



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 24, 2013**
(continued from the February 27th Variance hearing)
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1655 Page Street	Case No.:	2012.0715V
Cross Street(s):	Clayton Street & Ashbury Street	Building Permit:	2013.01.17.8237
Block /Lot Nos.:	1231 / 029	Applicant (agent):	Ian Read
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 699-1520
Area Plan:	N/A	E-Mail:	ian@mediumplenty.com

PROJECT DESCRIPTION

The proposal is to legalize the construction of a one-story deck and stairs built without permit at the rear of the two-story, two-unit building. The rear deck (approximately 12' wide by 7'-6" deep by 11'-6" above grade) extends from the main building wall with stairs to grade extending into the required rear yard.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 58 feet for the subject property. The rear deck and stairs are located entirely within the required rear yard; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0715V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

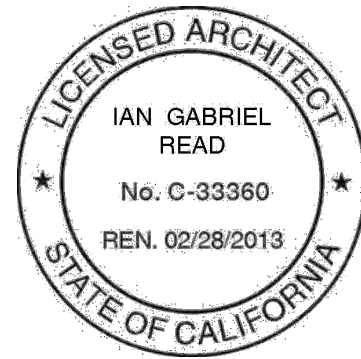
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

CONTACT

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Oakland, CA 94612

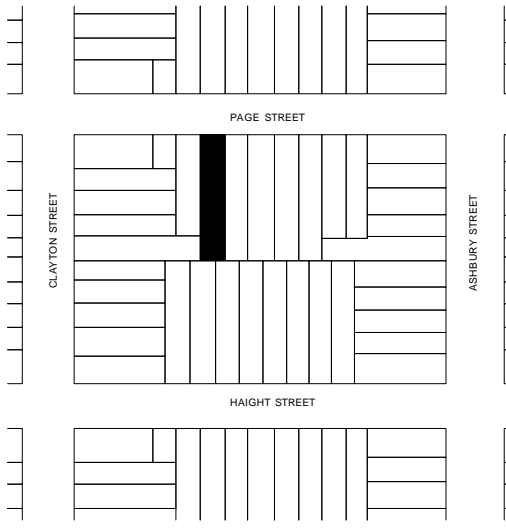
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ARCHITECT'S SEAL



PROJECT

PAGE STREET RESIDENCE
1655 Page Street
San Francisco, CA 94117



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PAGE STREET RESIDENCE

ABBREVIATIONS

AFT	ABOVE FINISH FLOOR	MEMB	MEMBRANE
ALUM	ALUMINUM	MFR	MANUFACTURER
APPROX	APPROXIMATELY	MIN	MINIMUM
ARCH	ARCHITECTURAL, ARCHITECT	MISC	MISCELLANEOUS
BD	BOARD	MLDG	MOULDING
BLDG	BUILDING	MTL	METAL
BLKG	BLOCKING	NA	NOT APPLICABLE
BO	BOTTOM OF	NEG	NEGATIVE
BOT	BOTTOM	NIC	NOT IN CONTRACT
BYD	BEYOND	NIS	NOT IN SCOPE
CAB	CABINET	NO	NUMBER
CH	CEILING HEIGHT	NOM	NOMINAL
CIP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONTROL JOINT	OA	OVERALL
CL	CENTER LINE	O.C.	ON CENTER
CLNG	CEILING	O.D.	OUTSIDE DIAMETER
CLOS	CLOSET	OPG	OPENING
CLR	CLEAR	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNITS	OSB	ORIENTED STRAND BOARD
COL	COLUMN	OVER	OVERHEAD
CONC	CONCRETE	PAR	PARALLEL
CONT	CONTINUOUS	PART	PARTITION
CONTR	CONTRACTOR	PC	PIECE
CPT	CARPET	PERF	PERFORATION, PERFORATED
CT	CERAMIC TILE	PERP	PERPENDICULAR
CTSK	COUNTERSINK	PL	PLATE, PROPERTY LINE
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DF	DOUGLAS FIR	PLYWD	PLYWOOD
DG	DECOMPOSED GRANITE	PR	PAIR
DTL	DETAIL	PRELUM	PRELIMINARY
DIA	DIAMETER	PROJ	PROJECT, PROJECTION
DAG	DIAGONAL	PROP	PROPERTY
DM	DIMENSION	PRPT	PARAPET
DIV	DIVISION	PT	PRESSURE TREATED
DN	DOWN	PSI	POUNDS PER SQUARE INCH
DR	DOOR	R	RADIUS, RISER
DW	DISHWASHER	REQD	REQUIRED
DWG	DRAWING	RET	RETURN
EXST	EXISTING	REV	REVISED
EA	EACH	RM	ROOM
EJ	EXPANSION JOINT	RND	ROUND
ELEV	ELEVATION	RO	ROUGH OPENING
ELEC	ELECTRICAL	RUB	RUBBER
EQ	EQUAL	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EST	ESTIMATE(D)	SECT	SECTION
EXC	EXCAVATED(D)	SHT	SHEET
FAB	FABRICATED	SHTG	SHEATHING
FD	FLOOR DRAIN	SIM	SIMILAR
F.F.	FINISH FLOOR	SPEC	SPECIFICATIONS
FN	FINISHED	SQ	SQUARE
FLSG	FLASHING	SS	STAINLESS STEEL
FLEX	FLEXIBLE	STD	STANDARD
FLR	FLOOR	STL	STEEL
FOUN	FOUNDATION	STOR	STORAGE
FP	FIREPROOFING	STRUCT	STRUCTURAL
REF	REFRIGERATOR	SUB	SUBSTITUTE
FT	FEET, FOOT	SUSP	SUSPENDED
FTG	FOOTING	SSA	SEE ARCHITECTURAL DRAWINGS
GA	GALLON	SSD	SEE STRUCTURAL DRAWINGS
GAL	GALVANIZED	SYM	SYMMETRICAL
GALV	GALVANIZED	SYS	SYSTEM
GD	GARBAGE DISPOSAL	T	TREAD
GEN	GENERAL	T&G	TONGUE AND GROOVE
GL	GLASS, GLAZING	T-STAT	THERMOSTAT
GR	GRADE	T.C.	TRASH COMPACTOR
GWB	GYPSPUM WALL BOARD	TEMP	TEMPERATURE
GYP	GYPSPUM	THRESH	THRESHOLD
HDWD	HARDWOOD	THRU	THROUGH
HORIZ	HORIZONTAL	TOC	TOP OF CONCRETE
HP	HIGH POINT	TOP	TOP OF PLANTER
HT	HEIGHT	TOS	TOP OF SLAB
ID	INSIDE DIAMETER	TOIL	TOILET
IN	INCH	TOW	TOP OF WALL
INCR	INCREASE	TYP	TYPICAL
INFO	INFORMATION	UL	UNDERWRITER'S LABORATORY
INSUL	INSULATION	UNFIN	UNFINISHED
INT	INTERIOR	VIF	VERIFY IN FIELD
INV	INVERT	VAR	VARIABLE
JST	JOIST	VERT	VERTICAL
JO	JOINT	VOL	VOLUME
KO	KNOCK OUT	W	WITH
KP	KICK PLATE	W/O	WITHOUT
LAM	LAMINATE	WANSOT	WANSICOT
LAV	LAVATORY	W/C	WATER CLOSET
LIN	LINEAR	WDO	WOOD
LT	LIGHT	WH	WATERHEATER
LTG	LIGHTING	WIN	WINDOW
MAS	MASONRY	WP	WATERPROOFING
MAT'L	MATERIAL	WS	WEATHERSTRIP
MAX	MAXIMUM	WT	WEIGHT
MCH	MECHANICAL	YO	YARD
		#	NUMBER

GENERAL NOTES

ALL WORK TO CONFORM TO

2010 California Building Code
2010 California Mechanical Code
2010 California Electric Code
2010 California Plumbing Code
2010 Oakland Fire Code
2010 California Building Energy Efficiency Standards
2010 California Green Building Standards (CALGreen) Code

- Dimensions are to face of finish unless otherwise noted. Dimensions noted with +/- symbol can "float" depending on actual field dimensions. Dimensions without +/- symbol are to be fixed as written. Grid dimensions are to center of structure unless otherwise noted.
- Do not scale drawings. Written dimensions and notes to take precedence over scaled dimensions. Large scale drawings take precedence over small scale drawings.
- New walls or footings to be aligned with existing walls. Any work relating to but not aligning with existing conditions shall be brought to the Designer's attention by the Contractor.
- Contractor to notify Designer of discrepancies before starting work or as they arise.
- Designer will not be responsible for any changes in plans, details or specifications unless approved in advance of construction.
- Coordinate exact location of all electrical fixtures and outlets with Designer in field.
- All Mechanical equipment including, but not limited to, grills, ducts, vents, registers, flues etc. to be coordinated with Architectural drawings.
- Contractor is responsible for locating and protecting all on site utilities and conditions as necessary. CALL BEFORE DIGGING 1-800-227-2600 (Underground Service Alert)

PROJECT TEAM

CLIENT

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San Francisco, CA 94117

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E anneevans@gmail.com

ARCHITECT

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License # C-33660

Contact: Ian Read

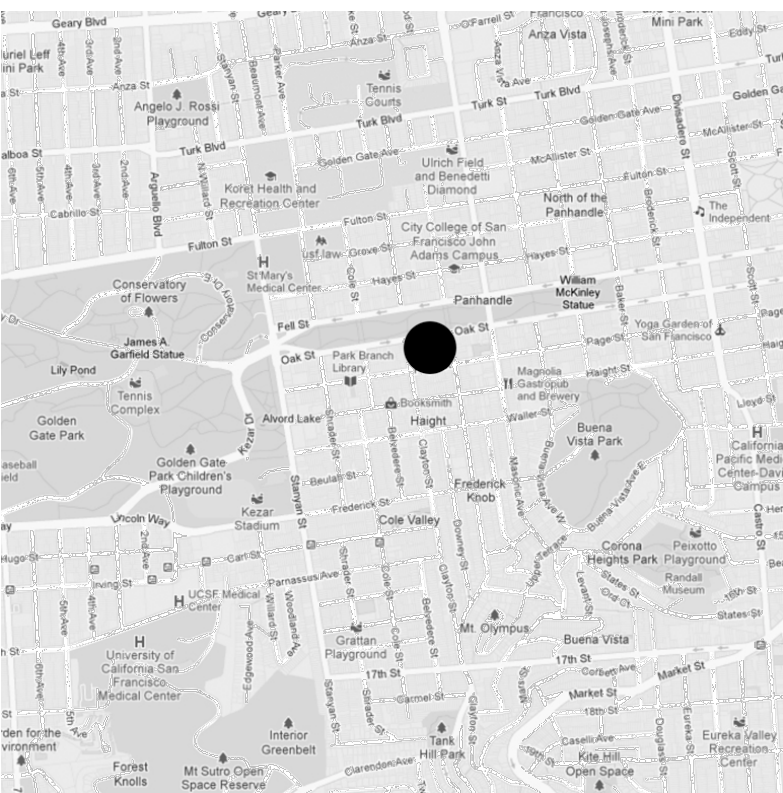
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STRUCTURAL ENGINEER

St. Onge + Associates
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Oakland, CA 94606

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E gsoeng@aol.com

LOCATION MAP



DRAWING INDEX

ARCHITECTURAL

A001 COVER SHEET
A200 PLANS + SITE PLAN
A400 SECTIONS, ELEVATIONS + DETAILS

STRUCTURAL

S1 PLANS + DETAILS
S2 GENERAL NOTES

REVISIONS + ISSUES

NO.	DESCRIPTION	DATE
1	VARIANCE APPLICATION	4/21/2012
2	PERMIT SUBMITTAL	01/14/2013

SHEET SYMBOLS

	INTERIOR ELEVATION NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	BUILDING SECTION
	STRUCTURAL GRID LINE
	DETAIL NUMBER
	WALL TYPE
	REFERENCE ELEVATION
	NEW WALL
	WALL TO BE REMOVED

CODE COMPLIANCE

Zoning Data

Addresses: 1653 + 1655

Parcel 1231/029

Zoning District: RH-3 Residential- House, Three Family

Height + Bulk District: 40-X

Parcel 1231/029

Neighborhood Haight Ashbury

Historic Designation: B- Potential Historic Resource

Construction Type: Frame, Type VN

Stories- 2

Use Type: Flats + Duplex

Units: 2

Zoning Compliance	Existing	Proposed	Allowed/Required	
Setbacks:				
Front	6'0"	6'0"	15' Min.	
Rear	52'2"	52'2"	34' Min.	
Side	0"	0"	3'0"	
Lot Width	27'6"	27'6"	25' Min.	
Open Space	1404	1404	130 SF Min.	

Building + Site Data	Existing	Proposed	Additional	Allowed/Required
Lot Area	3781	3781	No Change	2500 SF Min
Building Area	3730	3730	No Change	N/A
Lot Coverage	21%	21%	No Change	N/A

Parking	2 Spaces	2 Spaces	No Change	1.5 Spaces Min.
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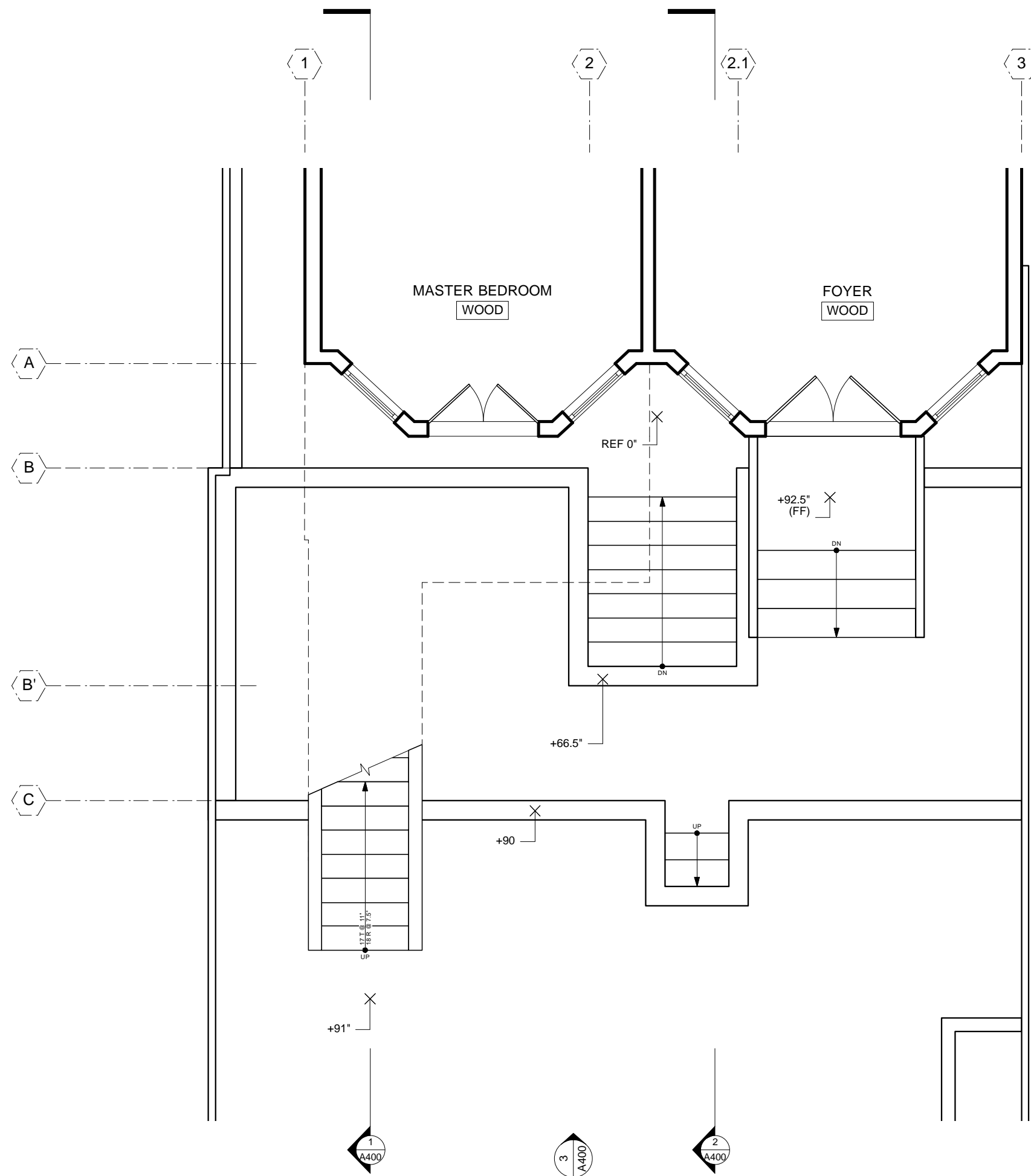
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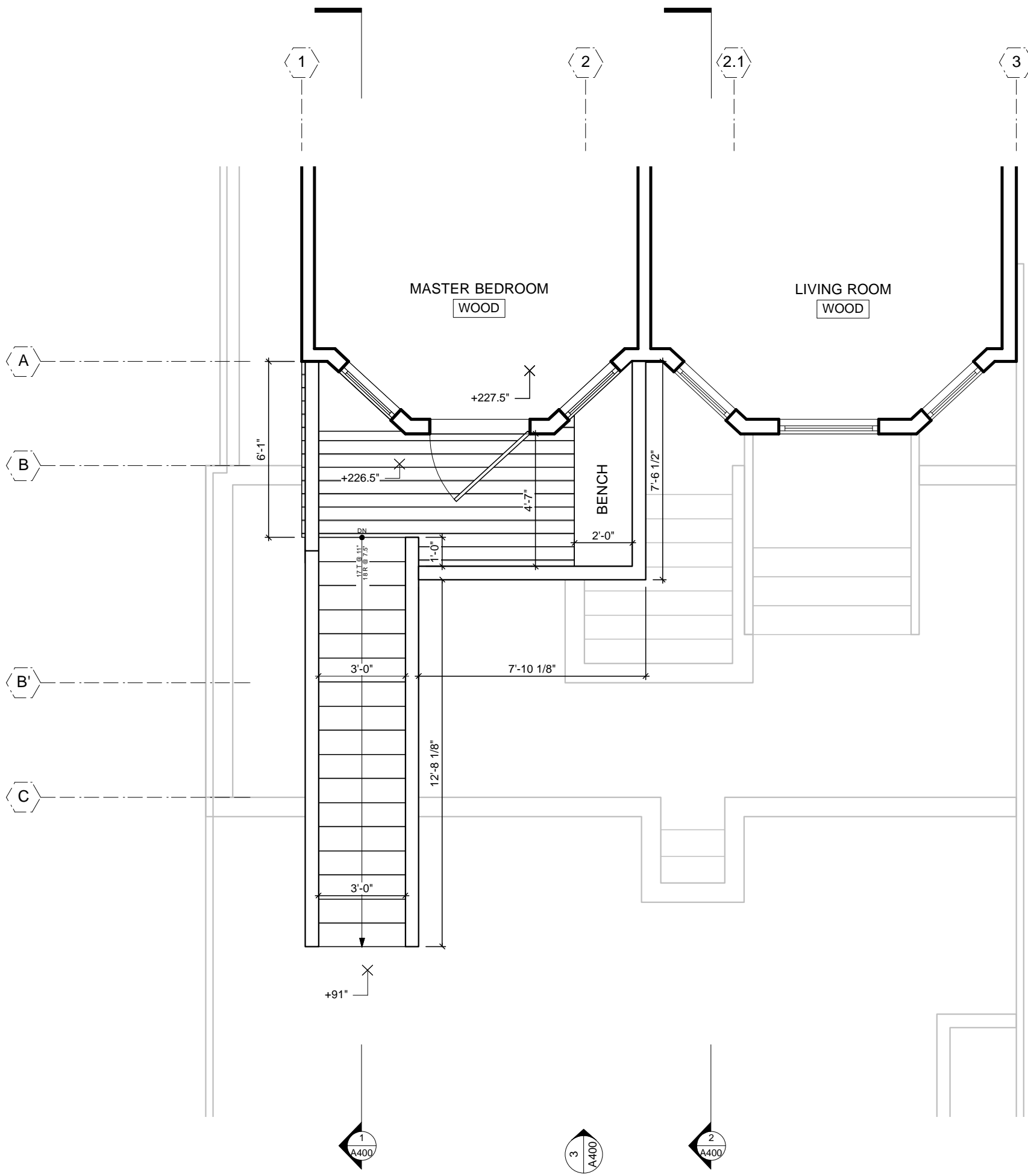
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COVER SHEET

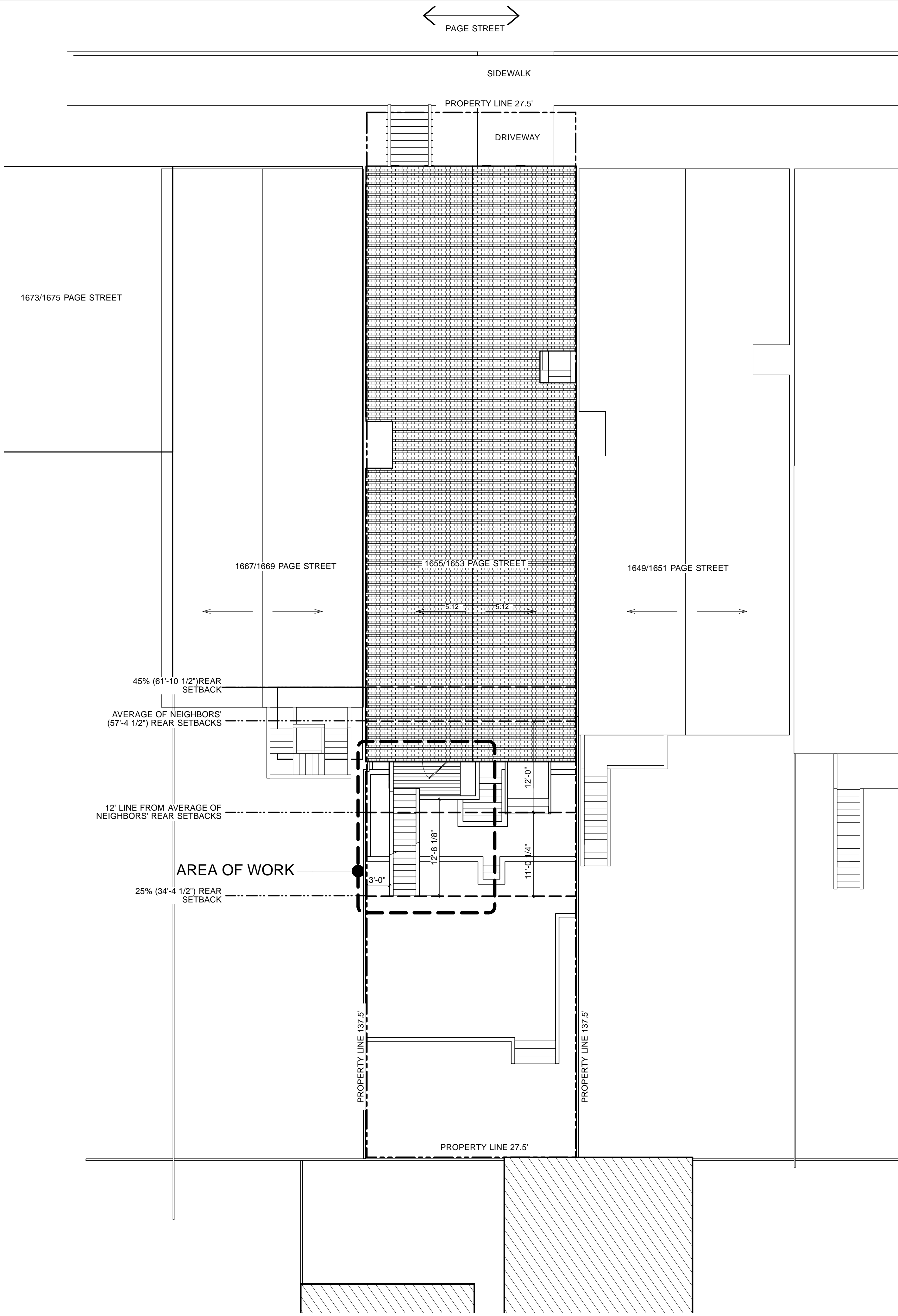
PHASE	PERMIT SUBMITTAL
SCALE	N/A



2 GROUND FLOOR PLAN 1/4" = 1'-0"



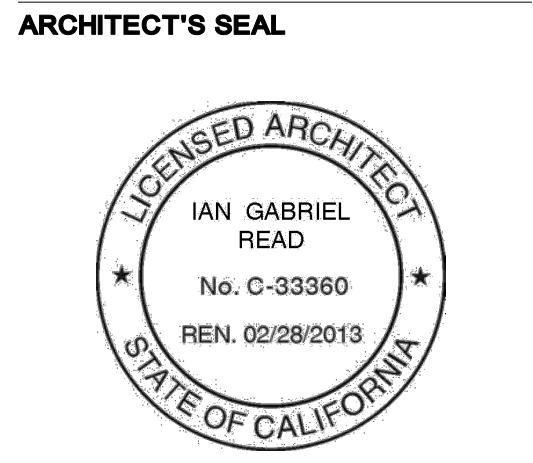
3 SECOND FLOOR PLAN 1/4" = 1'-0"



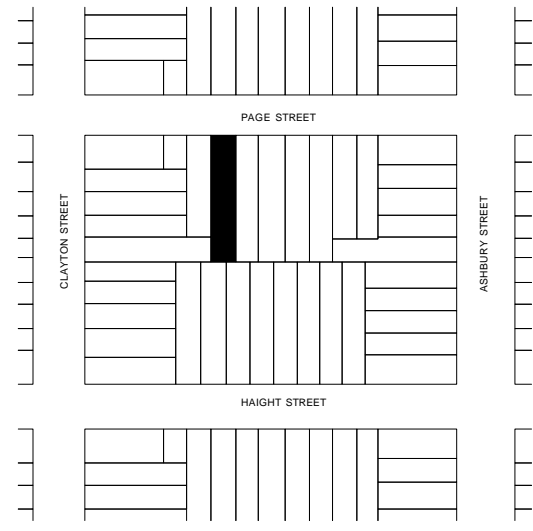
1 SITE PLAN 1/8" = 1'-0"

MEDIUM PLENTY

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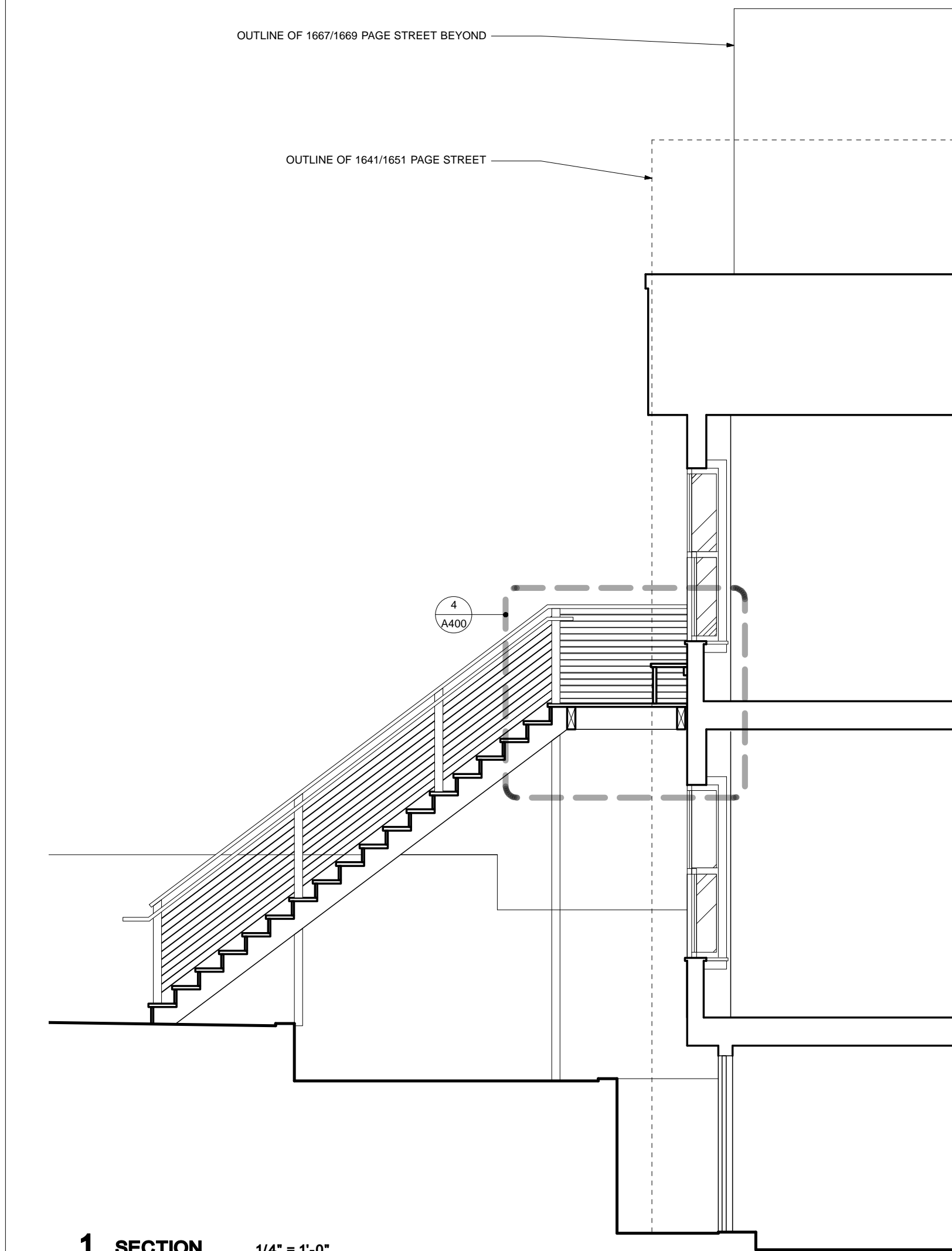


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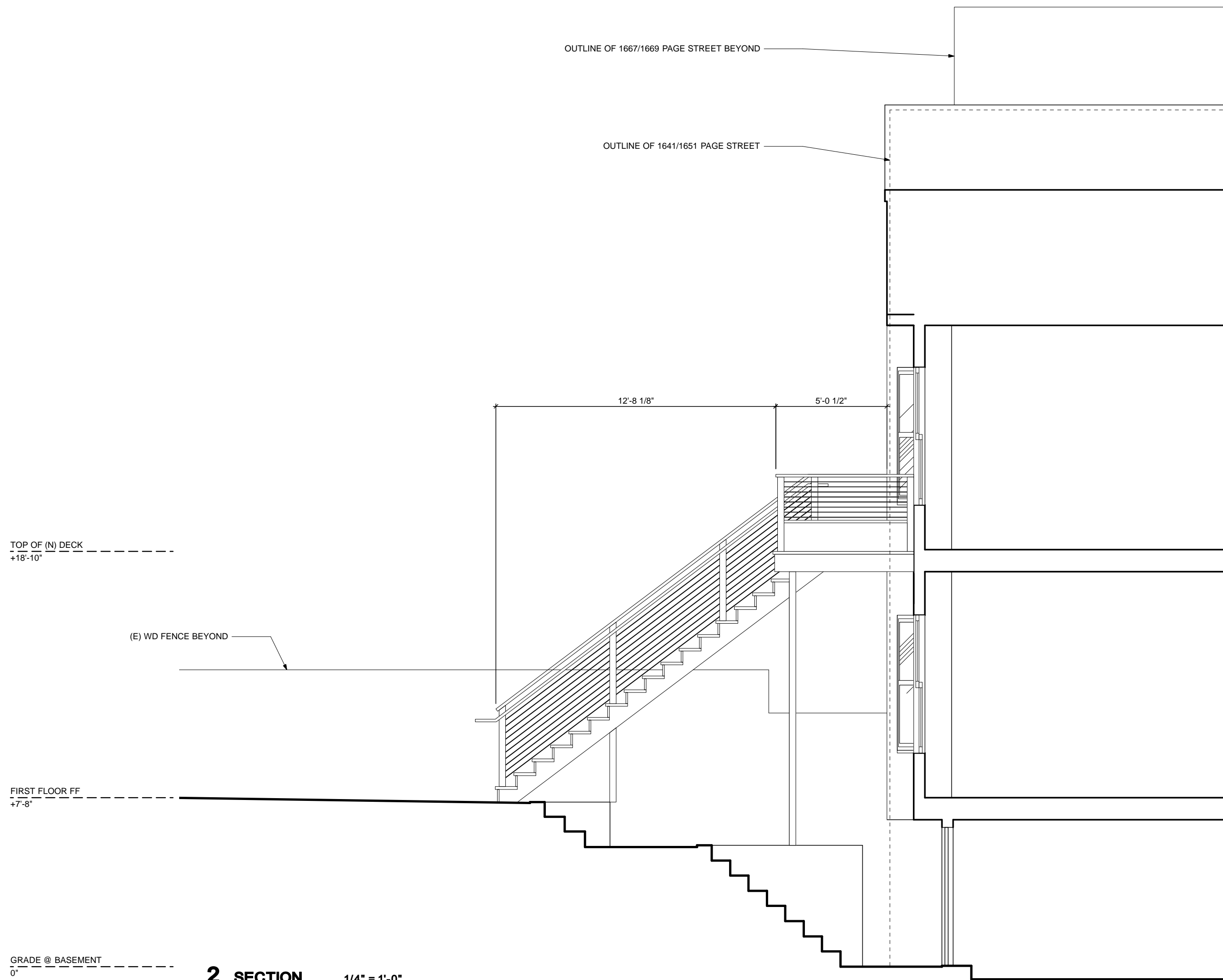
REVISIONS + ISSUES		
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SITE PLAN + EXISTING PLANS

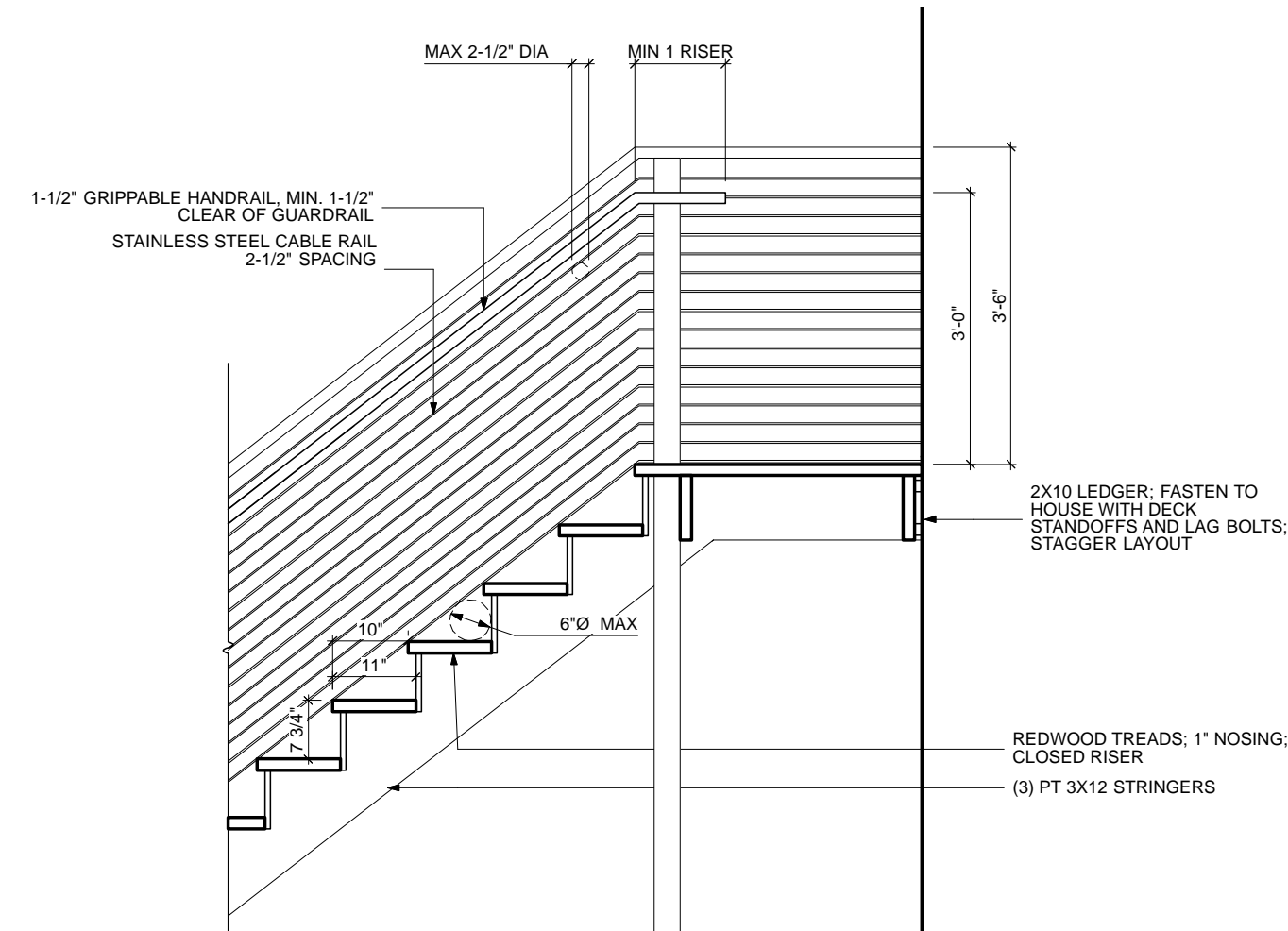
PHASE PERMIT SUBMITTAL
SCALE AS NOTED



1 SECTION 1/4" = 1'-0"



2 SECTION 1/4" = 1'-0"



4 DETAIL 1/2" = 1'-0"



3 REAR ELEVATION 1/4" = 1'-0"

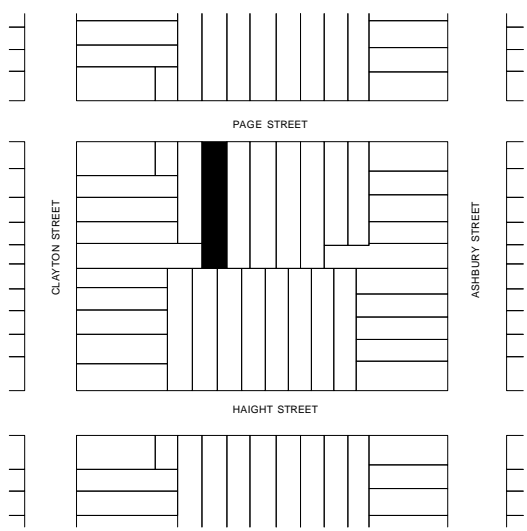
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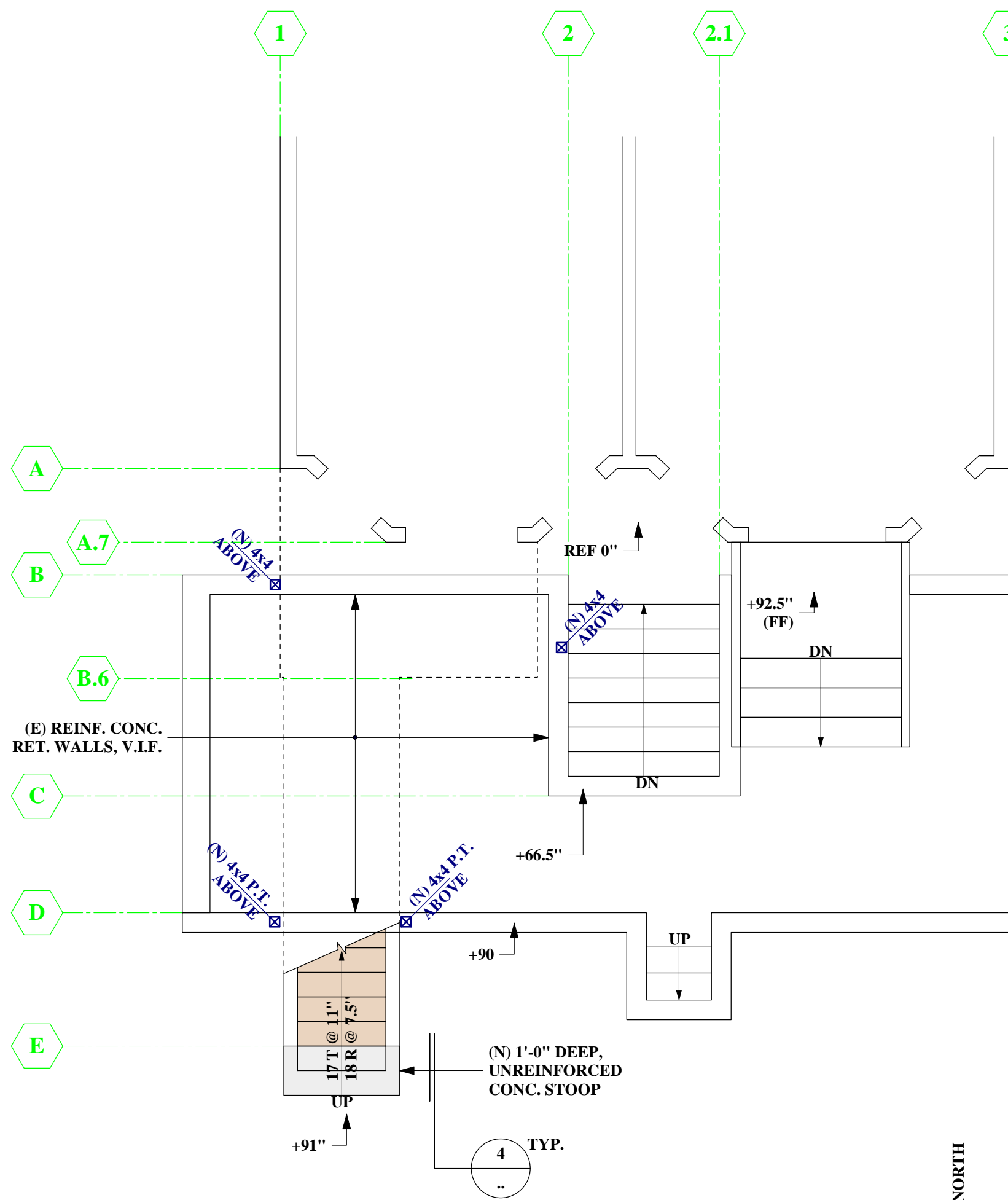
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REVISIONS + ISSUES		
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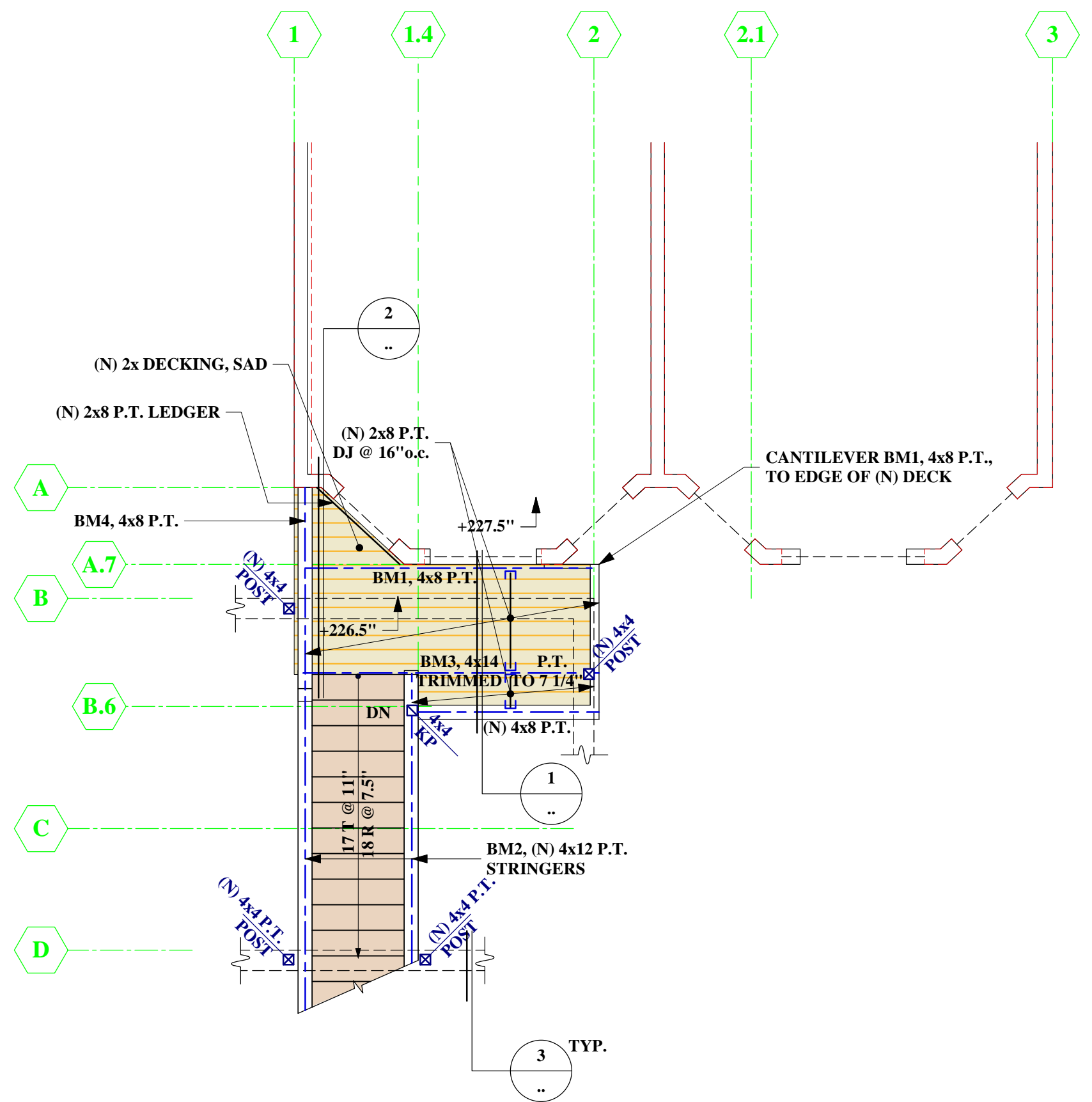
SECTIONS, ELEVATIONS + DETAILS

PHASE PERMIT SUBMITTAL
SCALE

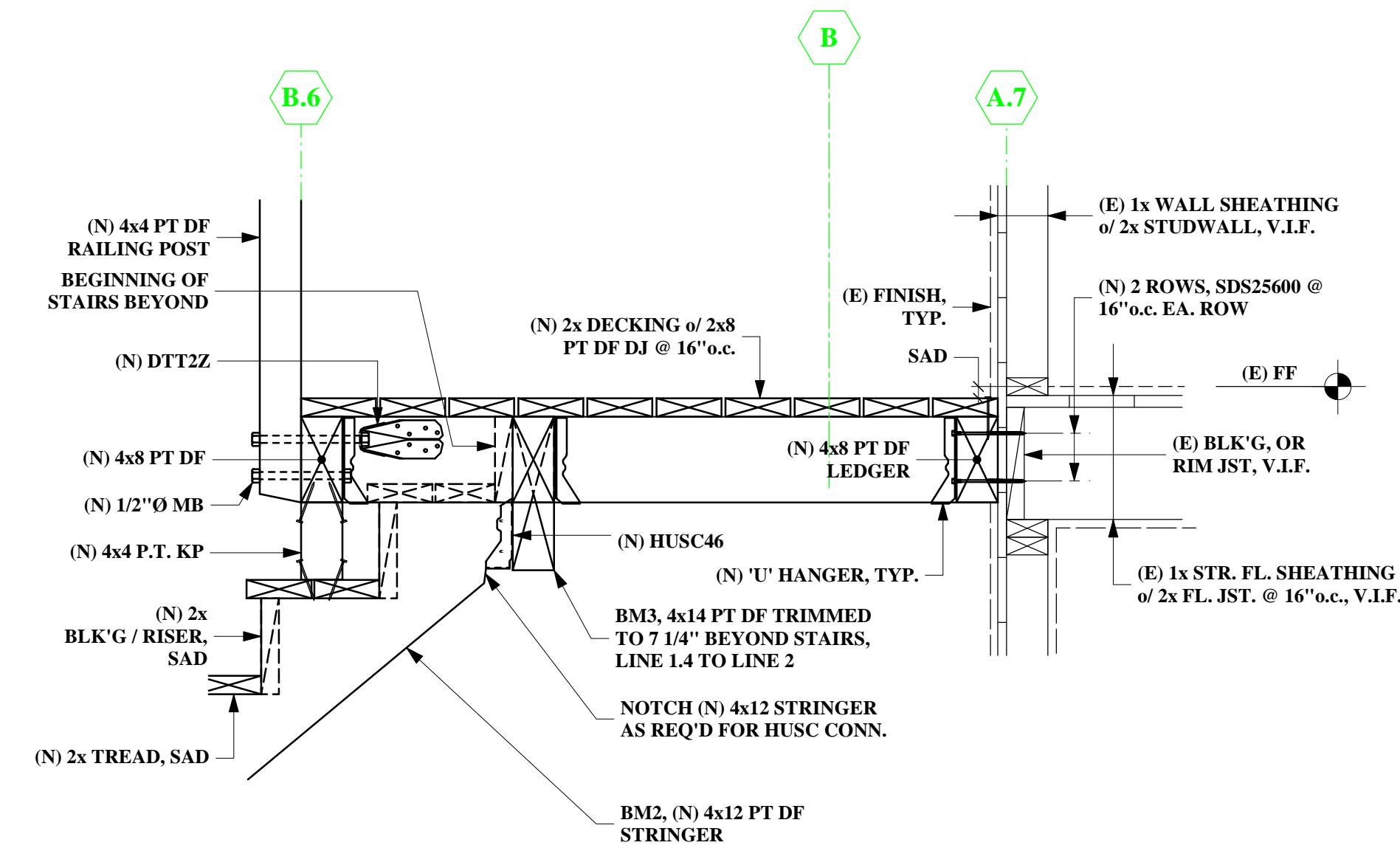
A400



PARTIAL GROUND FLOOR PLAN
1/4" = 1'-0"

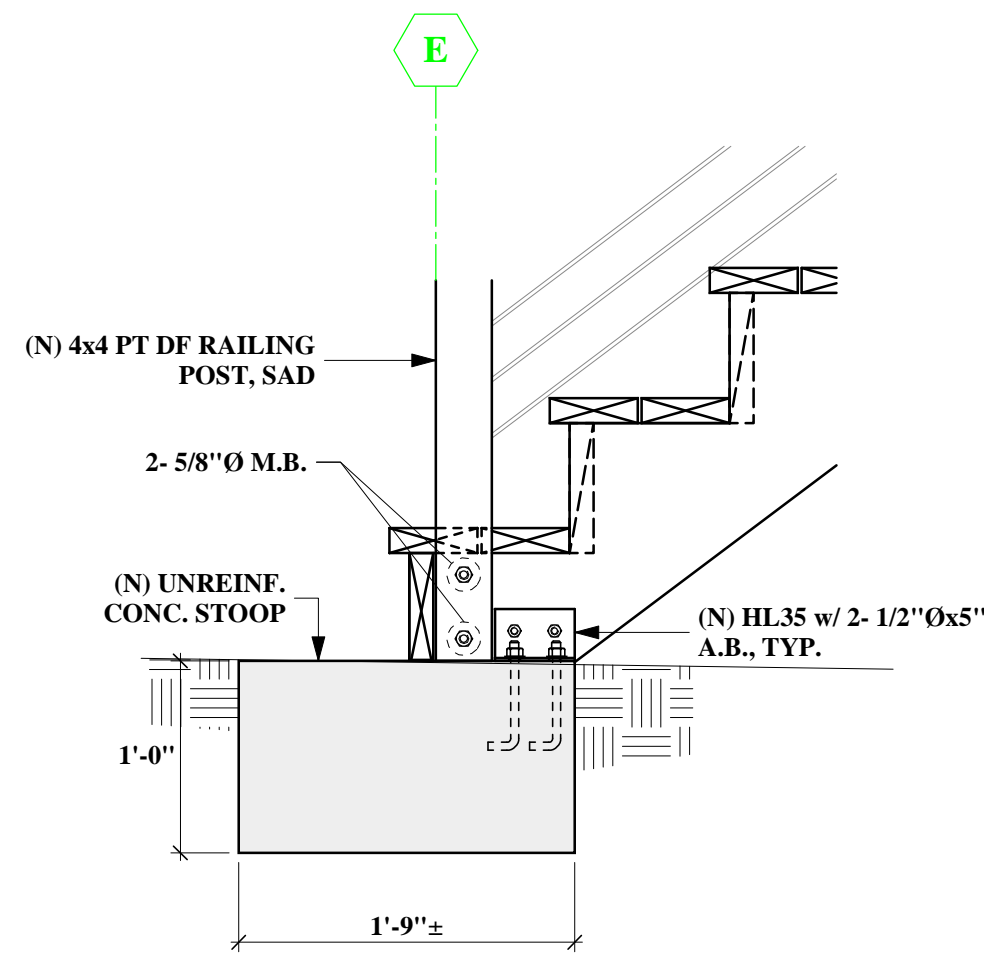


PARTIAL SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

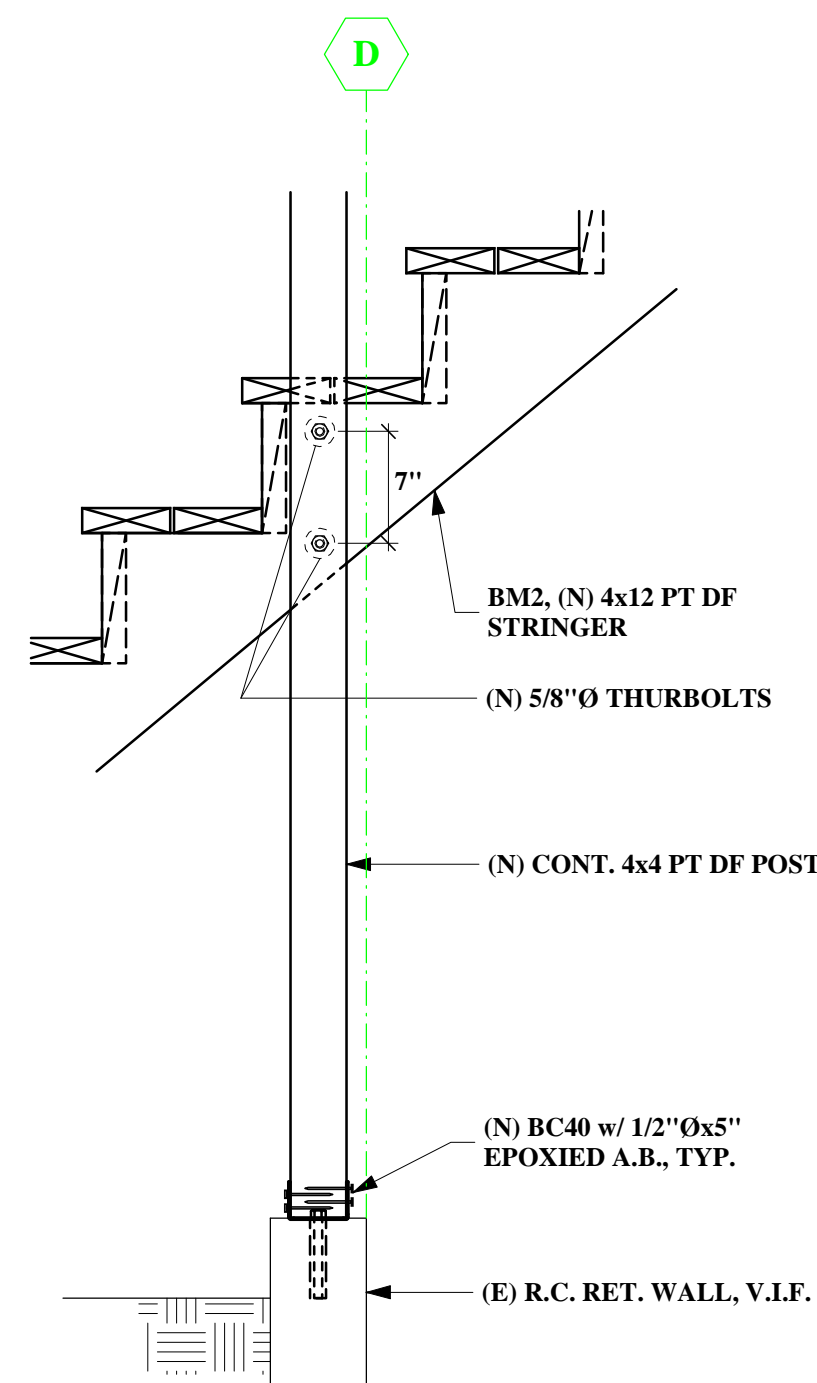


1 SECTION @ (N) STAIRS & DECK, & (E) FLOOR
1" = 1'-0"

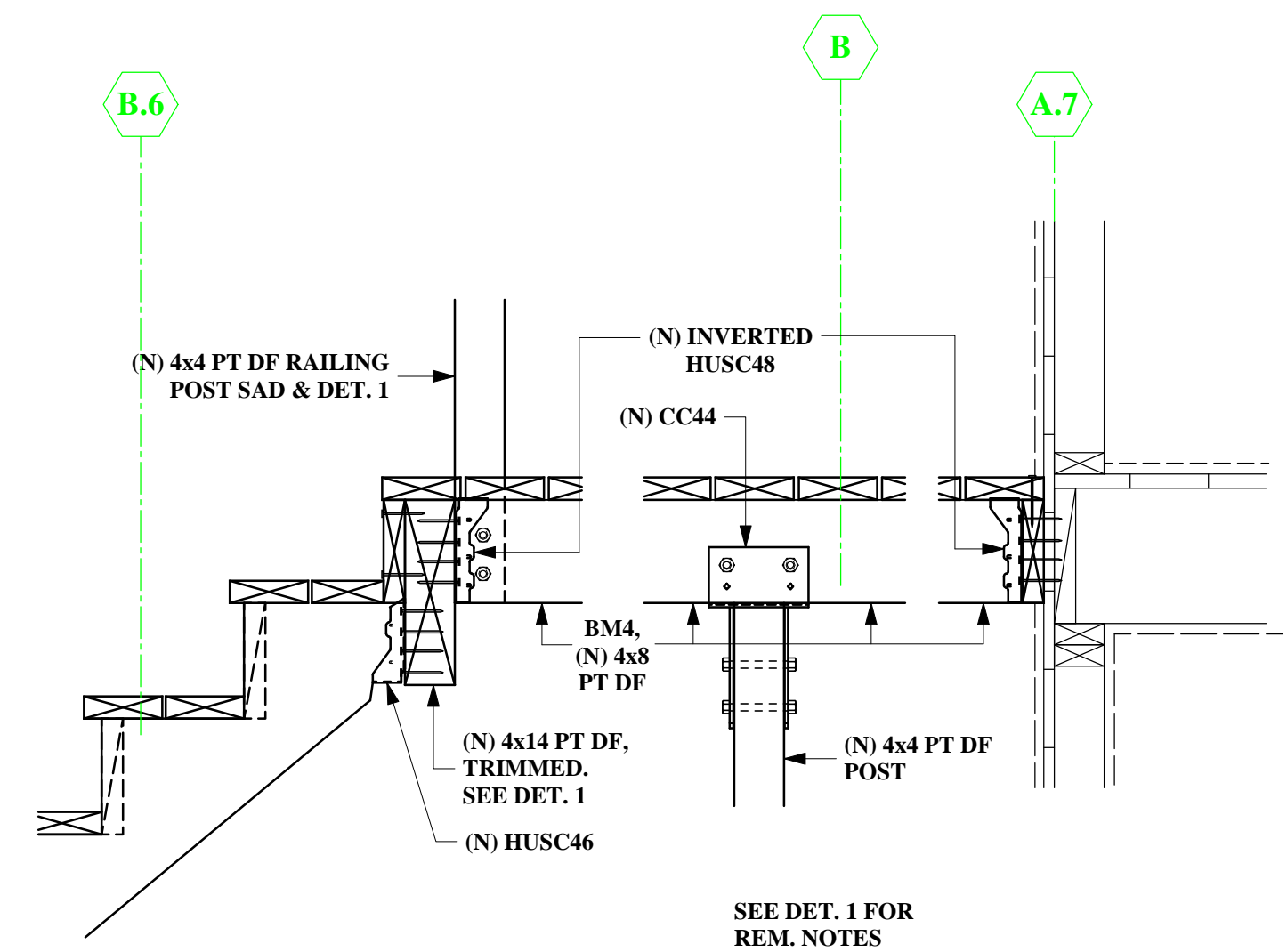
LEGEND	
	(N) DECK AREA
	(N) STAIRS
	(N) CONC. AREA
	(E) STRUCTURAL WALL ABOVE
	(E) OR (N) STRUCTURAL WALL BELOW
	(N) JOIST
	(N) BEAM
	(E) BEAM OR JOIST
	(N) POST
	REFER TO STRUC'L CALC'S



4 SECTION @ (N) STOOP
1" = 1'-0"



3 SECTION @ (N) 4x4 POST
1" = 1'-0"



2 SECTION @ LINE 1
1" = 1'-0"

REVISIONS	BY

Engineer:
ST. ONGE & ASSOCIATES

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(N) Deck Addition
1655 Page Street
San Francisco, CA 94117

PARTIAL GROUND FLOOR PLAN, PARTIAL SECOND FLOOR FRAMING PLAN, & DETAILS

DRAWN
JAC
CHECKED
GSO
DATE
October 14, 2011
SCALE
As Noted
JOB
11156
SHEET

S1

of 2 sheets

STRUCTURAL NOTES

GENERAL

- APPLYING TO ALL STRUCTURAL FEATURES UNLESS OTHERWISE SHOWN OR NOTED.
1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE 2010 SAN FRANCISCO BUILDING CODE (SIBC).
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 3. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
 4. UNLESS OTHERWISE SHOWN OR NOTED, FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS FOR ALL STRUCTURAL PRODUCTS USED ON THIS PROJECT.
 5. THE APPROVED DRAWING SHALL BE KEPT ON THE JOB SITE AND SHALL BE AVAILABLE TO AUTHORIZED REPRESENTATIVES OF THE BUILDING OFFICIAL. THERE SHALL BE NO DEVIATION FROM THE STAMPED DRAWINGS WITHOUT OFFICIAL APPROVAL.
 6. SAFETY MEASURES: AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PEOPLE AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS.
 7. ANY OPENING, HOLES, CUTS OR DISCONTINUITIES NOT SHOWN ON THE STRUCTURAL DRAWINGS AND EXTENDING INTO OR THROUGH STRUCTURAL ELEMENTS REQUIRE THE PRIOR APPROVAL OF THE ENGINEER, AND MAY REQUIRE SPECIAL STRUCTURAL DETAILING.
 8. CONTRACTORS SHALL SCHEDULE WORK TO MINIMIZE INTERRUPTION AND INCONVENIENCE TO THE ACTIVITIES OF THE ADJACENT BUILDING TENANTS.
 9. CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORKING AREA.
 10. CONTRACTOR SHALL COMPLY WITH CITY OF SAN FRANCISCO REQUIREMENTS FOR THE PROTECTION OF PUBLIC RIGHT-OF-WAY (SIDEWALKS).
 11. THE LOCATION OF EXISTING UTILITY LINES IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ENDEAVOR TO MAINTAIN IN SERVICE ALL UTILITIES TO THE TENANTS FOR THE DURATION OF THE PROJECT.
 12. INTENT:
IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR SPECIFIED.
 13. REFERENCE TO OTHER DRAWINGS:
 - 13.1 SEE DRAWINGS OTHER THAN STRUCTURAL FOR KINDS OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, FOR DRIVEWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.
 - 13.2 HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE CHECKED BY THE CONTRACTOR WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE PLUMBING, HEATING, VENTILATING AND ELECTRICAL DRAWINGS AND SUB-CONTRACTORS.

DESIGN DATA

1. CODE: CALIFORNIA BUILDING CODE, 2010 EDITION.
2. DESIGN VERTICAL LOADS:

	DL	LL
FLOORS	12 PSF	40 PSF
ROOF	12 PSF	20 PSF
WALLS	10 PSF	---

TESTS & INSPECTIONS

1. PROVIDE TESTS AND INSPECTIONS FOR ALL ITEMS AS REQUIRED BY THE 2010 CBC CODE.
2. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLAN.

FOUNDATIONS

1. CBC SITE CLASS 5 IS ASSUMED FOR FOUNDATION DESIGN.
2. ALLOWABLE SOIL BEARING PRESSURE: 1500 PSF FOR DEAD PLUS LIVE LOADS, 2000 PSF FOR ALL LOADS INCLUDING WIND OR SEISMIC

CONCRETE

1. CONCRETE CEMENT SHALL CONFORM TO 2010 CBC STND. NO. 19-1, AND SHALL BE TYPE II. TYPE I CEMENT MAY BE USED IN AREAS NOT IN CONTACT WITH EARTH. AGGREGATE SHALL BE HARDROCK, CONFORMING TO ASTM C-33, AND FREE OF ALKALI-REACTIVITY. WATER/CEMENT RATIO SHALL NOT EXCEED 55%. ACID SOLUBLE CHLORIDE CONTENT SHALL NOT EXCEED 0.2 PERCENT OF CEMENT WEIGHT. CHLORIDE-FREE ADMIXTURES AND PLASTICIZERS FOR WORKABILITY MAY BE USED IF APPROVED BY THE TESTING LABORATORY AND ENGINEER. BECAUSE EXCESS WATER REDUCES CONCRETE STRENGTH, ADDING WATER AT THE SITE IS DISCOURAGED AND SHALL NOT EXCEED ONE GALLON PER CUBIC YARD.
2. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING BARS AND SECURELY TIE PRIOR TO PLACING CONCRETE.
3. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN.
4. CONCRETE SHALL NOT BE ALLOWED TO CURE IN TEMPERATURES LESS THAN 40° FAHRENHEIT FOR THE FIRST THREE DAYS.
5. MAXIMUM SLUMP: 4 INCHES.

ROUGH CARPENTRY

1. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1, CALIFORNIA BUILDING CODE, 2010 EDITION. UNLESS OTHERWISE NOTED, ALL NAILS SHALL BE COMMON NAILS.
2. PLACE JOISTS WITH CROWN UP.
3. METAL FRAMING DEVICES:
PROVIDE TYPICAL CONNECTORS FOR WOOD FRAMING BY SIMPSON CO. OR EQUAL. ALL CONNECTIONS SHALL BE 16 GA. GALVANIZED SHEET METAL OR THICKER, U.O.N., FULLY NAILED IN ALL PUNCHED HOLES WITH NAILS OF SIZE AND LENGTH SPECIFIED AND/OR PROVIDED BY MANUFACTURER. IF CONNECTORS ARE AVAILABLE IN DIFFERENT SIZES, THE SIZE USED SHALL BE AS SHOWN IN DETAILS OR ELSE THE LARGEST SIZE MADE FOR THE DEPTH OF MEMBER BEING FRAMED. COMPARABLE FASTENERS BY OTHER MANUFACTURERS MAY BE USED IF APPROVED IN ADVANCE BY THE DESIGN ENGINEER.
UNLESS OTHERWISE NOTED, PROVIDE THE FOLLOWING FRAMING CONNECTIONS:
 - JOIST-TO-BEAM: SIMPSON U
 - BEAM-TO-POST: SIMPSON CC OR ECC
 - POST-TO-FOUNDATION: SIMPSON BC
4. ALL FRAMING LUMBER SHALL BE GRADE STAMPED S-DRY (19% MOISTURE CONTENT)
5. SAWN LUMBER:
U.O.N. ALL FRAMING LUMBER SHALL BE No. 1 GRADE DOUGLAS FIR LARCH (COAST REGION), GRADED AND MARKED IN ACCORDANCE WITH THE STANDARD GRADING RULES NUMBER 16 OF THE WEST COAST LUMBER INSPECTION BUREAU.
6. BOLTS:
 - 6.1 BOLTS SHALL BE PER ASTM A307, U.O.N.
 - 6.2 BOLT HOLES 1/16" OVERSIZE. THREADS SHALL NOT BEAR ON WOOD OR STEEL.
 - 6.3 USE STANDARD MALLEABLE IRON WASHERS AGAINST WOOD. 2 3/4" Øx 5/16" THICK FOR 5/8" BOLTS. 3" Øx 7/16" THICK FOR 3/4" BOLTS.
 - 6.4 ALL BOLTS EXPOSED TO WETTER OR PROLONGED DAMPNESS SHALL BE HOT-DIPPED GALVANIZED.
9. SCREWS:
 - 9.1 (WOOD OR LAG) SCREWS SHALL BE SCREWED AND NOT DRIVEN INTO PLACE.
 - 9.2 IN SPACING SCREWS, THE HOLES SHALL BE BORED TO THE SAME DIAMETER AND DEPTH OF THE SCREW SHANK. THE HOLES FOR THE THREADED PORTION OF THE SCREWS SHALL BE BORED WITH A BIT NOT LARGER THAN THE DIAMETER OF THE BASE OF THE THREAD.
10. WOOD PRESERVATIVE:
ALL WOOD FRAMING IN CONTACT WITH CONCRETE AND/OR EXPOSED TO WEATHER OR PROLONGED DAMPNESS SHALL BE TREATED WITH "CELLULOW" AT THE RATE OF 0.25 POUNDS PER CUBIC FOOT IN ACCORDANCE WITH AWPA SPECIFICATIONS, OR SHALL BE WOOD OF NATURAL RESISTANCE TO DECAY.

REVISIONS	BY

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GENERAL NOTES

DRAWN
JAC
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GSO
DATE
October 14, 2011
SCALE
As Noted
JOB
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