



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Information:
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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 26, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Front Setback Variance)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2296 - 2298 Vallejo St	Case No.:	2012.0758V
Cross Street(s):	Fillmore Street	Building Permit:	TBF
Block / Lot No.:	0557/014	Applicant/Agent:	Eugene Sakai
Zoning District(s):	RH-2 / 40-X	Telephone:	408/998-0983
Area Plan:	Click here to enter text.	E-Mail:	eugenesakai@gmail.com
PROJECT DESCRIPTION			
<p>The proposal is to construct an approximately 8-foot high privacy fence within the required front setback of the four-story, four-unit residential building.</p> <p>Section 132 of the Planning Code requires the subject property to maintain a front setback equal to approximately 2 feet 6 inches. Per Section 136 of the Planning Code, fences in the front setback are limited to 3 feet in height if solid, and 6 feet in height if at least 75% open to perpendicular view. The proposed fence within the required front setback is approximately 8 feet above grade and features an approximately 4-foot tall stucco base topped by an approximately 4-foot tall wood fence that is less than 75% open to perpendicular view.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: aaron starr Telephone: 415-558-6362 Mail: aaron.starr@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2012.0758V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

There is no associated Building Permit Application with this Variance request.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

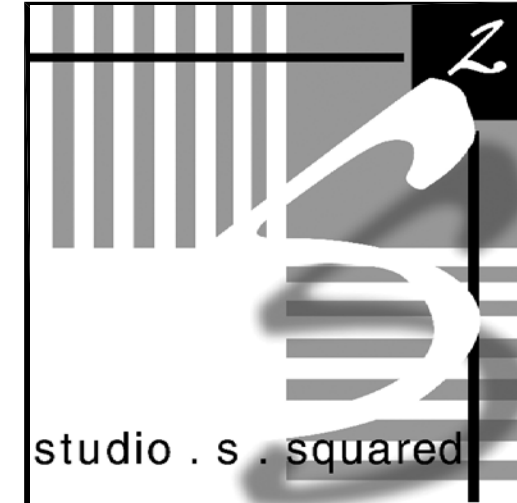
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

VALLEJO STREET APARTMENT IMPROVEMENTS



2296 - 2298A VALLEJO STREET & 2810 FILLMORE STREET
SAN FRANCISCO, CALIFORNIA

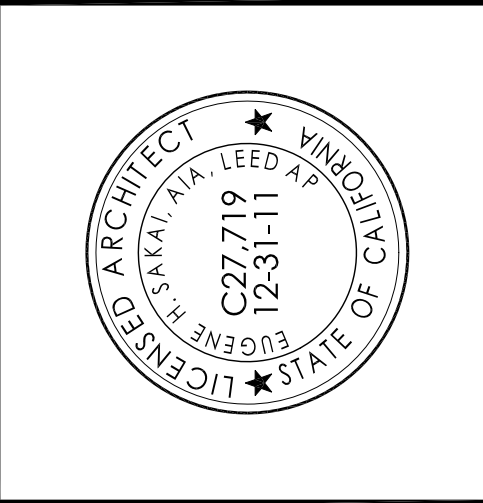


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VALLEJO STREET
APARTMENT IMPROVEMENTS

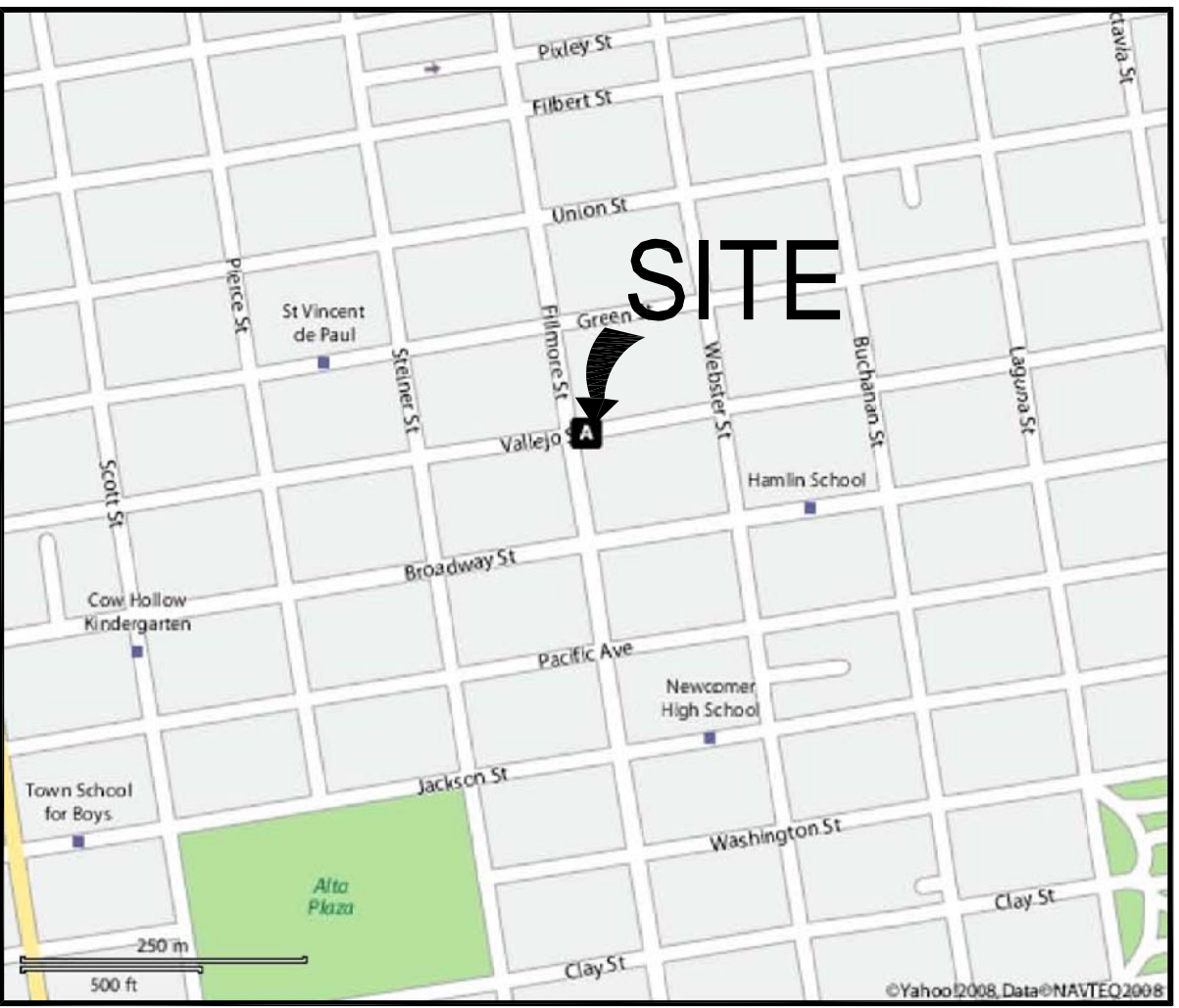
2296-2298A VALLEJO STREET & 2810
FILLMORE STREET, SAN FRANCISCO CA

R. C. HORIZONS, LLC



PROJECT NO.	REVISION	DATE	DESCRIPTION
09-001		08.04.2009	PLANNING DEPARTMENT SUBMITTAL SET
		11.30.2009	PLANNING DEPARTMENT RESUBMITTAL SET
		01.07.2010	PLANNING DEPARTMENT RESUBMITTAL SET
		08.16.2010	BUILDING DEPARTMENT SUBMITTAL SET
		06.06.2011	MEP COMMENTS
		06.23.2011	MEP COMMENTS
		06.05.2012	VARIANCE PACKAGE SUBMITTAL

LOCATION MAP



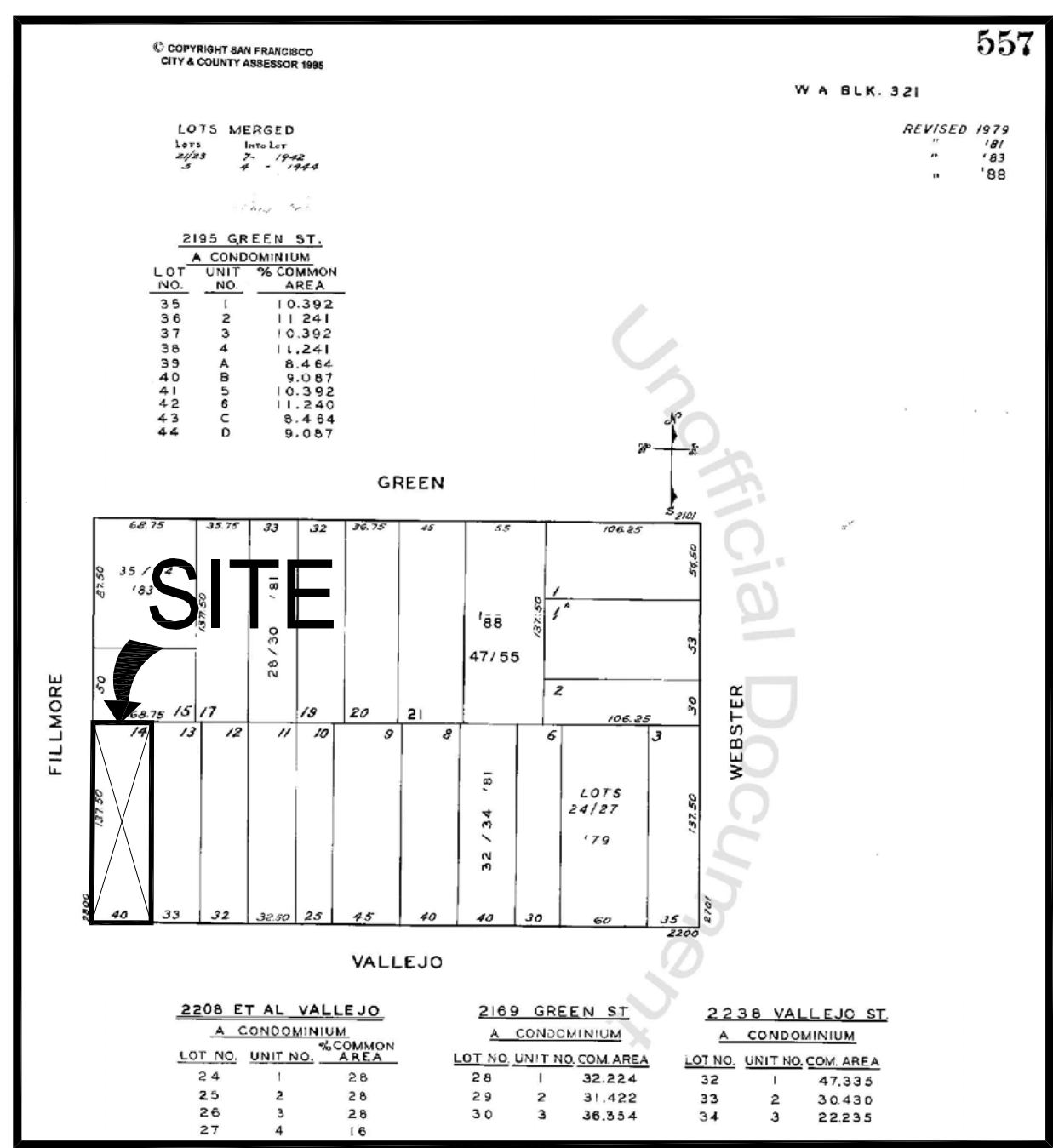
SHEET INDEX

GENERAL A0.0	COVER SHEET
ARCHITECTURAL A1.0 A2.1 A3.0 A9.0	SITE PLAN FLOOR PLAN ELEVATIONS EXTERIOR PERSPECTIVES

PROJECT TEAM

OWNER R.C. Horizons, LLC P. O. Box 1389 Freedom, CA 95019 Attn: Mr. Richard Crocker Ph: 831 763 3620 e-mail: richard@rlcrocker.com	ARCHITECT Studio S Squared Architecture, Inc. 19 North Second Street, Ste. 205 San Jose, CA 95113 Attn: Eugene H. Sakai, AIA, LEED AP ph: 408 998 0983 fx: 408 998 0982 email: esakai@studios2arch.com
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ASSESSOR'S PARCEL MAP



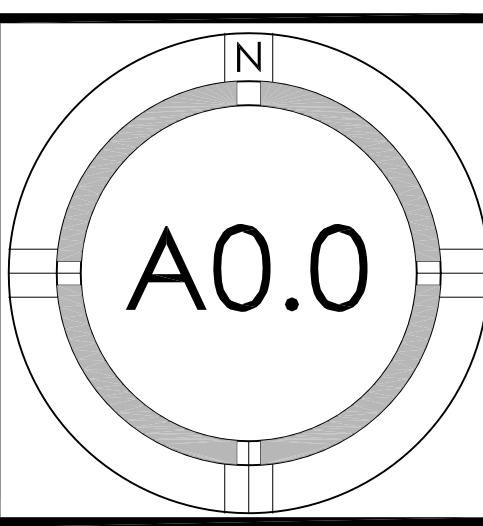
PROJECT INFORMATION

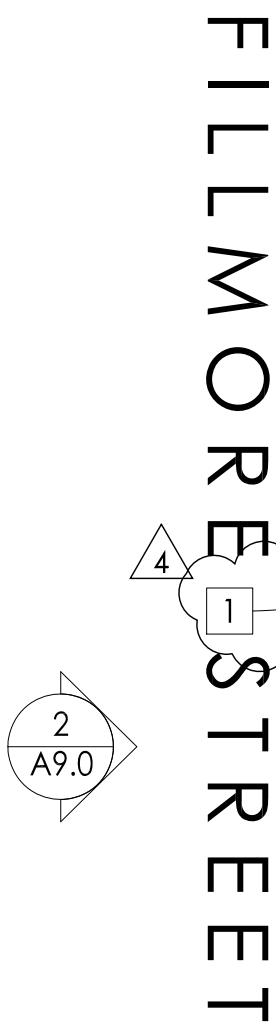
ASSESSOR'S BLOCK AND LOT NO.:	0557-014
ZONING AND JURISDICTION:	RH-2 (RESIDENTIAL HOUSE, TWO FAMILY)
HEIGHT AND BULK DISTRICT:	35-X
SETBACKS:	45% REQUIRED REAR YARD
TYPE OF CONSTRUCTION:	TYPE V-A, FULLY SPRINKLERED
BUILDING OCCUPANCY GROUPS:	R-2 (MULTI-FAMILY RESIDENTIAL, > 2 UNITS)
NUMBER OF FLOORS (EX.):	4 OVER BASEMENT

SCOPE OF WORK

Approval for 34'-8" of +/-8'-2" tall fence along Vallejo Street, and 48'-7" of +/-21'-3" maximum and +/-8'-2" minimum tall fence along Fillmore Street.

COVER SHEET





2290
VALLEJO STREET

2296 - 2298
VALLEJO STREET

VALLEJO STREET

1 EXTENT OF FENCE THAT EXCEEDS MAX. ALLOWABLE HEIGHT ABOVE GRADE

4

SITE PLAN KEYNOTES

PROPERTY LINE

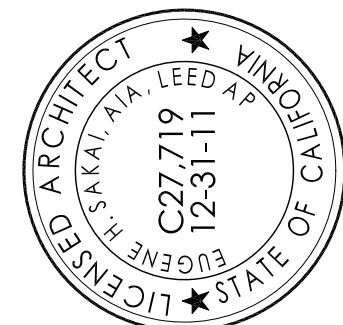
AREA OF BUILDING

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VALLEJO STREET
APARTMENT IMPROVEMENTS

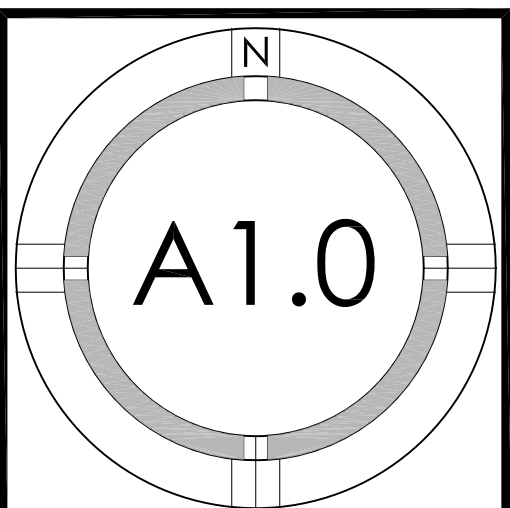
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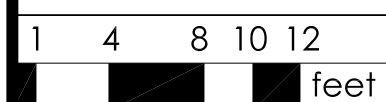


PROJECT NO.	REVISION	DATE	DESCRIPTION	09-001
		05.14.2009	DESIGN DEVELOPMENT REVIEW	
		05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET	
		08.04.2009	PLANNING DEPARTMENT SUBMITTAL SET	
		11.30.2009	PLANNING DEPARTMENT RESUBMITTAL SET	
		01.07.2010	PLANNING DEPARTMENT RESUBMITTAL SET	
	1	08.16.2010	BUILDING DEPARTMENT SUBMITTAL SET	

SITE PLAN



© STUDIO S SQUARED ARCHITECTURE, INC.



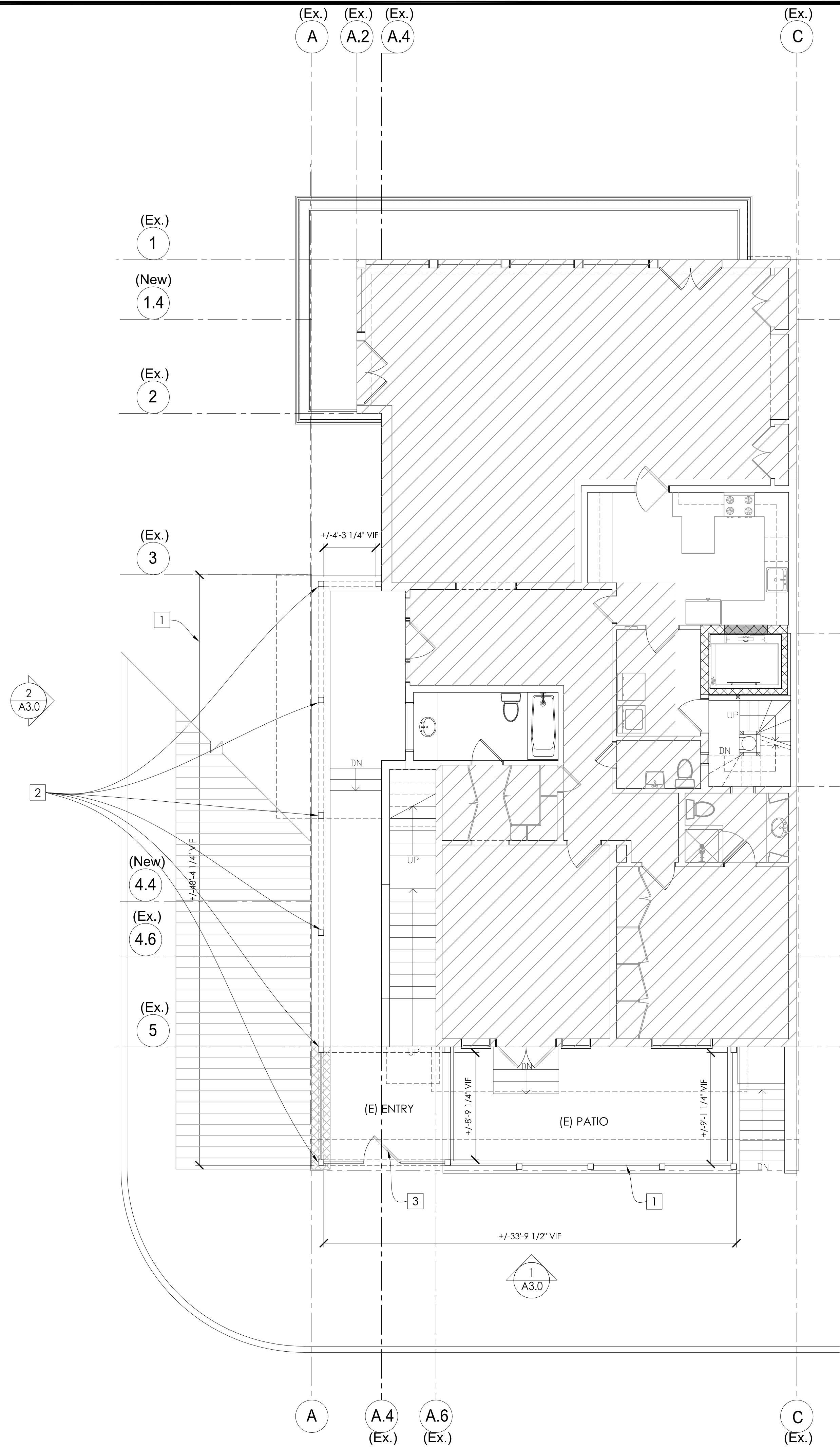
SITE PLAN

1/16"

1

SITE PLAN LEGEND

1



- 1 NEW PRIVACY FENCE ON (E) STUCCO PLINTH, SEE ELEVATIONS
- 2 (E) TRELLIS COLUMNS TO REMAIN
- 3 NEW ENTRY GATE WITH INTERCOM SYSTEM

NOT IN CONTRACT

KEYNOTES

-

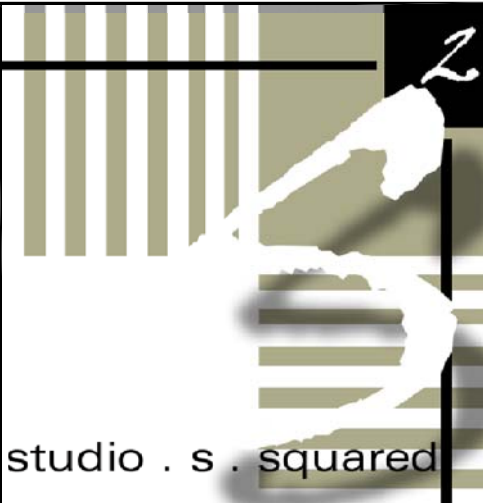
GROUND FLOOR PLAN (2296 VALLEJO STREET)

3/16"

1

LEGEND

-

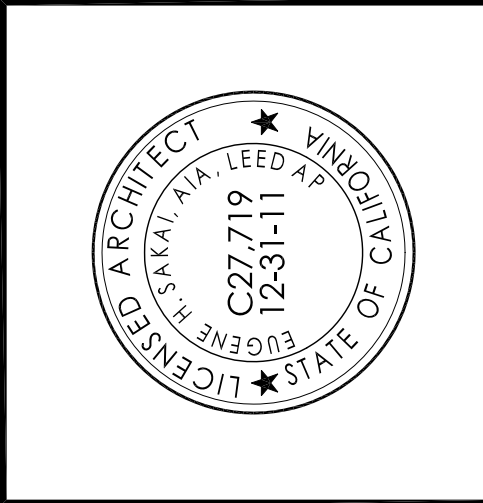


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VALLEJO STREET
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FILLMORE STREET, SAN FRANCISCO CA

R. C. HORIZONS, LLC

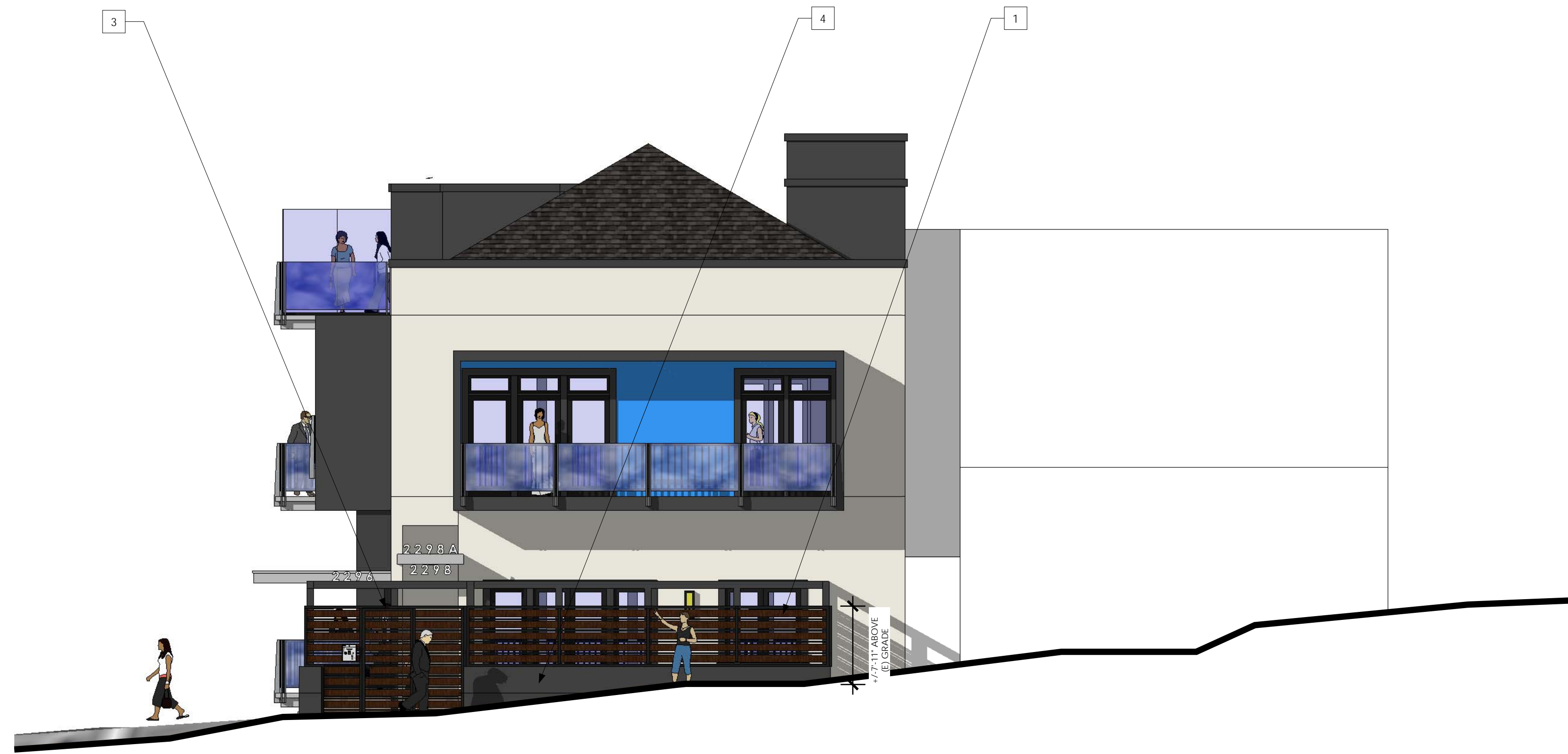


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1	06.06.2011	MEP COMMENTS
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3	06.05.2012	VARIANCE PACKAGE SUBMITTAL
4		

FLOOR
PLAN

A2.1

N



FRONT ELEVATION (EAST) 1/4" 1

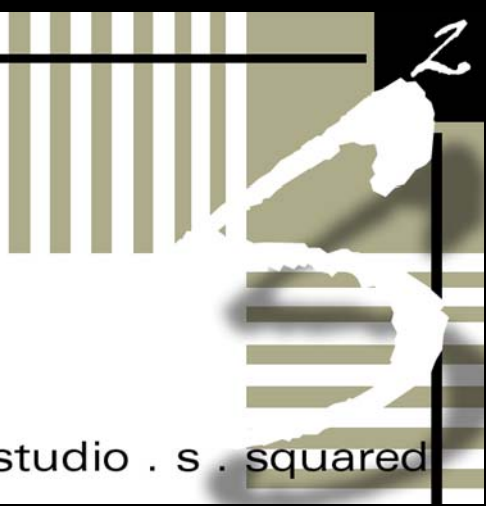


LEFT ELEVATION (SOUTH) 1/4" 2

- 1 NEW 2X6 COMPOSITE DECKING IN-FILL PRIVACY FENCE ON (E) AND (N) STUCCO PLINTH
- 2 (E) POST AND BEAMS TO REMAIN AND BE REPAINTED
- 3 NEW ENTRY GATE WITH INTERCOM SYSTEM
- 4 NEW HEAVY STUCCO PLINTH. MATCH TEXTURE AND HEIGHT OF (E) ADJACENT

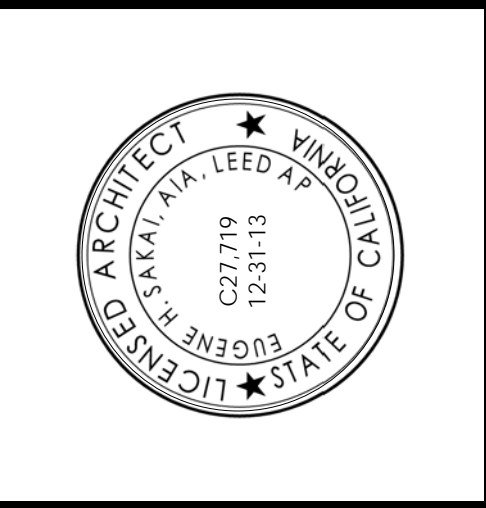
- NOTE:
- SEE 2/A0.1 FOR PLUMING GENERAL NOTES
- SEE 3/A0.1 FOR MECHANICAL GENERAL NOTES
- SEE 3/A0.1 FOR ELECTRICAL GENERAL NOTES
- SEE 4/A0.1 FOR PLAN AND INTERIOR GENERAL NOTES
- EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.4 3D MODEL VIEWS AND LANDSCAPE PLANS

KEYNOTES - -



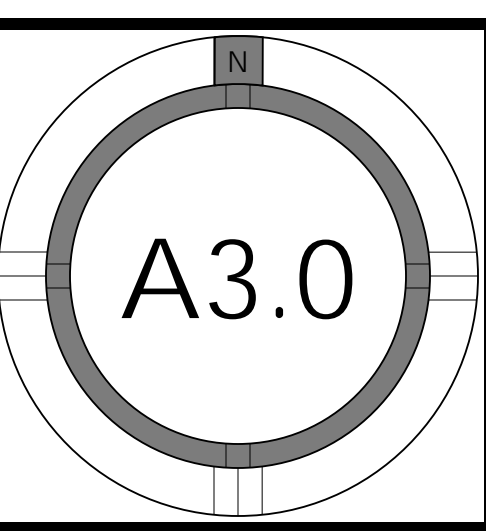
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EXTERIOR
ELEVATIONS





DETAIL OF NEW OPEN FENCE - 4



VIEW FROM CORNER OF VALLEJO ST. AND FILLMORE ST. - 1



VIEW OF (E) BUILDING FROM FILLMORE ST. - 5



VIEW FROM FILLMORE ST. - 2



VIEW OF (E) BUILDING FROM VALLEJO ST. - 6



VIEW FROM VALLEJO ST. - 3

- 1 HEAVY STUCCO BASE TO MATCH (E) ADJACENT
- 2 2" SQUARE POWDER COATED TUBE STEEL
- 3 1" SQUARE POWDER COATED TUBE STEEL, 9" O.C.
- 4 2X6 COMPOSITE DECKING IN-FILL, 9" O.C.
- 5 (E) POSTS AND BEAMS TO REMAIN AND BE REPAINTED
- 6 (E) SOLID FENCE TO BE REPLACED WITH NEW OPEN FENCE



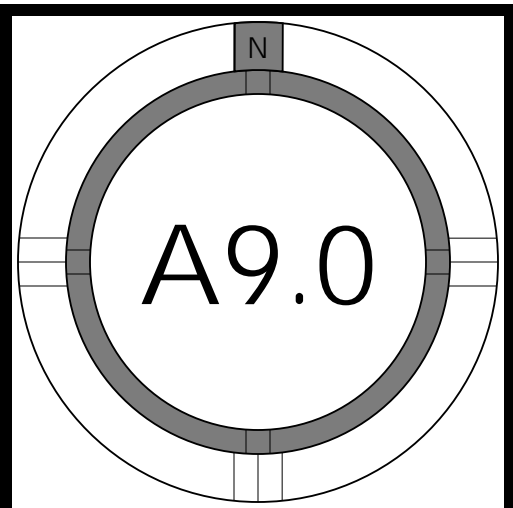
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VALLEJO ST.
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EXTERIOR
PERSPECTIVES



KEYNOTES - -