



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 26, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>85 Manchester St</b>	Case No.:	<b>2012.0749V</b>
Cross Street(s):	<b>Stoneman</b>	Building Permit:	<b>2012.06.25.3340</b>
Block / Lot No.:	<b>5523/029</b>	Applicant/Agent:	<b>Lorin Hill</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>510 654-2552</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>lhill@hillarch.com</b>
PROJECT DESCRIPTION			
<p>85 MANCHESTER ST, Lot 029 in Assesor's Block 5523 in a RH-2(Residential- House, Two Family) Zoning District and a 40-X Height and Bulk District. The proposal is to construct a new two-level rear deck and stairs. The rear deck and stairs would be 12 feet deep and 15 feet wide, leaving a 5 foot side setback on each side.</p> <p><b>PER SECTION 242(e)(2) OF THE PLANNING CODE</b> the subject property is required to maintain a rear yard that is 45% of the depth of the lot - in this case approximately 36 feet. The proposed rear deck and stairs would encroach into the rear yard by approximately 12 feet, leaving a rear yard of 24 feet.</p>			
ADDITIONAL INFORMATION			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b> Planner: <b>Erika Jackson</b> Telephone: <b>415-558-6363</b> Mail: <a href="mailto:erika.jackson@sfgov.org">erika.jackson@sfgov.org</a></p>			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2012.0749V.pdf">http://sf-planning.org/ftp/files/notice/2012.0749V.pdf</a></p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

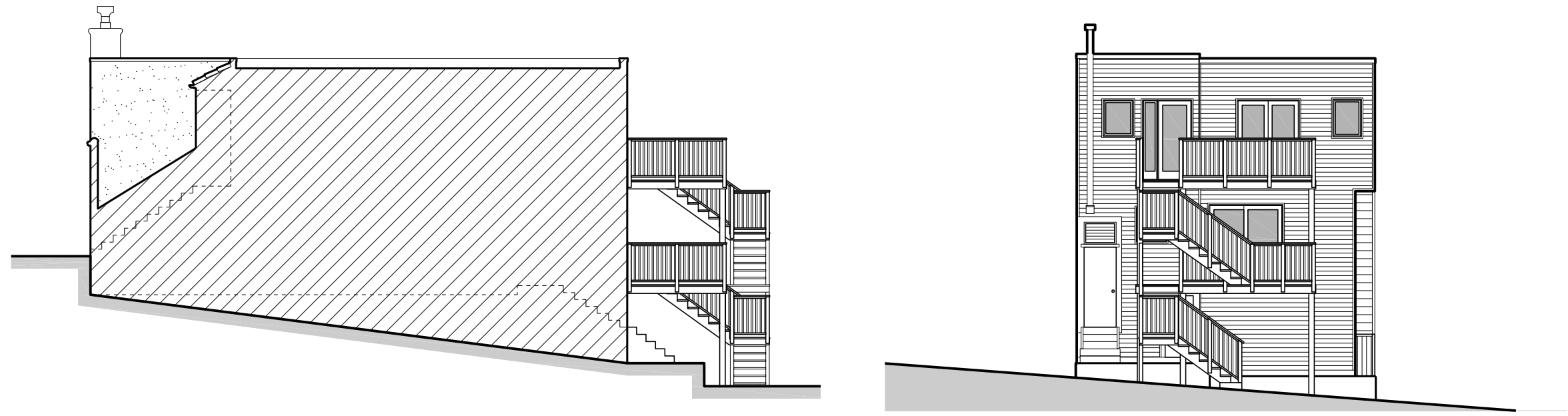
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

# ROTKIN-ELLMAN-CHERTOK RESIDENCE

## REAR YARD DECK ADDITION

85 MANCHESTER STREET, SAN FRANCISCO, CA



### ABREVIATIONS

L	ANGLE	FOC	FACE OF CONCRETE	SCHED	SCHEDULE
⊙	AT	FOG	FACE OF GIRT	SECT	SECTION
ACOUS (AC)	ACOUSTICAL	FWW	FACE OF WALL	SHT	SHEET
A/C	AIR CONDITIONING	FOS	FACE OF STUDS	SH	SIMILAR
ALUM (AL)	ALUMINUM	FS	FULL SIZE	SPEC	SPECIFICATION
APPROX	APPROXIMATE	FT	FOOT OR FEET	SQ	SQUARE
ARCH	ARCHITECTURAL	FTG	FOOTING	SS	SERVICE SINK
BD, (BRD)	BOARD	FURR	FURRING	SSD	SEE STRUCTURAL
BLDG	BUILDING	GALV	GALVANIZED	SST	STAINLESS STEEL
BLK	BLOCK	GL	GLASS	STD	STANDARD
BLKG	BLOCKING	GI	GALVANIZED IRON	STL	STEEL
BM	BEAM	GSM	GALVANIZED SHEET	STL	STORAGE
BOTT (BOT)	BOTTOM	MET	METAL	STRUCT	STRUCTURAL
CL	CENTER LINE	GYP BD	GYPSPUM WALLBOARD	SUSP	SUSPENDED
CEM	CEMENT	HCP	HANDICAP	T.B.D.	TO BE DETERMINED
C.T.	CERAMIC TILE	HM	HOLLOW METAL	T & B	TOP AND BOTTOM
CLG	CEILING	HDWD	HARDWOOD	T & G	TONGUE AND GROOVE
CLKG	CAULKING	JAN	JANITOR	TEL	TELEPHONE
CLO	CLOSET	JT	JOINT	THK	THICK
CLR	CLEAR	KD	KNOCKDOWN	TOC	TOP OF CONCRETE
COL	COLUMN	KP	KICKPLATE	TOS	TOP OF STEEL
CONC	CONCRETE	LAM	LAMINATE	TR	TYPICAL
CONN	CONNECTION	LAV	LAVATORY		TREAD
CONSTR	CONSTRUCTION	LIQ	LIQUID	UON	UNLESS OTHERWISE NOTED
CONT	CONTINUOUS	MACH	MACHINE	VERT	VERTICAL
CORR	CORRIDOR	MAINT	MAINTENANCE	W.P.	WATERPROOF
CTSK	COUNTERSUNK	MATL	MATERIAL		
CJ	CONTROL JOINT	MAX	MAXIMUM		
		MECH	MECHANICAL		
		MEMB	MEMBRANE		
		MET	METAL		
		MFR (MFG)	MANUFACTURER		
		MIN	MINIMUM		
		MISC	MISCELLANEOUS		
		NO	NO MASONRY OPENING		
		MTD	MOUNTED		
		NIC	NOT IN CONTRACT		
		NO OR #	NUMBER		
		NTS	NOT TO SCALE		
		OA	OVERALL		
		OC	ON CENTER		
		OFF	OFF		
		OPNG	OPENING		
		OPP	OPPOSITE		
		PERPEN	PERPENDICULAR		
		P/C	PRECAST		
		(P.C.)	PRECAST		
		PL, P	PLYWOOD		
		PLYWD	PLYWOOD		
		PTN	PARTITION		
		RAD	RADIUS		
		REF	REFERENCE		
		REINF	REINFORCED		
		REC	RECESSED		
		REQ'D	REQUIRED		
		RM	ROOM		
		RO	ROUGH OPENING		
		RWL	RAIN WATER LEADER		

### GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF:
  - 2010 SAN FRANCISCO CODE AMENDMENTS
  - 2010 CALIFORNIA BUILDING CODE
  - 2010 CALIFORNIA ENERGY CODE
  - 2010 CALIFORNIA PLUMBING CODE
  - 2010 CALIFORNIA MECHANICAL CODE
- REGARDLESS OF WHAT IS SHOWN OR NOT ON THESE DRAWINGS, ALL WORK SHALL COMPLY WITH THE FOLLOWING CALIFORNIA ADMINISTRATIVE CODES:
  - TITLE 19 PUBLIC SAFETY
  - TITLE 24 BUILDING STANDARDS
  - CAL/OSHA CONSTRUCTION SAFETY ORDERS
  - LIFE SAFETY CODE
- THE CONTRACTOR SHALL COMPLY WITH ANY OTHER APPLICABLE STATE OR LOCAL ORDINANCES. IN THE EVENT OF ANY CONFLICT THE MORE STRINGENT PROVISIONS SHALL APPLY.
- ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. DO NOT PROCEED ON ASSUMPTIONS.
- THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. EACH SUBCONTRACTOR SHALL MAKE MEASUREMENTS PERTAINING TO HIS/HER RESPECTIVE WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY.
- DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC SCALE SHOWN ON THE DRAWINGS. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY THE ROUGH-IN DIMENSIONS FOR DOORS, WINDOWS, FIXTURES AND EQUIPMENT FROM THE MFR'S. INSTALLATION DATA PRIOR TO STARTING LAYOUT IN AREAS WHERE SUCH ITEMS OCCUR. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION.
- ALL BUILDING SYSTEMS AND ASSEMBLIES SHALL BE COMPLETE AND OPERATIVE THOUGH NOT FULLY DESCRIBED IN THESE DOCUMENTS, ALL CONSTRUCTION SHALL BE WATERTIGHT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE VARIOUS BUILDING TRADES AND FOR COORDINATING BETWEEN THE VARIOUS CONSTRUCTION DOCUMENTS AS NECESSARY IN SETTING OUT ALL BUILDING LINES AND DETAILS.
- THE OWNER SHALL PAY FOR THE GENERAL BUILDING PERMIT. THE CONTRACTOR SHALL PAY FOR SUBTRADE PERMITS AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL TRASH, WASTE, RUBBISH AND DEBRIS RESULTING FROM THE WORK AT REGULAR INTERVALS DURING THE COURSE OF THE WORK. ALL SUCH WASTE SHALL BE LEGALLY DISPOSED OF OFF-SITE. PATCH DAMAGED FINISHES AS REQUIRED.
- SECURITY OF THE WORK SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING THE WORK DAY. THE WORK SITE SHALL BE SECURED AGAINST ENTRY DURING NON-WORK HOURS.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES AS REQUIRED TO PROPERLY AND SAFELY EXECUTE THE WORK. SUCH FACILITIES SHALL INCLUDE BUT ARE NOT NECESSARILY LIMITED TO, SHORING, BRACING, SCAFFOLDING, BARRIERS AND TEMPORARY UTILITIES. THE CONTRACTOR SHALL MAINTAIN ONE EXISTING TOILET OPERABLE THROUGHOUT THE COURSE OF THE JOB.
- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, AND TRUE.
- UNLESS OTHERWISE NOTED ALL CONNECTIONS AND FASTENERS SHALL BE CONCEALED. THE USE OF EXPOSED FASTENERS SHALL BE APPROVED BY THE DESIGNER. ALL EXTERIOR FASTENERS SHALL BE STAINLESS STEEL OR HOT DIP GALVANIZED.
- ANY OPENINGS LEFT IN FLOORS OR CEILINGS SHALL BE PROTECTED FOR THE SAFETY OF THOSE WORKING ON SITE AND OTHERS.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- ANY WORK INTERFACING WITH CITY PROPERTY OR CITY SERVICES SHALL BE PERFORMED PER CITY STANDARDS.
- SUBMIT SHOP DRAWINGS AND MANUFACTURER'S DATA FOR APPROVAL BY ARCHITECT FOR: CASEWORK, COUNTERS, APPLIANCES, LIGHTING FIXTURES, PLUMBING FIXTURES.

### PROJECT DATA

PROJECT DESCRIPTION:  
AN EXISTING TWO STORY SINGLE FAMILY DWELLING GETS A REAR YARD DECK AND STAIR ADDITION.

PROJECT ADDRESS:  
85 MANCHESTER STREET  
SAN FRANCISCO, CA 94110

ASSESSOR'S PARCEL NUMBER:  
BLOCK 5523 LOT 029

ZONING:  
RH-2

HEIGHT & BULK DISTRICT:  
40-X

FRONT SETBACK:  
N/A

REAR YARD SETBACK:  
45% OF LOT DEPTH OR AVERAGE BETWEEN ADJACENT BUILDINGS

OCCUPANCY GROUP:  
R-3

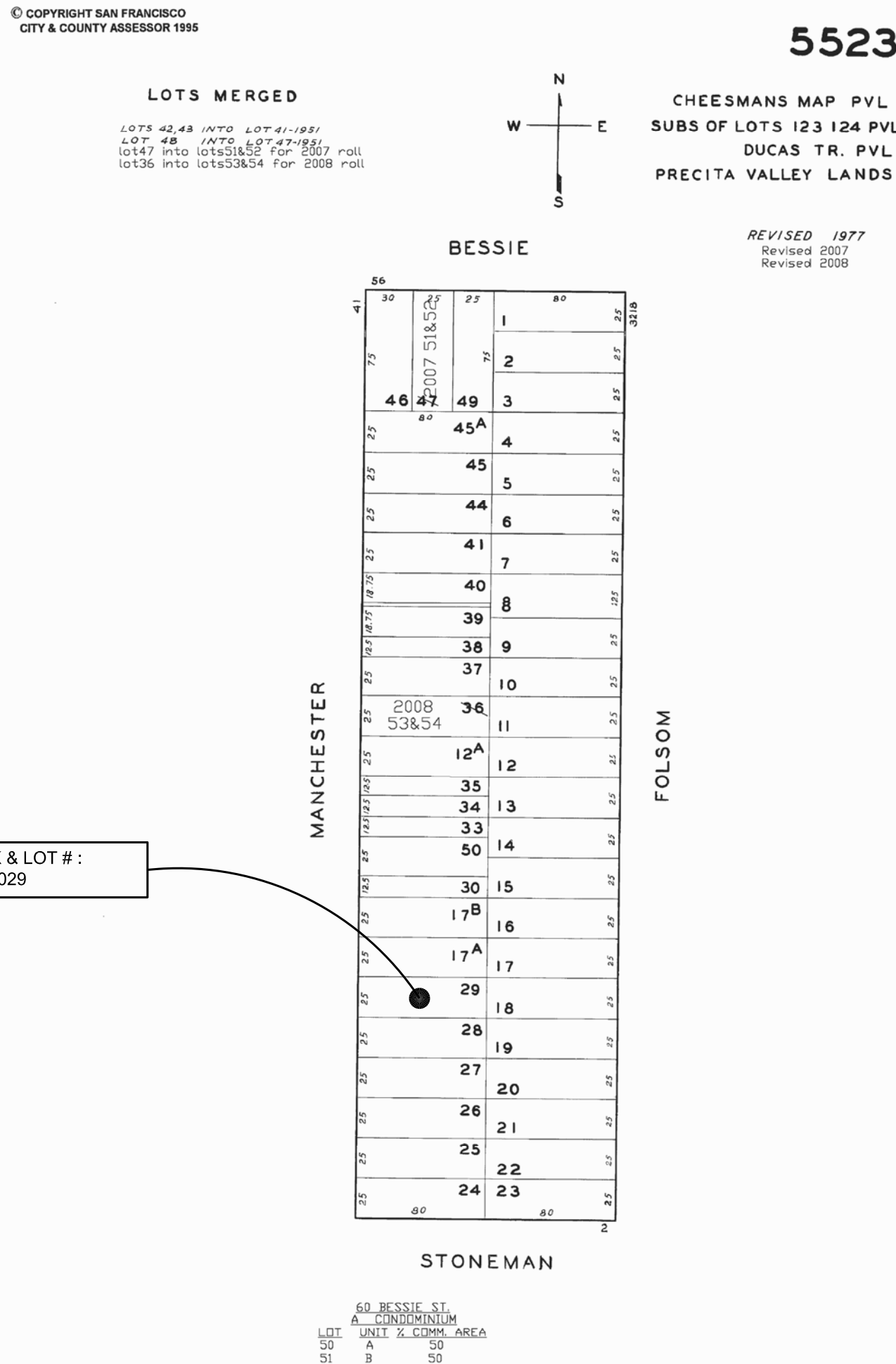
USE:  
DWELLING

TYPE OF CONSTRUCTION:  
V-B

STORIES:  
TWO (2), EXISTING (NO CHANGE)

LOT AREA:  
2,000 SF, EXISTING (NO CHANGE)

### PARCEL MAP



### PROJECT DIRECTORY

Owners:  
Miriam Rotkin-Ellman and Hallie Chertok  
85 Manchester Street  
San Francisco, CA 94110  
H: 415 . 970 . 1093

Architect:  
Lorin Hill, Architect  
6573 Shattuck Avenue  
Oakland, CA 94609  
O: 510 . 654 . 2552  
F: 510 . 654 . 2555

Contractor:

T.B.D.

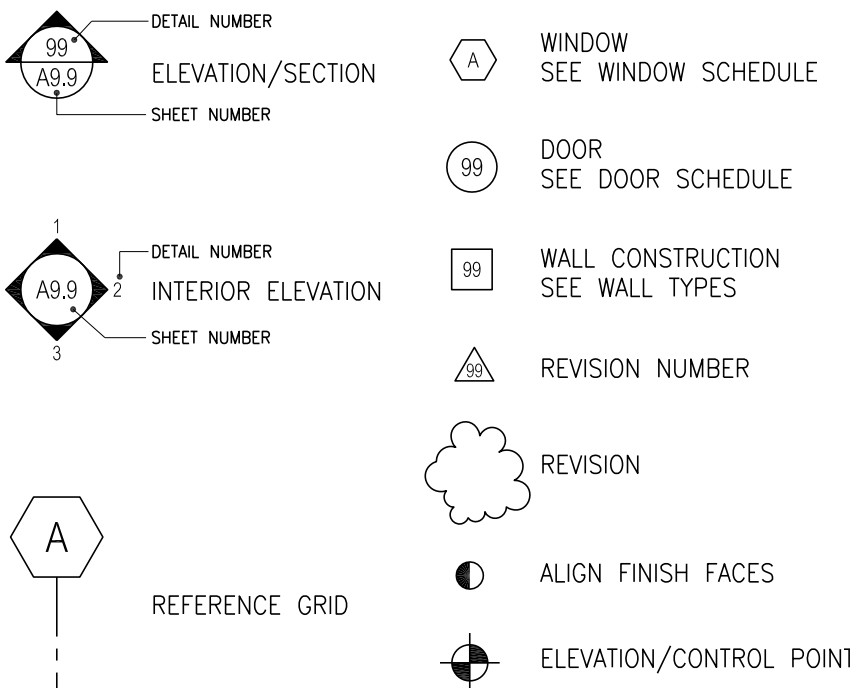
Structural Engineer:

T.B.D.

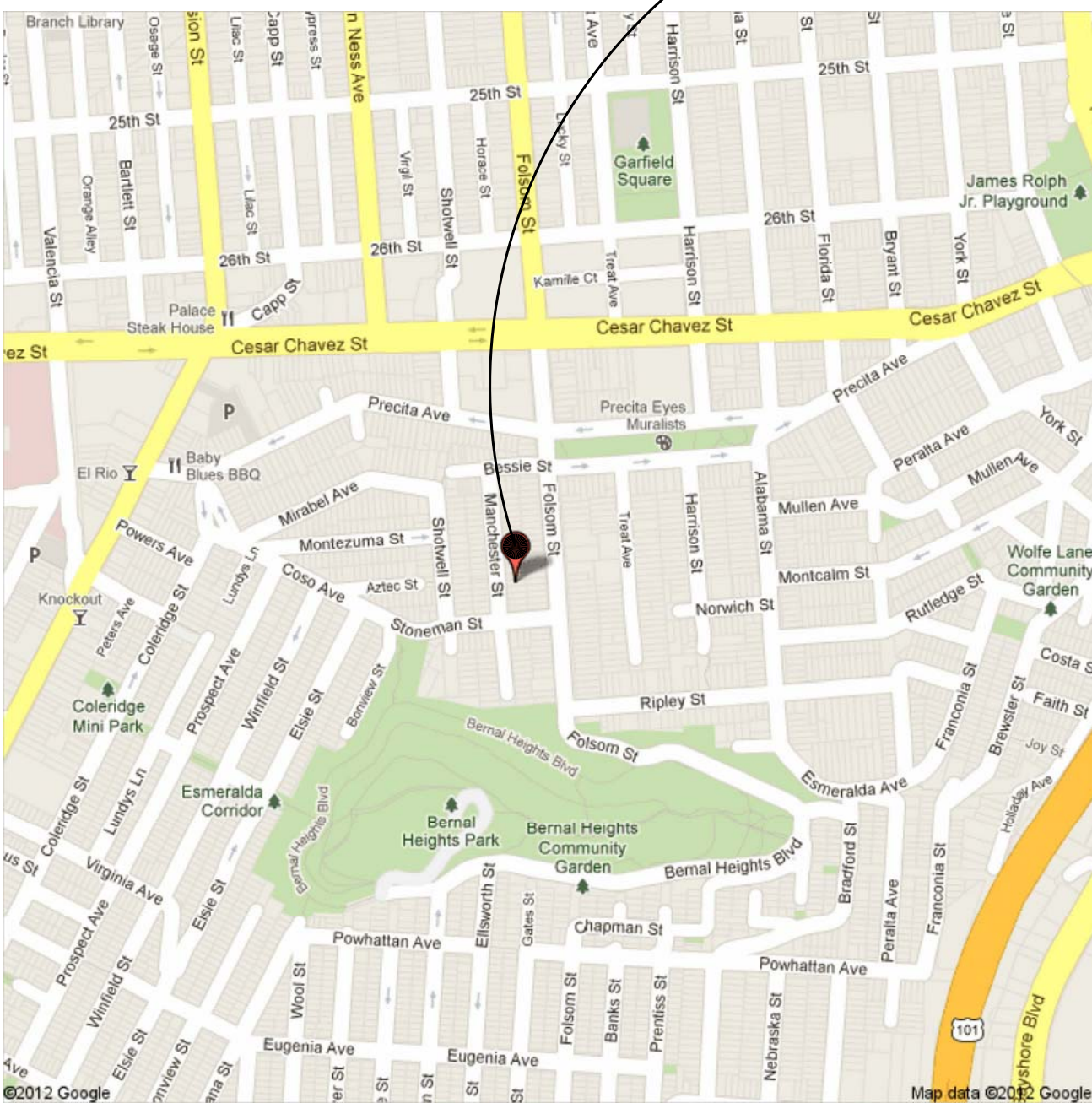
### DRAWING LIST

ARCHITECTURAL
A0.0 COVER SHEET, PROJECT DATA & MAPS
A1.1 EXISTING AND PROPOSED SITE PLANS
A2.1 EXISTING AND PROPOSED FIRST FLOOR PLANS
A2.2 EXISTING AND PROPOSED SECOND FLOOR PLANS
A4.1 BUILDING ELEVATIONS
A4.2 BUILDING ELEVATIONS

### SYMBOLS



### VICINITY MAP



ROTKIN-ELLMAN-CHERTOK  
REAR YARD DECK ADDITION  
85 MANCHESTER STREET  
SAN FRANCISCO . CALIFORNIA . 94110

05 . 14 . 2012  
SECTION 311 -  
NEIGHBORHOOD  
NOTIFICATION

06 . 14 . 2012  
APPLICATION FOR  
VARIANCE

06 . 20 . 2012  
Site Permit -  
Section 311

drawing title:  
Cover Sheet  
+  
Project Data

by:  
ASQ

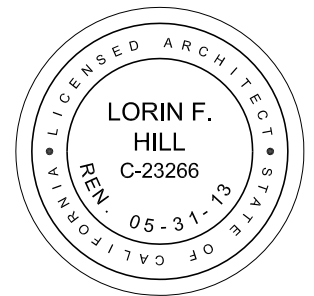
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06 . 20 . 2012

scale:  
as noted

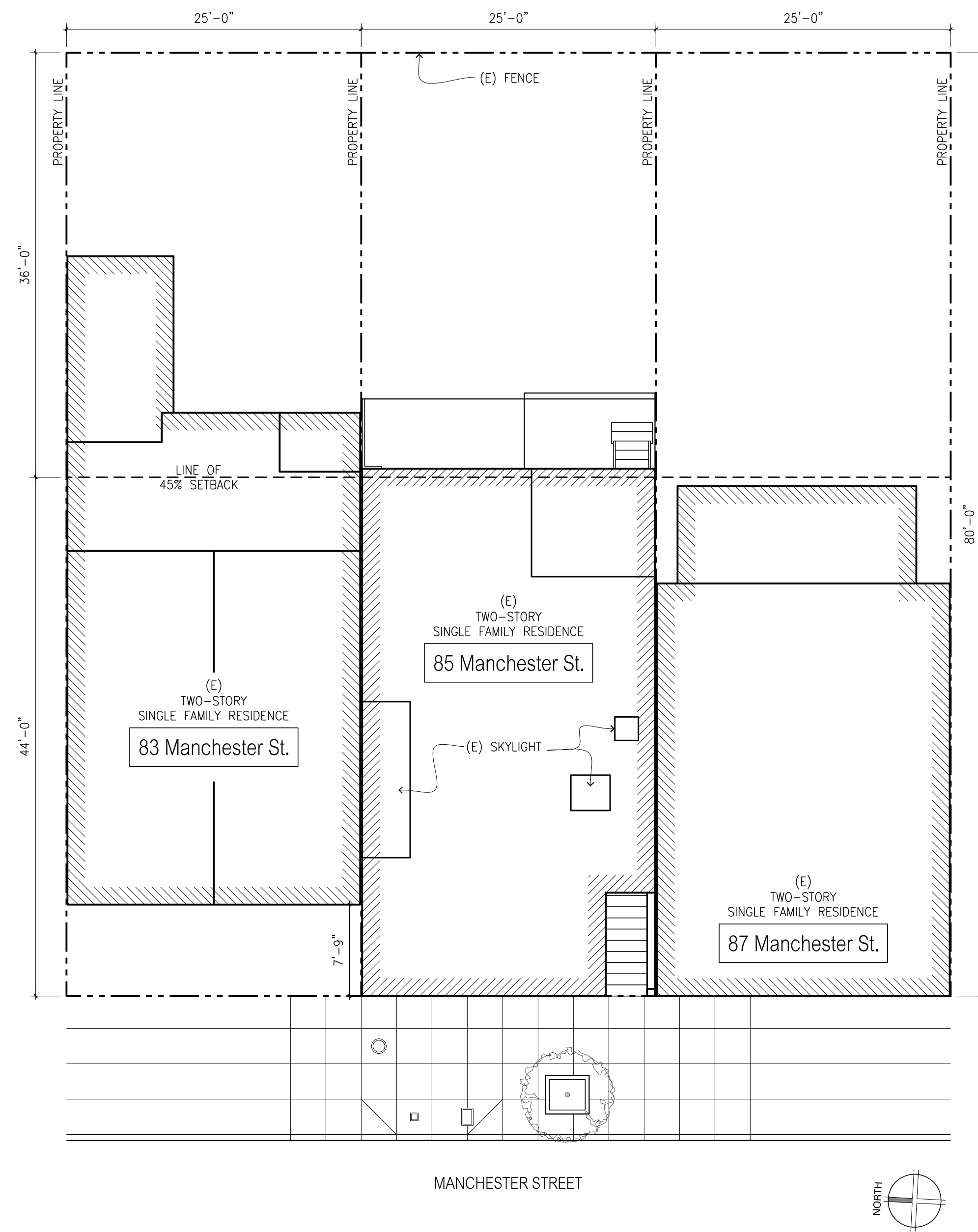
sheet no.:

A0.0  
project no.: 1117

LORIN F. HILL  
ARCHITECT  
6573 Shattuck Avenue  
Oakland, California 94609  
tel. 510.654.2552  
fax. 510.654.2555

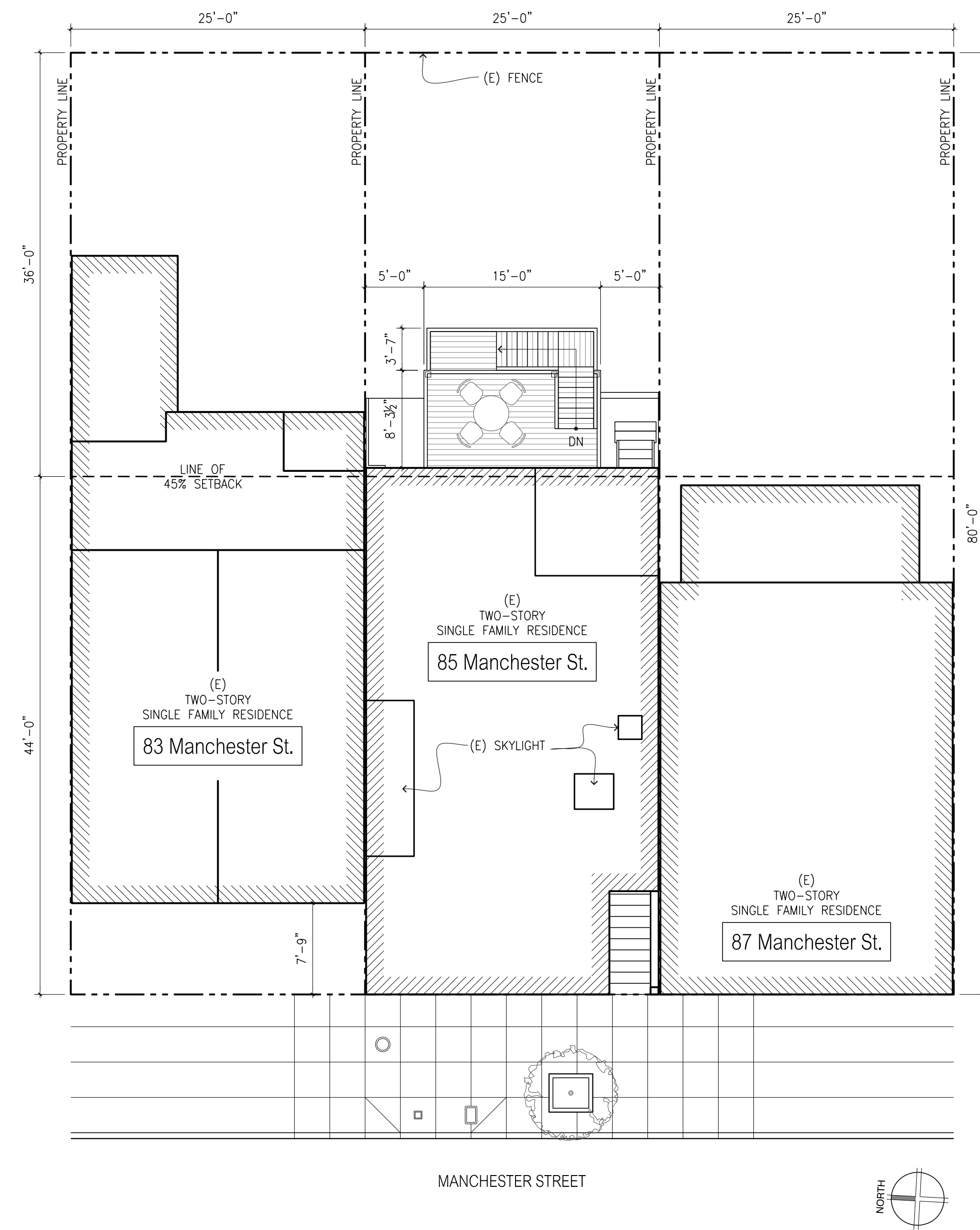
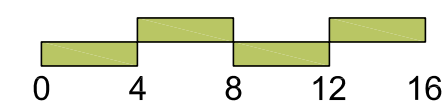


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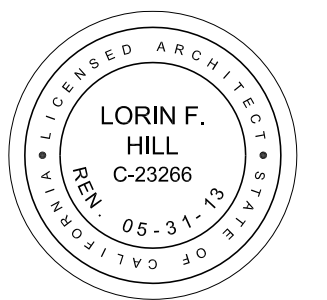
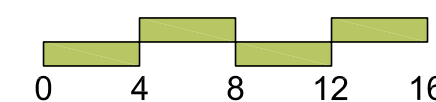
EXISTING SITE PLAN

1/8" = 1'-0"



PROPOSED SITE PLAN

1/8" = 1'-0"



ROTKIN-ELLMAN-CHERTOK  
REAR YARD DECK ADDITION  
85 MANCHESTER STREET  
SAN FRANCISCO . CALIFORNIA . 94110

Print Date:  
05 . 14 . 2012  
SECTION 311 -  
NEIGHBORHOOD  
NOTIFICATION  
06 . 14 . 2012  
APPLICATION FOR  
VARIANCE

drawing title:  
Existing And  
Proposed  
Site Plans

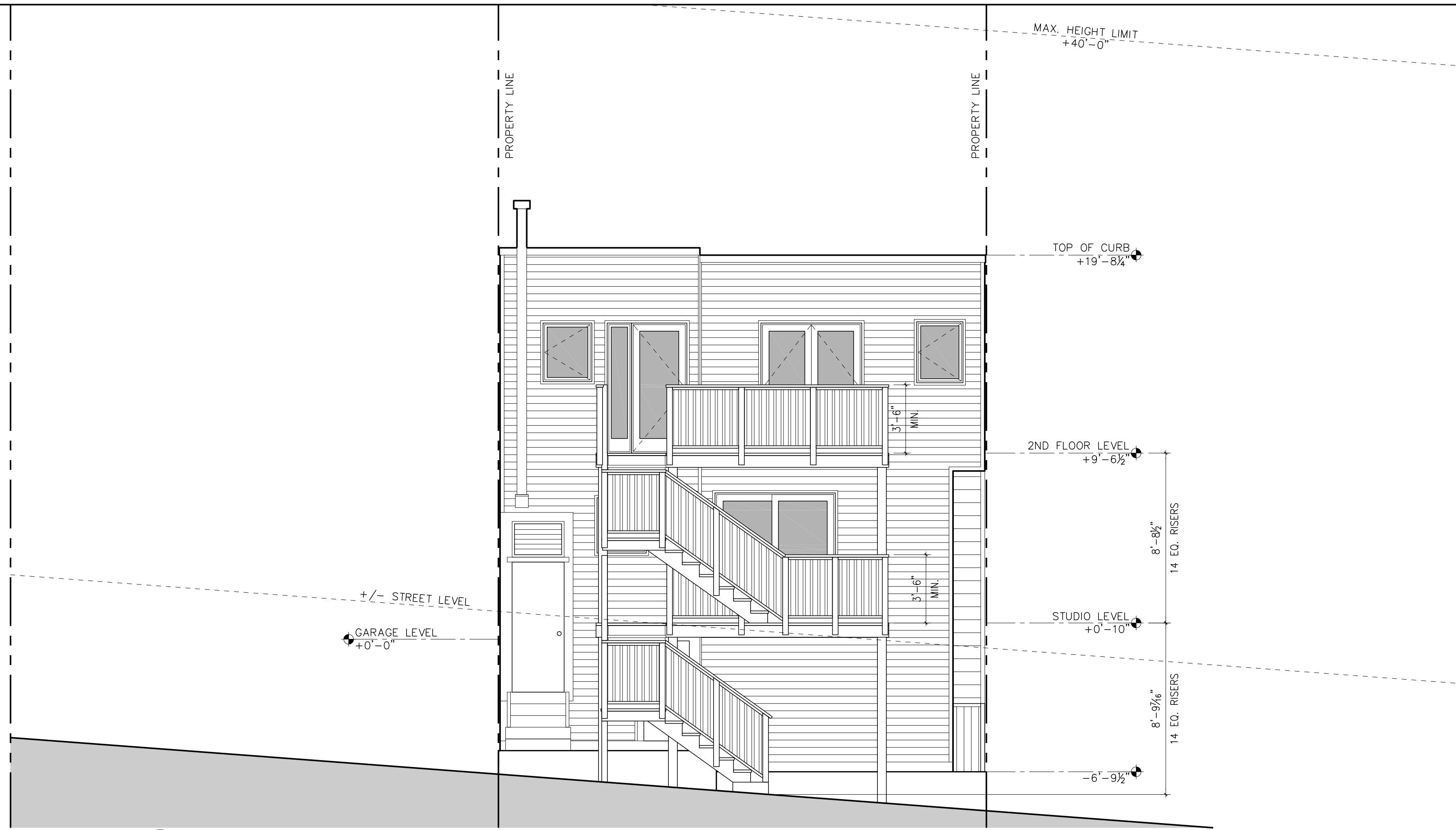
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date:  
05 . 14 . 2012  
scale:  
As Noted

sheet no.:

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project no.: 1117

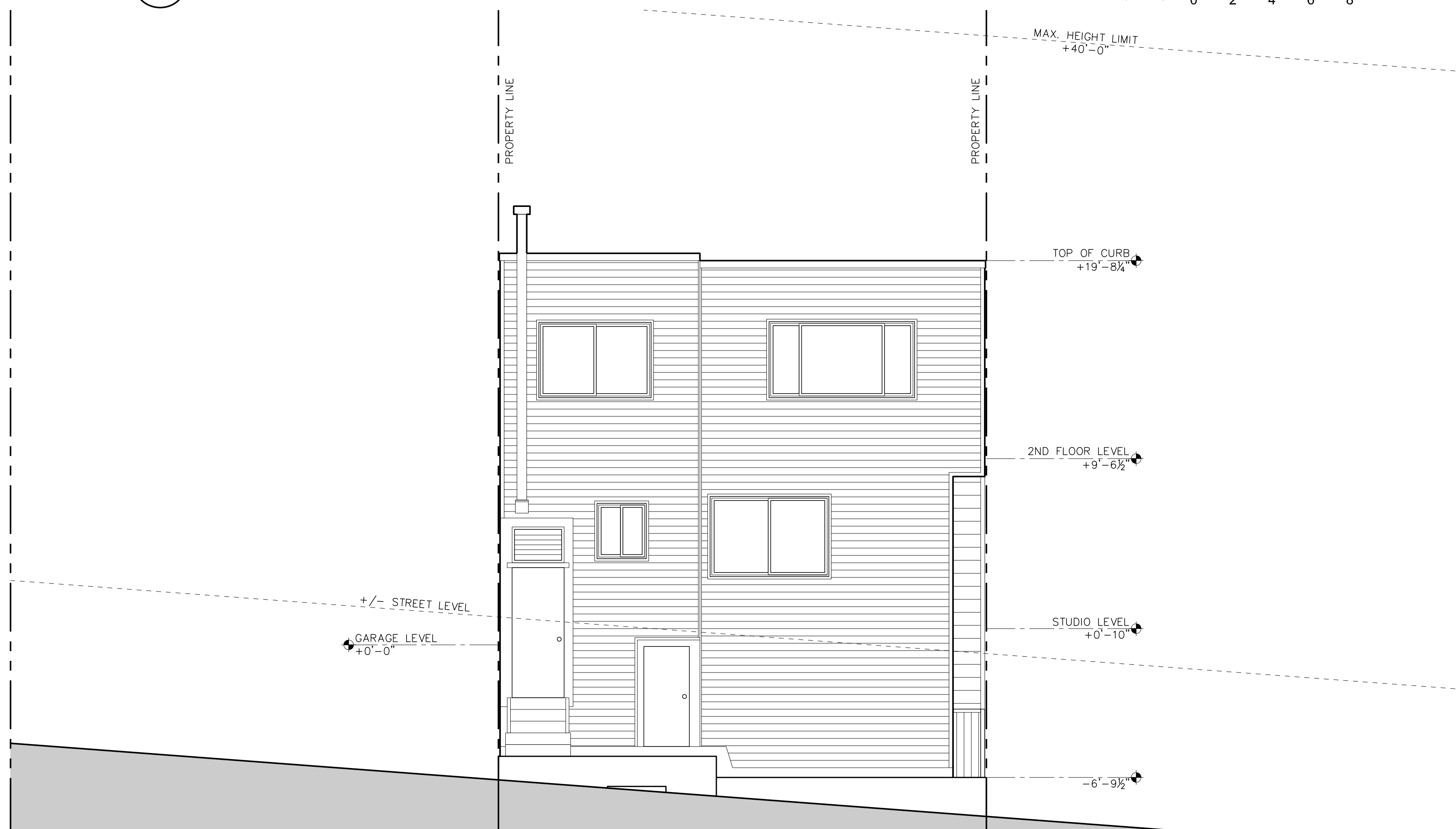
LORIN HILL  
ARCHITECT  
lorin@hillarch.com  
tel. 510.654.2552  
fax. 510.654.2555  
8573 Shattuck Avenue  
Concord, California 94608

1117



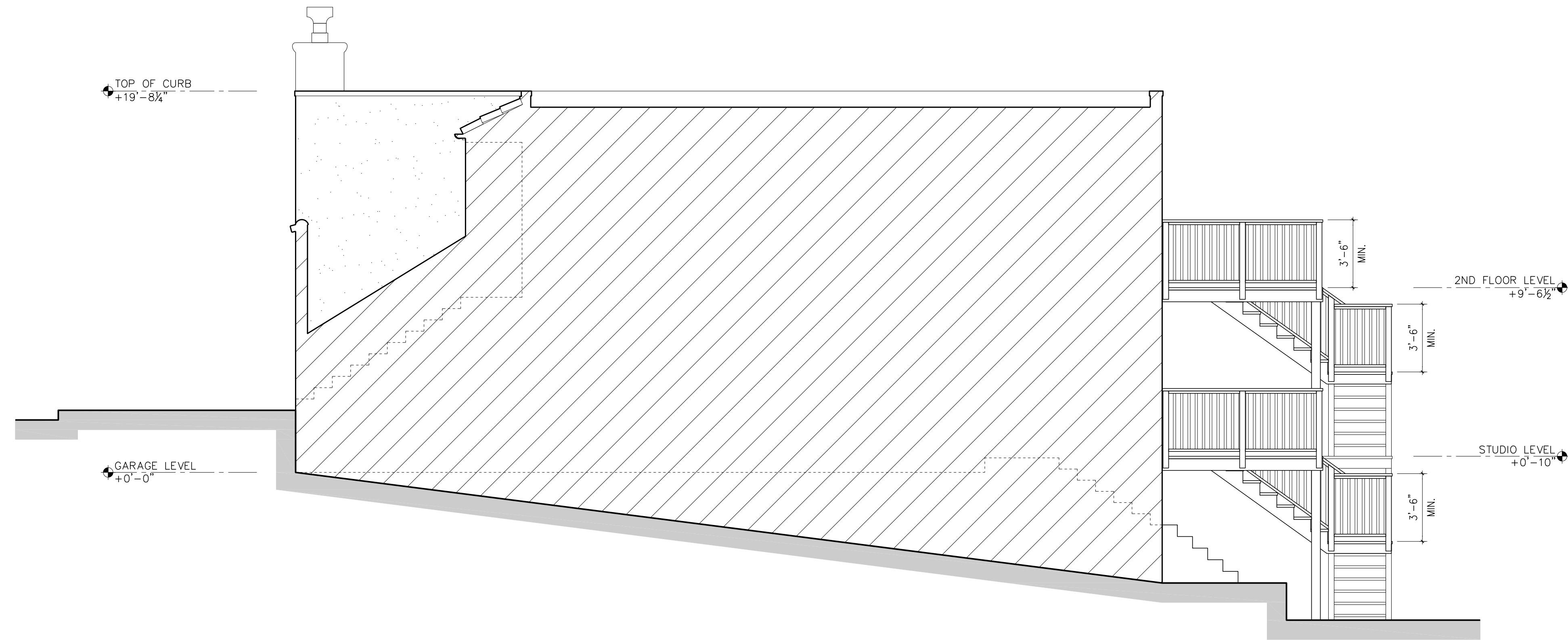
PROPOSED BUILDING ELEVATION - EAST (REAR YARD)

2



EXISTING BUILDING ELEVATION - EAST (REAR YARD)

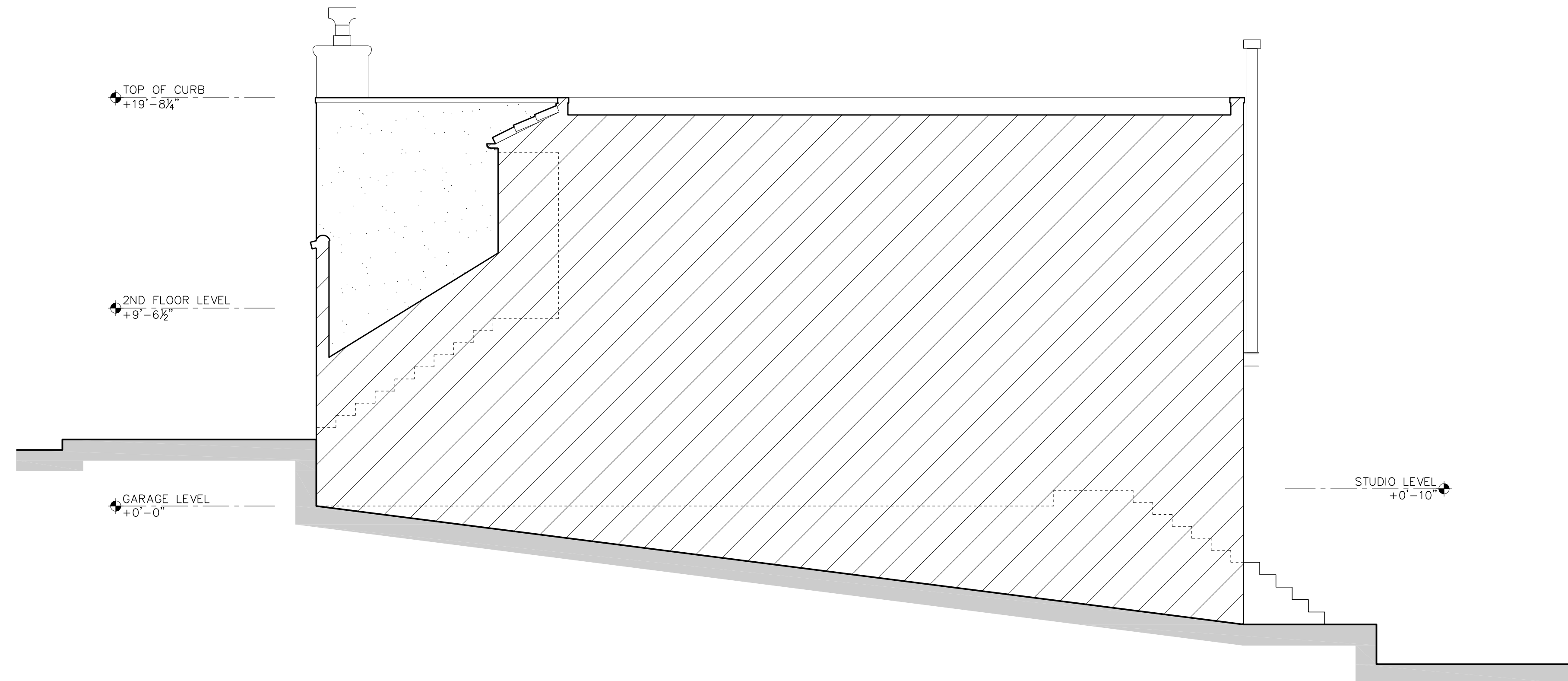
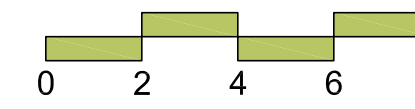
1



2  
-

PROPOSED BUILDING ELEVATION - SOUTH (SIDE)

1/4" = 1'-0"



1  
-

EXISTING BUILDING ELEVATION - SOUTH (SIDE)

1/4" = 1'-0"

