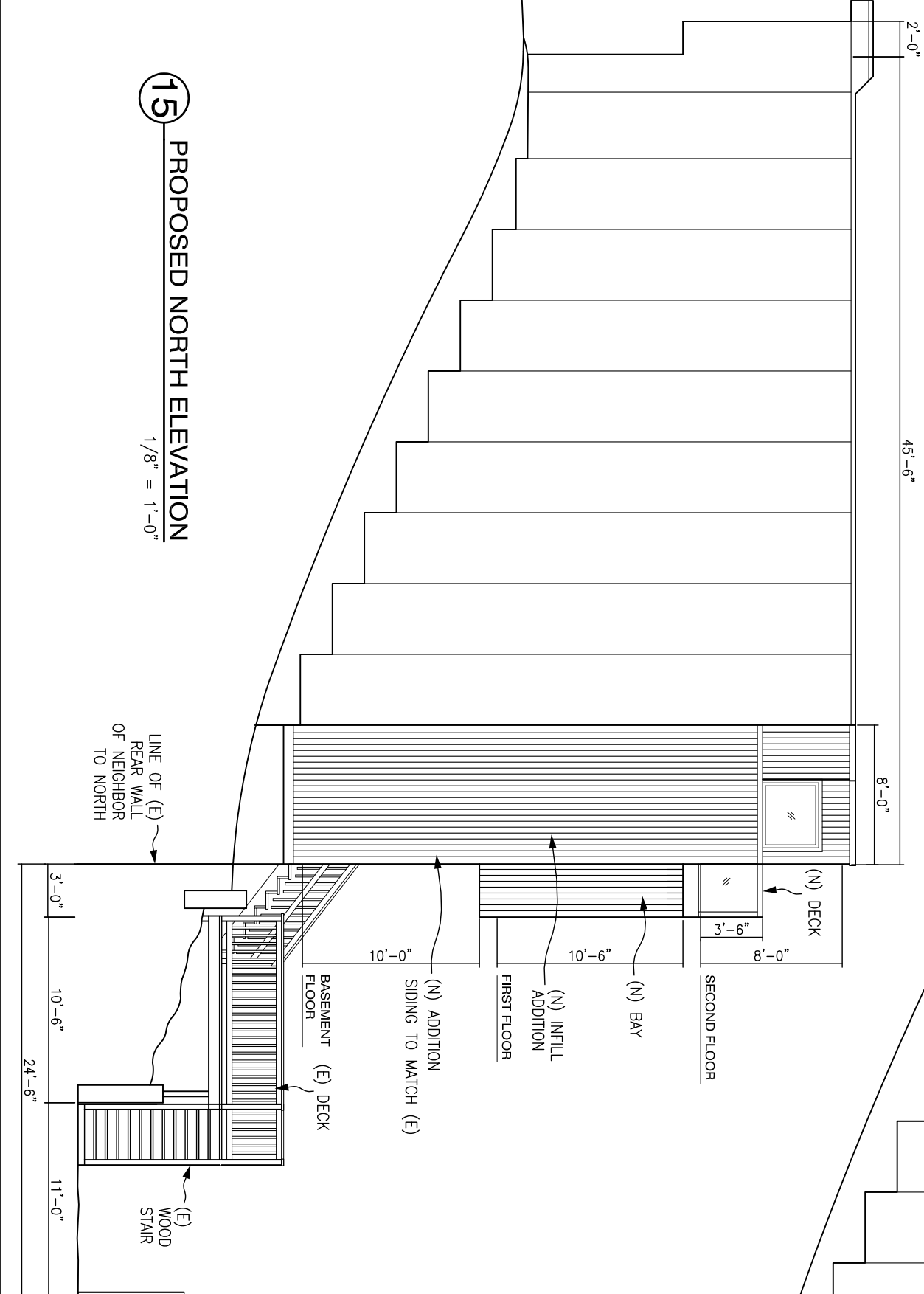
8 OF 11 SHEETS

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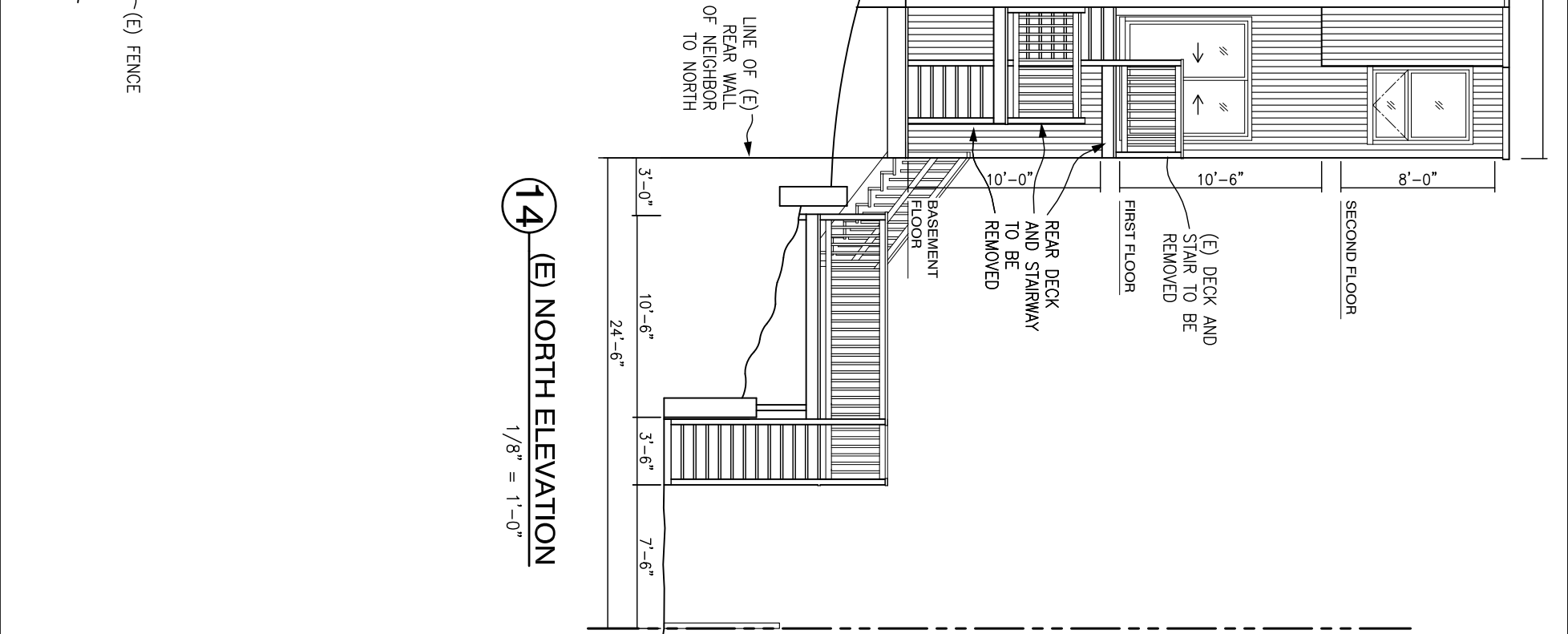
LEGEND

----- PROPERTY LINE

BONVIEW ST.



BONVIEW ST.



PPM

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Tel: 415-826-2981  
Fax: 415-621-7583

1019 Howard Street, San Francisco, CA 94103

SHEET TITLE  
(E) & PROPOSED  
NORTH ELEVATION

PROJECT PROPERTY  
42 BONVIEW STREET  
SAN FRANCISCO, CA  
BLOCK 5613 LOT 014

REVISIONS


DATE 06-25-12  
SCALE AS SHOWN  
JOB NO. W12-323

SHEET

A-9

9 OF 11 SHEETS



