



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 25, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	331 Nevada St	Case No.:	2012.0702V
Cross Street(s):	Jarboe And Thompkins Avenues	Building Permit:	2012.01.31.3256
Block / Lot No.:	5699/027	Applicant/Agent:	Ian Murray
Zoning District(s):	RH-1 / 40-X / Bernal Heights SUD	Telephone:	415.255.9007
Area Plan:		E-Mail:	ianami@sbcglobal.net

PROJECT DESCRIPTION

The proposal includes removal of an existing rear deck (19'-5" by 17') at the first floor and construction of two new rear decks (19'-5" by 13') at the first and second levels.

PER SECTION 242(e)(2) OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 24' 6". A portion of the proposed deck at the first floor would extend approximately 6' into the required rear yard and a portion of the proposed deck at the second floor would extend approximately 3' into the required rear yard; therefore, a rear yard variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre**

Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0702V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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ABBREVIATIONS

A.C.	AIR CONDITIONING	IN.	INCH
ACOUS.	ACOUSTICAL	INST.	INSTALLATION
ADJ.	ADJACENT	INSUL.	INSULATION
AFF.	ABOVE FINISH FLOOR		
ALUM.	ALUMINIUM	JB.	JUNCTION BOX
ANOD.	ANODIZED	JT.	JOINT
		LTG.	LIGHTING
BD.	BOARD		
BLDG.	BUILDING	MAX.	MAXIMUM
BLKG.	BLOCKING	MECH.	MECHANICAL
BOT.	BOTTOM	MEZZ.	MEZZANINE
BUR.	BUILT UP ROOFING	MIN.	MINIMUM
		MISC.	MISCELLANEOUS
CAB.	CABINET	MTL.	METAL
CEM.	CEMENT	MTD.	MOUNTED
CER.	CERAMIC		
C.G.	CORNER GUARD		
C.L.	CENTER LINE	(N)	NEW
CLG.	CEILING	N.I.C.	NOT IN CONTRACT
CLR.	CLEARANCE	NO.	NUMBER
CMU.	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
COL.	COLUMN	NTE	NOT TO EXCEED
CONC.	CONCRETE	O.C.	ON CENTER
CONST.	CONSTRUCTION	O.D.	OUTSIDE DIAMETER
CONTR.	CONTRACTOR	O.H.	OVER HEAD
C.T.	CERAMIC TILE	OPNG.	OPENING
CTSK.	COUNTERSINK	OPP.	OPPOSITE
DBL.	DOUBLE	PL.	PLATE
D.F.	DRINKING FOUNTAIN	PLAM.	PLASTIC LAMINATE
DET.	DETAIL	PLYWD.	PLYWOOD
DIAG.	DIAGONAL	PR.	PAIR
DIA.	DIAMETER	PT.	PAINT
DIM.	DIMENSION		
DN.	DOWN	Q.T.	QUARRY TILE
DR.	DOOR		
DWG.	DRAWING	RAD.	RADIUS
D.S.	DOWNSPOUT	RB.	RESILIENT BASE
		REINF.	REINFORCING
(E)	EXISTING	REQ'D	REQUIRED
EA.	EACH	REV.	REVISION/REVERSE
ELEC.	ELECTRICAL	RM.	ROOM
EL.	FLOOR ELEVATION	RO.	ROUGH OPENING
ELEV.	BUILDING ELEVATION		
EQ.	EQUAL	SCHED.	SCHEDULE
EXT.	EXTERIOR	SECT.	SECTION
		SHT.	SHEET
FD.	FLOOR DRAIN	SIM.	SIMILAR
FE.	FIRE EXTINGUISHER	SPEC.	SPECIFICATION
F.H.C.	FIRE HOSE CABINET	SQ.	SQUARE
FIN.	FINISH	S.S.	STAINLESS STEEL
FL.	FLOOR	S.S.D.	SEE STRUCT. DRAWINGS
FLUOR.	FLUORESCENT	S.M.D.	SEE MECH. DRAWINGS
F.O.F.	FACE OF FINISH	STD.	STANDARD
F.O.I.C.	FURNISHED BY OWNER	STL.	STEEL
	INSTALLED BY CONTRACTOR	STRUCT.	STRUCTURAL
F.O.I.O.	FURNISHED BY OWNER	SUSP.	SUSPENDED
	INSTALLED BY OWNER		
FT.	FEET	TEL.	TELEPHONE
FEC.	FIRE EXTINGUISHER CABINET	TEMP.	TEMPERED
F.O.M.	FACE OF MASONRY	TYP.	TYPICAL
F.O.S.	FACE OF STEEL		
FS.	FLOOR SINK	U.O.N.	UNLESS OTHERWISE NOTED
G.A.	GAUGE	VCT.	VINYL COMPOSITION
GALV.	GALVANIZED		TILE
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
GL.	GLASS	V.I.F.	VERIFY IN FIELD
GR.	GRADE		
GWB.	GYPSUM WALL BOARD	W.	WALL/WIDTH
GYP.	GYPSUM	W/	WITH
		W/O	WITHOUT
HD.	HEAD	WD.	WOOD
HDWD.	HARDWOOD	W.P.	WATERPROOF
HDWE.	HARDWARE	(X)	EXISTING
H.M.	HOLLOW METAL		
HORZ.	HORIZONTAL		
HT.	HEIGHT		
HVAC.	HEATING, VENTILATING		
	AIR CONDITIONING		
HWH.	HOT WATER HEATER		

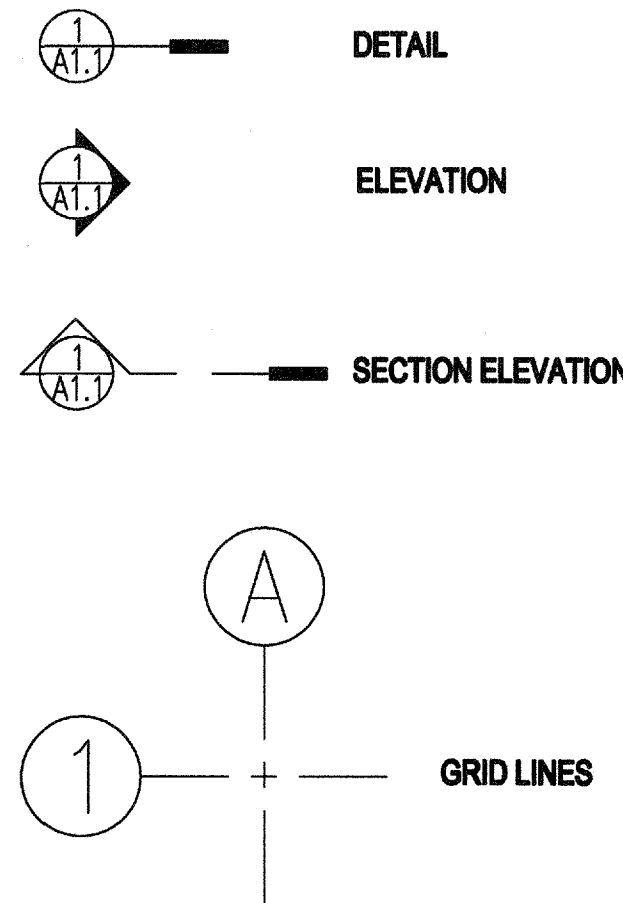
PROJECT DATA

OWNER:	JENNIFER KANENAGA
ADDRESS:	331 NEVADA STREET SAN FRANCISCO, CA 94110
PHONE:	415-585-5219
PLANNING DISTRICT :	ELEVEN
ASSESSORS PARCEL NO:	BLOCK 5699 LOT 027
ZONING	RH-1
OCCUPANCY	SINGLE FAMILY RESIDENCE
BUILDING TYPE	V
EXISTING LOT AREA	70.0' X 25'-0" = 1750 SF.
EXISTING GROSS BUILDING AREA	1,006 SQ FT.
BASEMENT AREA	0
PROPOSED GROSS BUILDING AREA	NO CHANGE
EXISTING DECK AREA	341 SF
LOT COVERAGE WITH (E) DECK	67%
PROPOSED (N) LOWER DECK AREA	217 SF
PROPOSED (N) UPPER DECK AREA	140 SF
LOT COVERAGE WITH PROPOSED (N) DECKS	60%
EXISTING BUILDING HEIGHT	NO CHANGE
ADDITIONS HEIGHT AT REAR WALL	15'-0"
REQ'D REAR YARD SETBACK	17'-6"
EXISTING REAR YARD SETBACK	15'-0"
PROPOSED REAR YARD SETBACK	18'-10"
EXISTING SIDE SETBACK FOR DECK	3'-0"
PROPOSED SIDE SETBACK FOR (N)DECK	3'-0"
EXISTING PARKING	2 OFF STREET TANDOM SPACE
PROPOSED PARKING	NO CHANGE

SCOPE OF WORK

- DEMOLITION EXISTING SINGLE LEVEL WOOD DECK AND STAIRWAY TO YARD
1. CONSTRUCT NEW TWO LEVEL DECK AT FIRST AND SECOND STORIES
 2. CONSTRUCT NEW STAIRWAY TO YARD AND INSTALL NEW STEEL SPIRAL STAIRCASE TO CONNECT UPPER AND LOWER DECK LEVELS
 3. INSTALL NEW STEEL AND CABLE RAILINGS AT EACH DECK LEVEL AND ON STAIRS
 4. REMOVE EXISTING SECOND STORY KITCHEN WINDOW AND REPLACE WITH NEW ALUM CLAD SLIDING PATIO DOOR IN EXISTING OPENING.'P

SYMBOLS



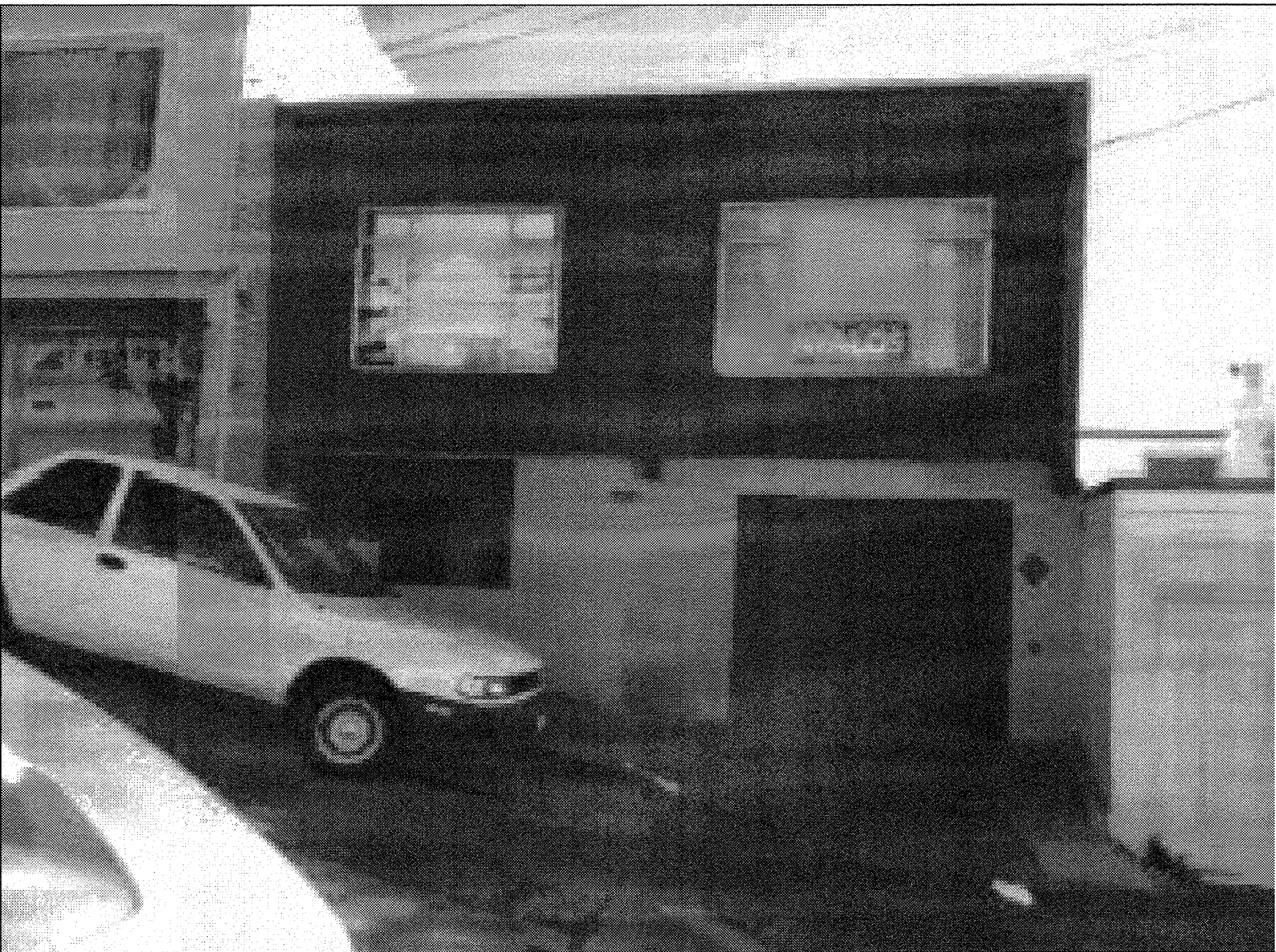
DRAWING INDEX

ARCHITECTURAL
A0.1 COVER & PROJECT DATA
A0.2 PHOTO DOCUMENTS

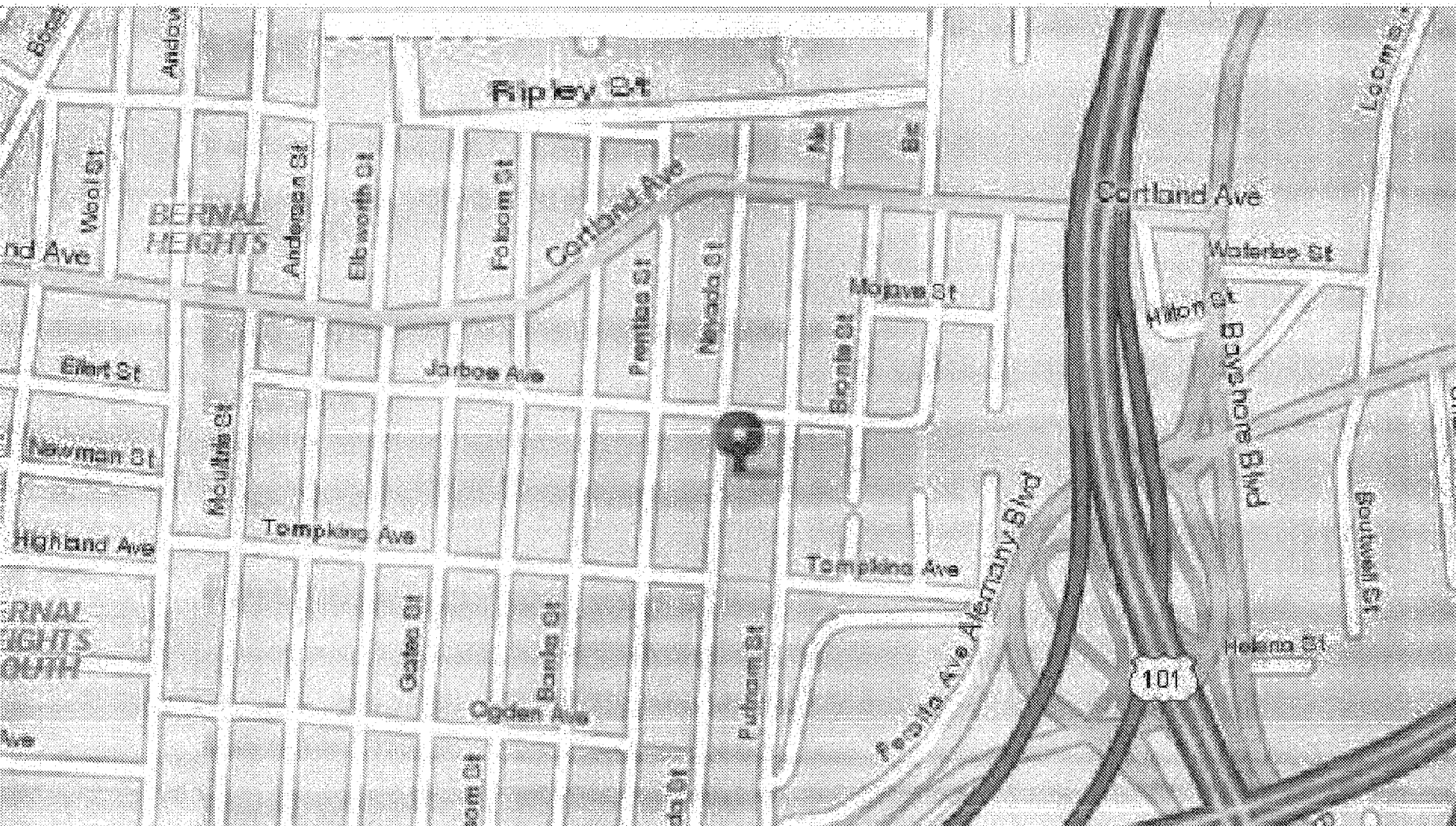
A1 SITE PLAN
A2 NEW DECK PLANS
A3 REAR ELEVATIONS
A4 DETAILS

STRUCTURAL

S1 GENERAL NOTES
S1 PLAN FRAMING
D1 DETAILS
D2 DETAILS



331 NEVADA, SAN FRANCISCO, CA



VICINITY MAP

REVISIONS

BY

2012.01.31.3256

SITE PLAN

KANENAGA RESIDENCE

331 NEVADA STREET

SAN FRANCISCO. 94112

Date 11/29/11

Scale 1/4" = 1'-0"

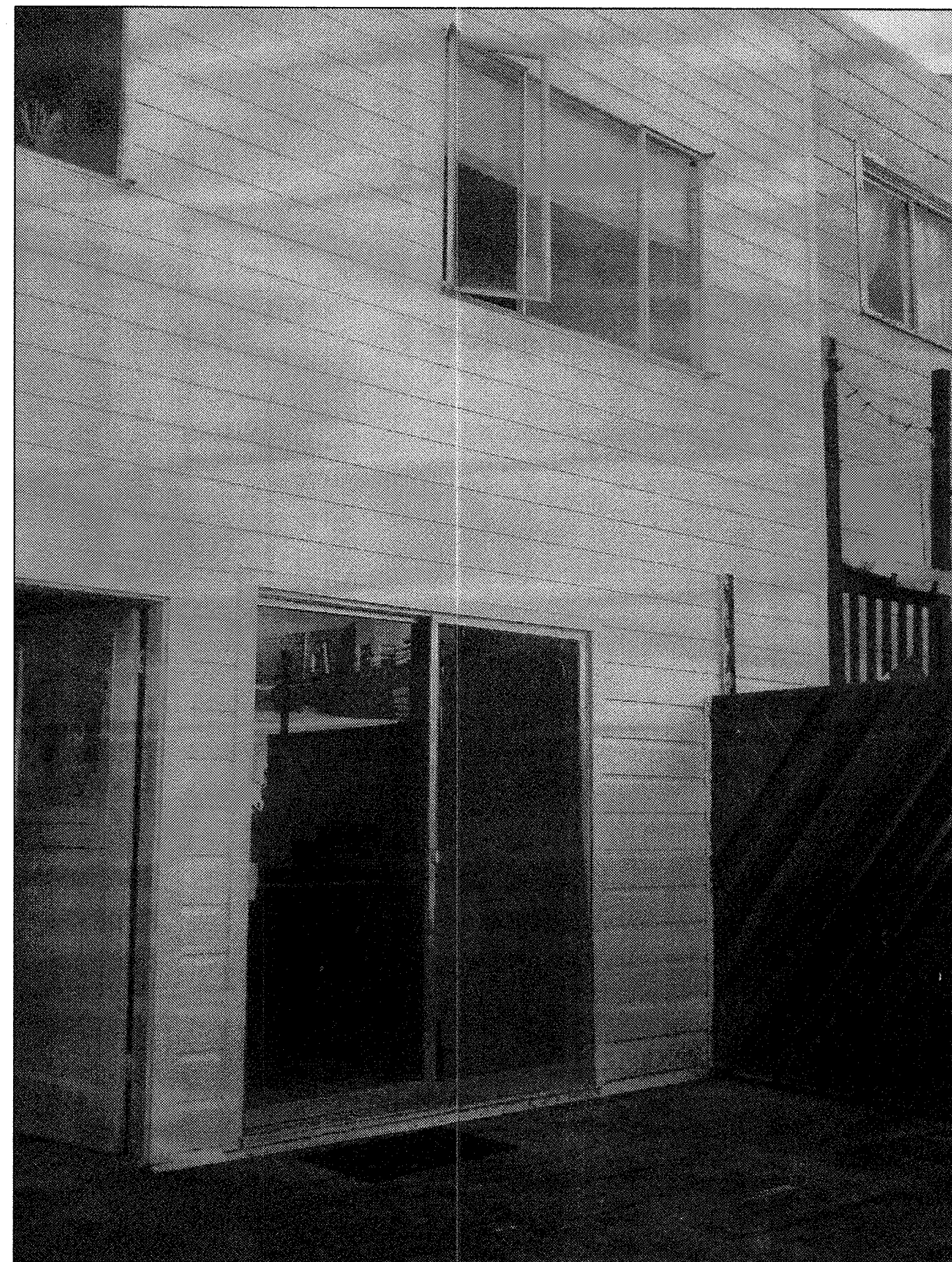
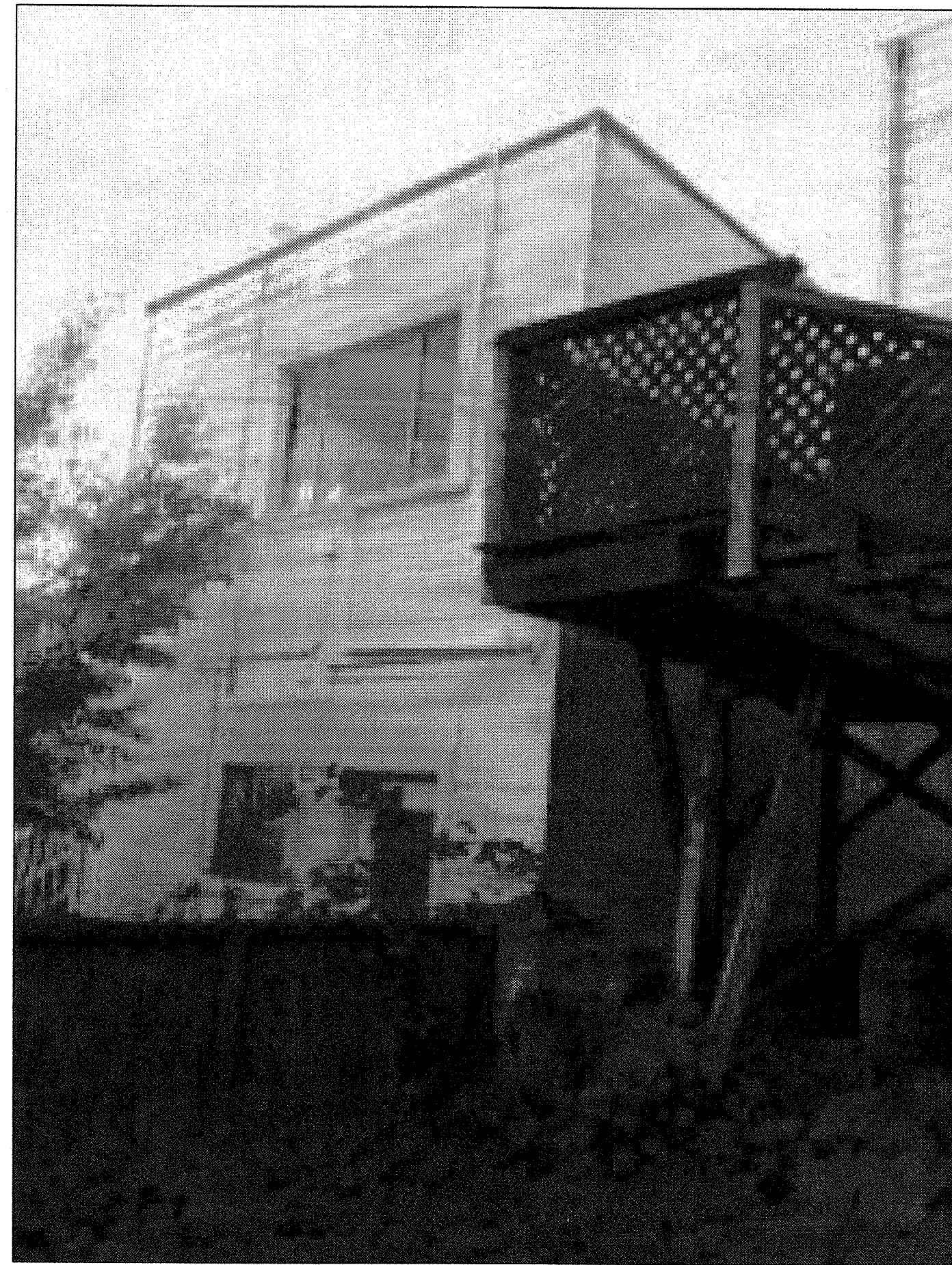
Drawn

Job

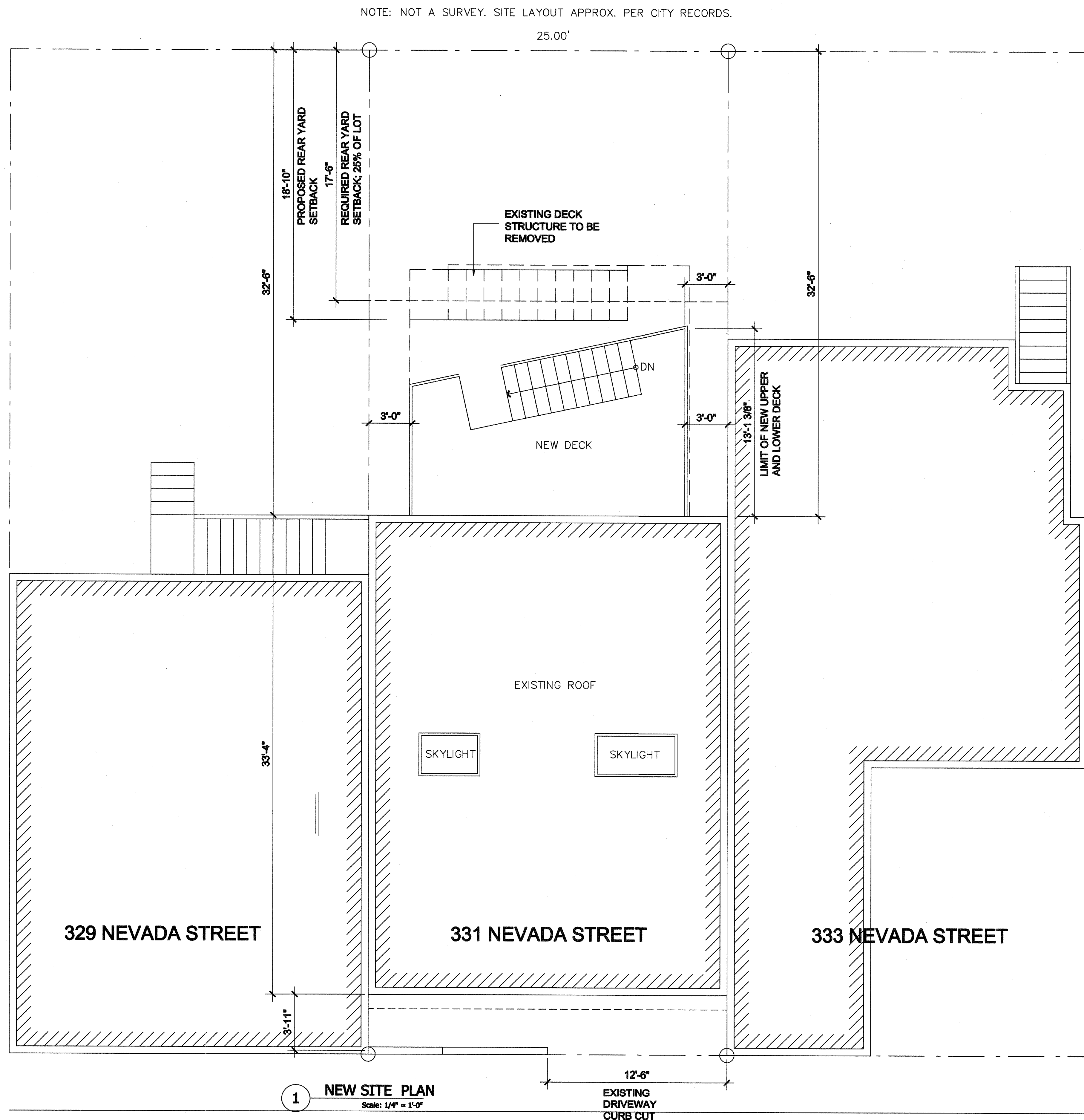
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A0.1

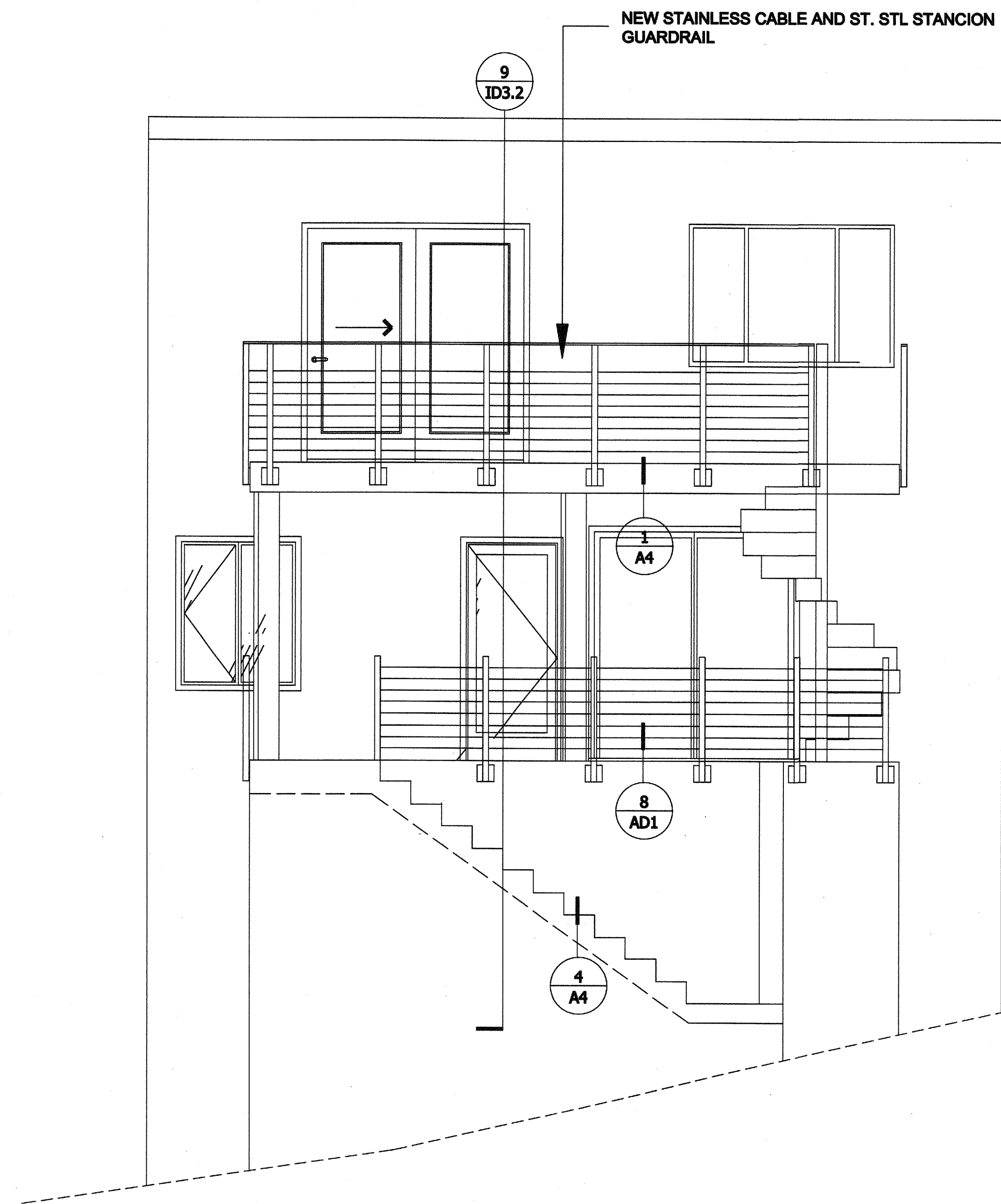
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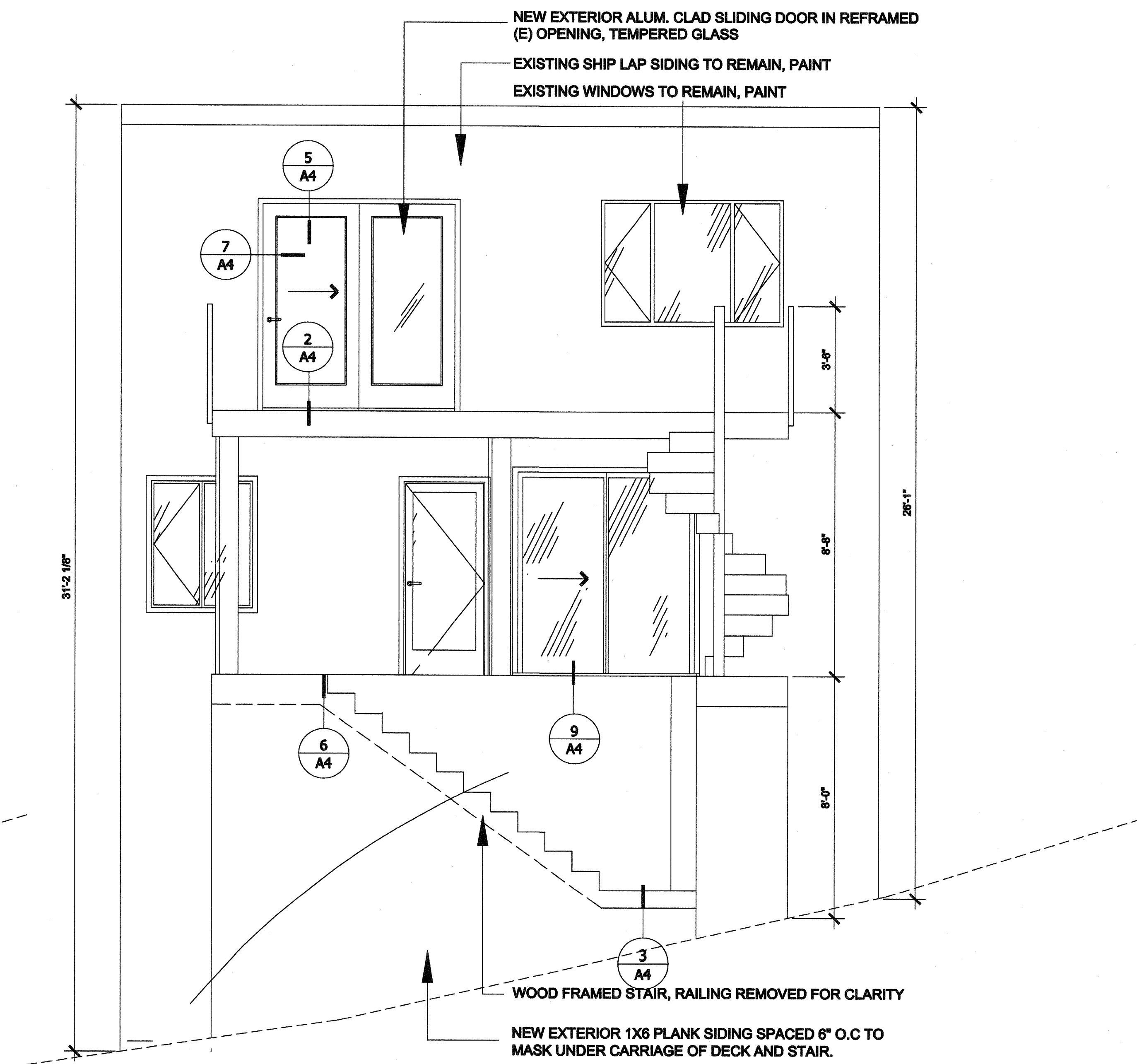
EXISTING LOWER LEVEL DECK IMAGES



REVISIONS	BY
IAN MURRAY DESIGN 631 PIERCE STREET SAN FRANCISCO, CA 94117 415 - 255 - 8007 PHONE 415 - 255 - 8007 FAX	
SITE PLAN	
KANANAGA RESIDENCE 331 NEVADA STREET SAN FRANCISCO, 94112	
Date	11/29/11
Scale	1/4" = 1'-0"
Drawn	
Job	
Sheet	A1.0
Of	Sheets



1 NEW LOWER LEVEL DECK ELEVATION W/ RAILING
Scale: 3/8" = 1'-0"



2 NEW LOWER LEVEL DECK ELEVATION W/O eLEVATION
Scale: 3/8" = 1'-0"

REVISIONS	BY

IAN MURRAY DESIGN
ARCHITECTS
SAN FRANCISCO, CA 94117
415-255-9007 PHONE
415-255-9007 FAX

NEW
EXTERIOR
ELEVATIONS

KANANAGA RESIDENCE
331 NEVADA STREET
SAN FRANCISCO, 94112

Date 02/14/10

Scale 3/8" = 1'-0"

Drawn

Job

Sheet

A3.0

Of Sheets