



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 27, 2012**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear yard, Parking, and Intensifying a Nonconforming Structure)**
Hearing Body: **Zoning Administrator**

PORPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3318 Folsom St	Case No.: 2012.0643V
Cross Street(s): Stoneman St	Building Permit: 2012.03.15.6105
Block / Lot No.: 5544/005	Applicant/Agent: Andy Levine
Zoning District(s): RH-2 / 40-X (Bernal Heights SUD)	Telephone: 415-282-4643
Area Plan: Click here to enter text.	E-Mail: andy@levinearch.com

PROJECT DESCRIPTION

The proposal is to raise the existing noncomplying single-family home by approximately 2 feet to convert the existing crawl space into a new ground floor consisting of a garage and bedroom.

PER SECTION 242(e)(2)(B) OF THE PLANNING CODE the subject property must provide a rear yard of approximately 40 feet. The existing single-family home extends approximately 26 feet into the required rear yard. Therefore, raising the building 2 feet triggers the need for a variance.

PER SECTION 242(e)(4) OF THE PLANNING CODE the subject property must provide at least 2 independently accessible off-street parking spaces. The proposal provides one independently accessible off-street parking space, and one "tandem" space. Therefore, the project requires a variance.

PER SECTION 188 OF THE PLANNING CODE, a variance must be granted to allow a legal nonconforming building to be intensified. The existing single-family home is a legal nonconforming building that falls within the required rear yard. The proposal is to increase the height and intensify the use of a legal nonconforming building; therefore, the project requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Corey Teague** Telephone: **415-575-9081** Mail: corey.teague@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0643V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On May 24, 2012, the Department issued the required Section 311 notification for this project (expires June 25, 2012).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

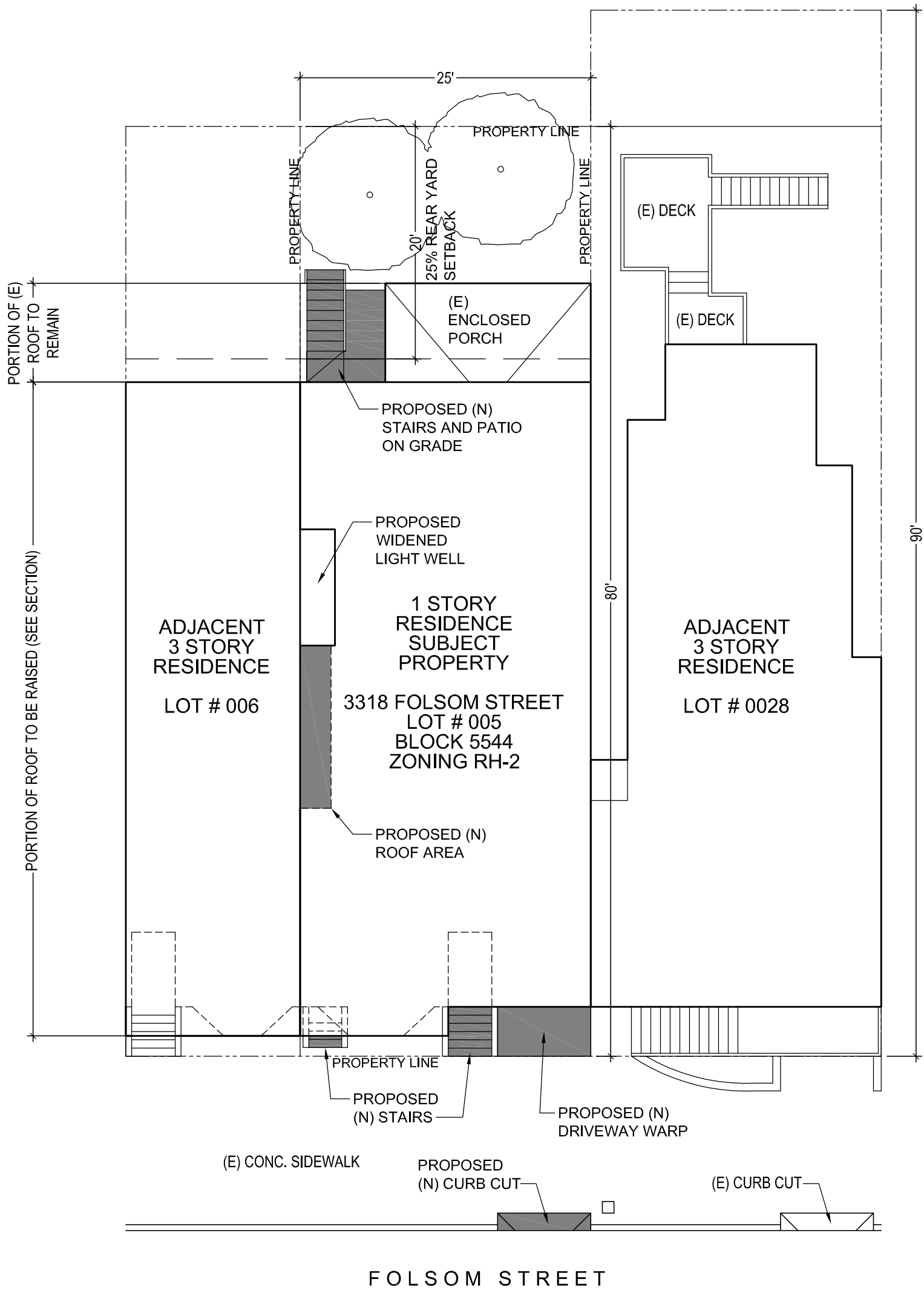
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

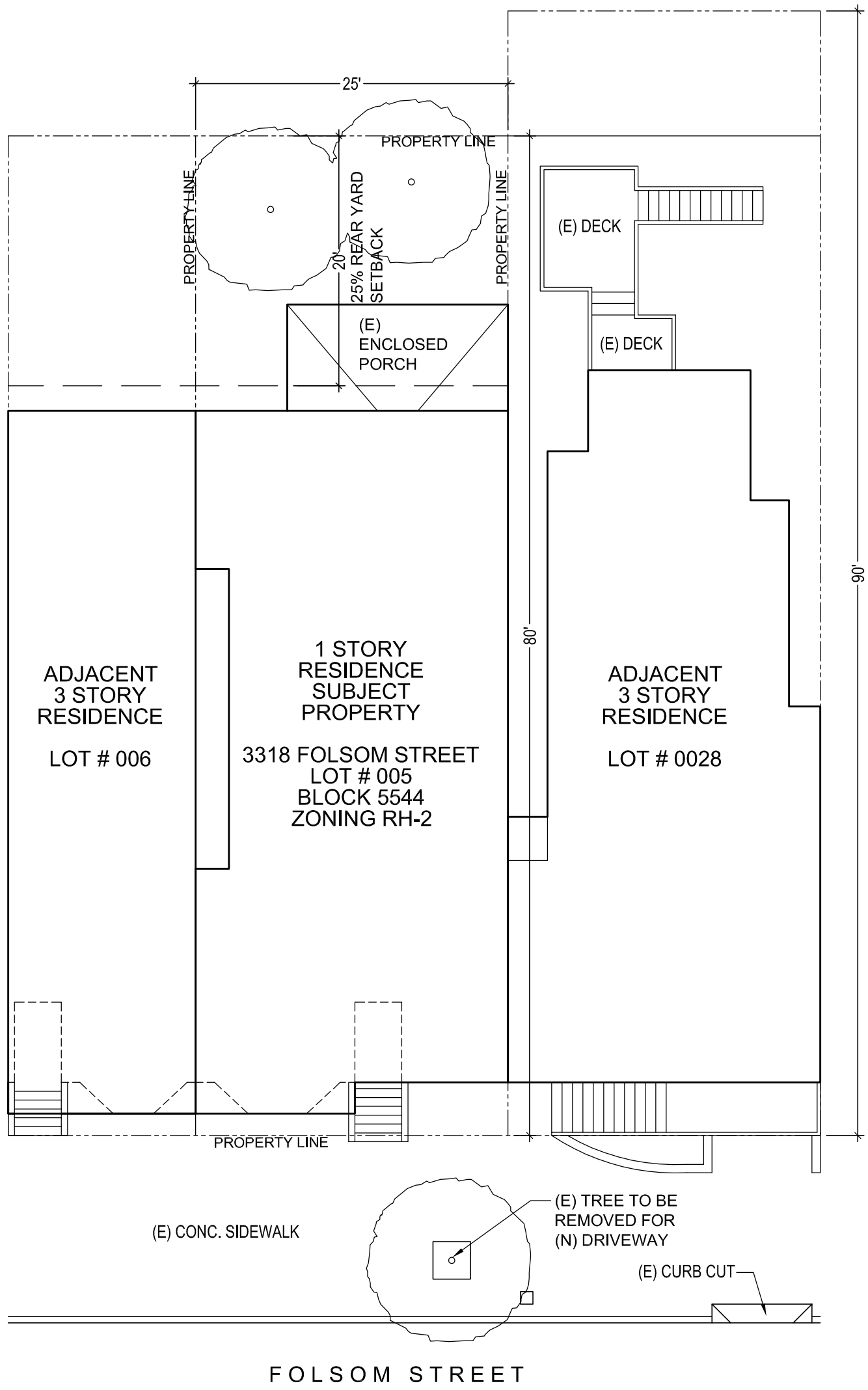
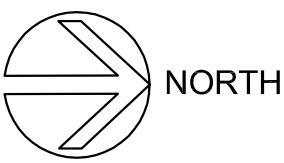
RESIDENCE
REMODEL
FOR

3318 FOLSOM STREET

SAN FRANCISCO, CA



3
-
PROPOSED PLOT PLAN
SCALE: 1" = 10'-0"



2
-
EXISTING PLOT PLAN
SCALE: 1" = 10'-0"

PROJECT DIRECTORY:

OWNER:

OSCAR MACKEY
THE MANCHESTER GROUP
709 TARAVAL STREET
SAN FRANCISCO, CA 94116

ARCHITECT:

ANDY LEVINE
LEVINE ARCHITECTS
447 29TH ST.
SAN FRANCISCO, CA 94131
TEL.: 415-282-4643

BUILDING INFORMATION

TYPE OF CONSTRUCTION: V-B
STORIES: 1
ZONING: RH-2

SHEET INDEX:

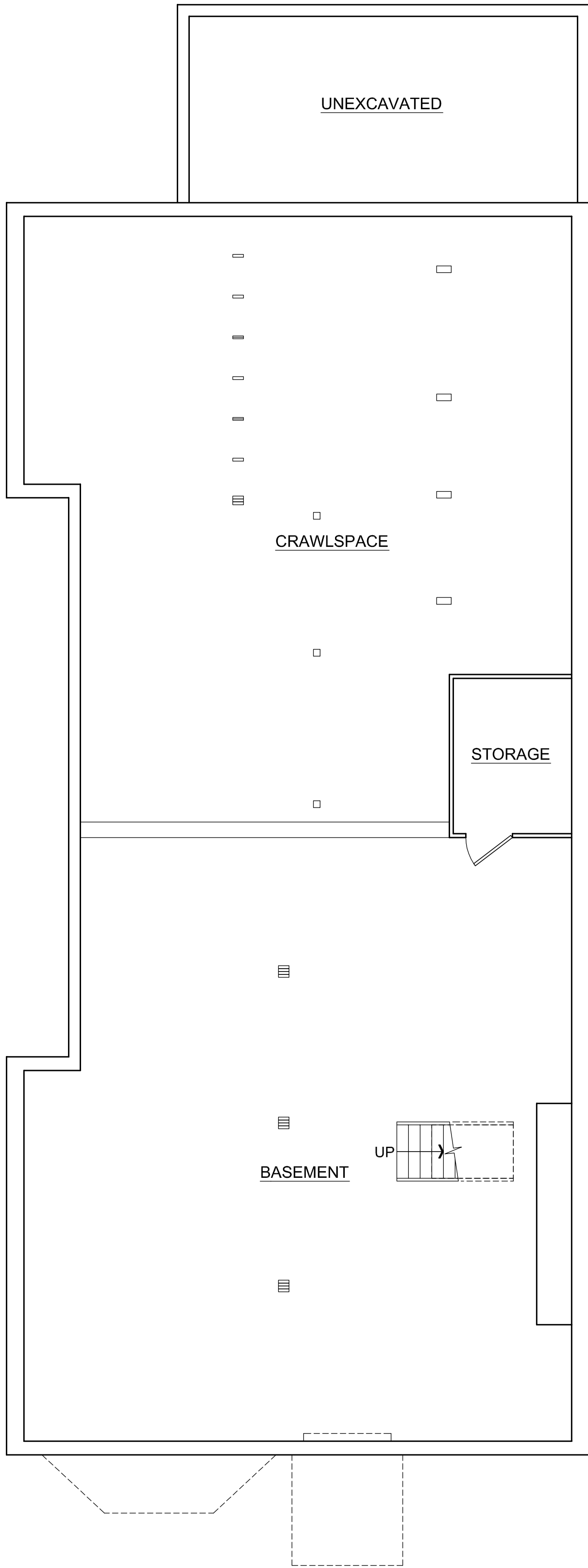
- ARCHITECTURAL
T-1.0 PLOT PLAN PROJECT DATA
A-1.0 EXISTING FIRST FLOOR AND BASEMENT
FLOOR PLANS
A-1.1 EXISTING / DEMOLITION AND PROPOSED
BASEMENT FLOOR PLANS
A-1.2 EXISTING / DEMOLITION AND PROPOSED
FIRST FLOOR PLANS
A-2.0 EXISTING AND PROPOSED FRONT ELEVATIONS
A-2.1 EXISTING AND PROPOSED BUILDING SECTIONS
A-2.2 PROPOSED SIDE BUILDING ELEVATIONS
A-2.3 EXISTING AND PROPOSED REAR ELEVATIONS

- 1.) RAISE (E) STRUCTURE 1'-10" ABOVE (E) FOUNDATION, PROVIDING (N) FOUNDATIONS, WALLS @ BASEMENT, AND (N) INTERIOR STAIR TO FIRST FLOOR
- 2.) PROVIDE (N) BASEMENT LEVEL GARAGE DOOR WITH SIDEWALK CURB CUT AND DRIVEWAY
- 3.) REMODEL OF (E) RESIDENCE @ FIRST FLOOR PROVIDING (N) BASEMENT LEVEL BEDROOM AND BATH
- 4.) PROVIDE (N) EXTERIOR STEPS AT FRONT ENTRY TO MATCH EXISTING

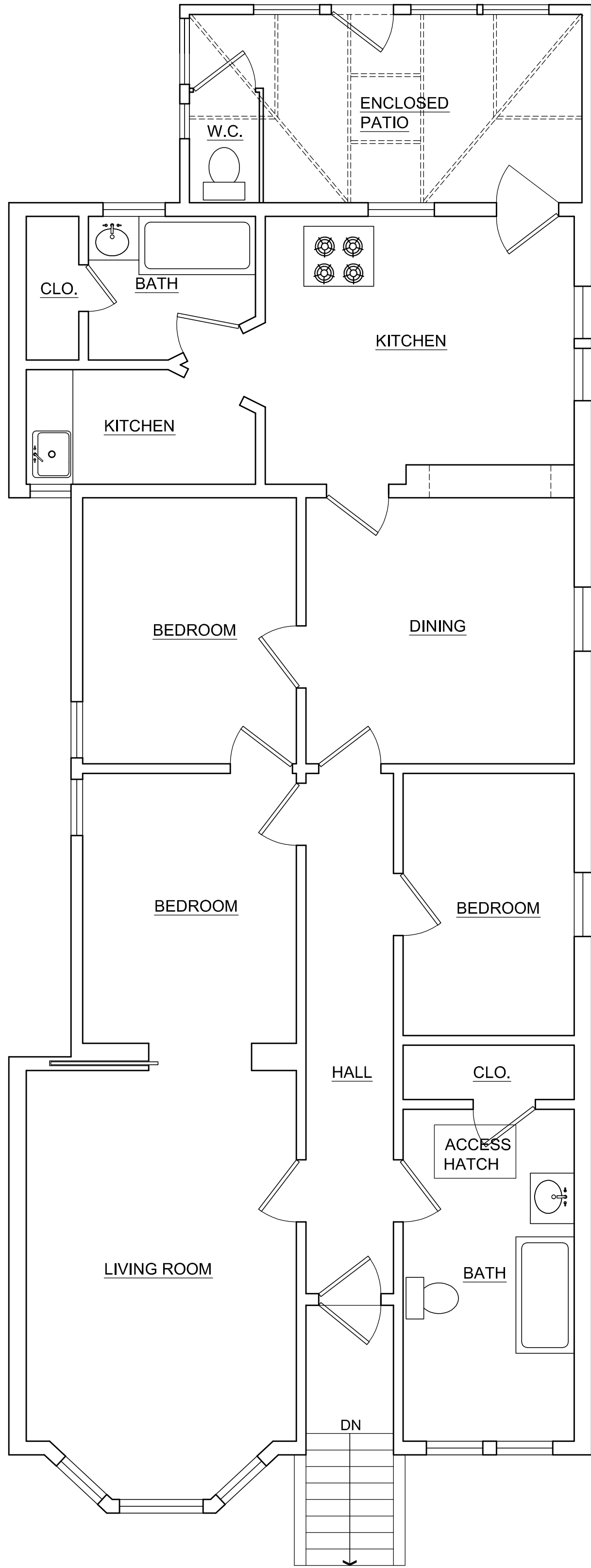
SCOPE OF WORK

1
-

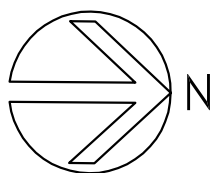
REVISIONS	DATE
LEVINE ARCHITECTS 447 29TH STREET SAN FRANCISCO, CA (415) 282-4643	
SHEET TITLE: EXISTING AND PROPOSED PLOT PLANS AND PROJECT DATA	
Residence Remodel 3318 Folsom Street San Francisco, CA	
SCALE: AS NOTED JOB #: 11-16 DATE: 1/31/12	SHEET NO. T-1.0



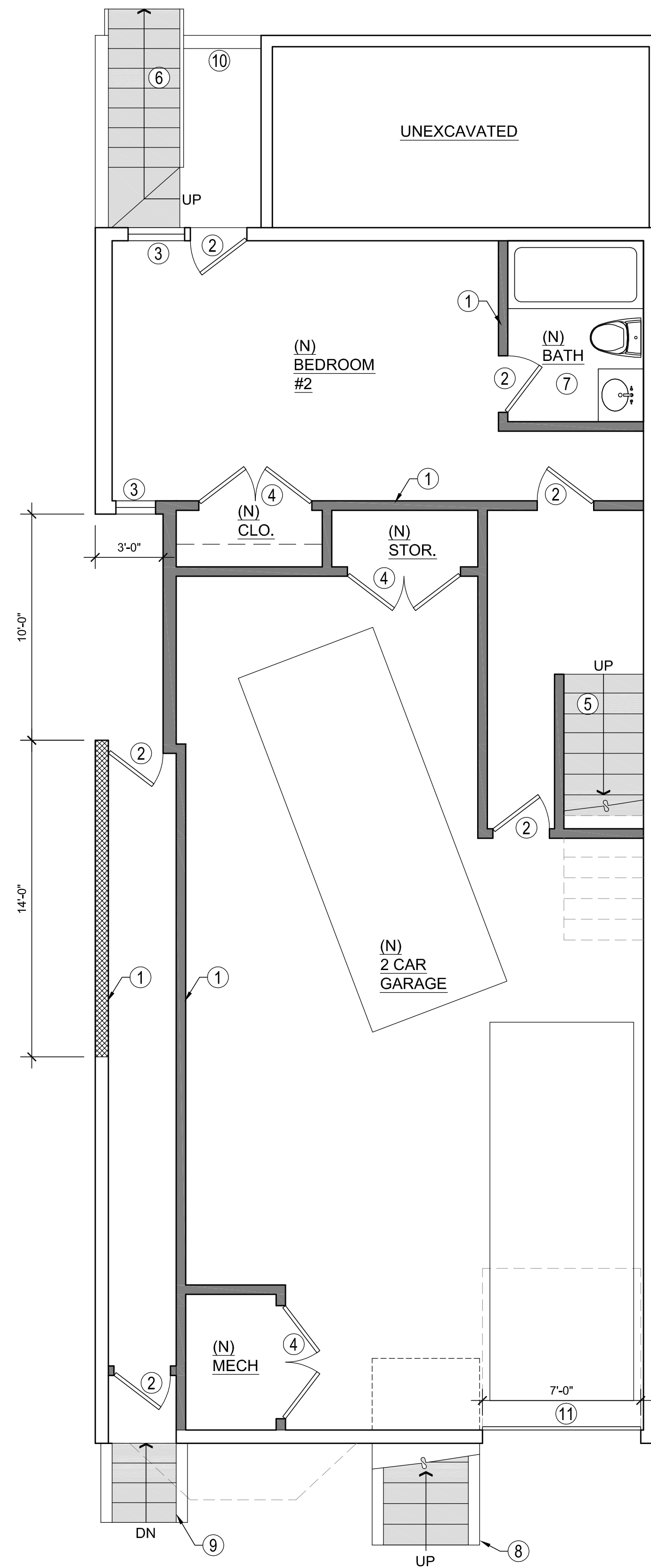
2
-
EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



1
-
EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	DATE
LEVINE ARCHITECTS 447 29TH STREET SAN FRANCISCO, CA (415) 282-4643	
SHEET TITLE: EXISTING / DEMOLITION AND PROPOSED FLOOR PLAN	
Residence Remodel 3318 Folsom Street San Francisco, CA	
SCALE: AS NOTED JOB #: 11-16 DATE: 1/31/12	
SHEET NO. A-1.0	

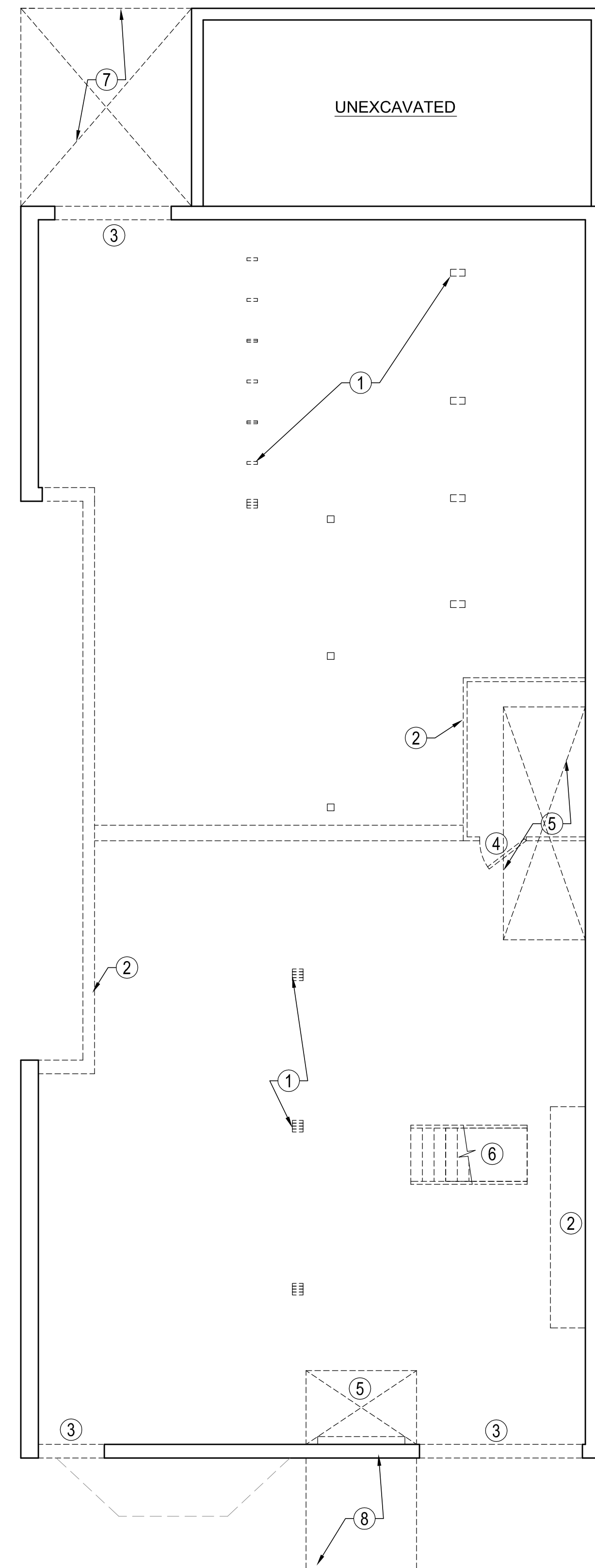


2 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- (N) WALL: 5/8" TYPE 'X' GYP. BD. @ EACH SIDE OF 2X4 STUDS @ 16" O.C., TYP.
- (N) ONE HOUR FIRE RATED WALL
- (E) WALL TO REMAIN
- (N) FLOOR SLAB OR STAIR: SSD

- PROPOSED PLAN KEY NOTES:**
- (N) WALL AS INDICATED, TYP.
 - (N) DOOR, TYP.
 - (N) WINDOW
 - (N) PAIR OF DOORS
 - (N) STAIR TO SECOND FLOOR; MAX. 7 3/4" RISER AND MIN. 10" RUN, TYP.
 - (N) STAIR TO REAR YARD
 - (N) BATHROOM FIXTURES AS SHOWN, TYP.
 - (N) STAIR TO SIDEWALK FROM FIRST FLOOR TO MATCH (E) STAIRS
 - (N) STEPS AND RETAINING WALLS TO BASEMENT
 - (N) BASEMENT PATIO RETAINING WALL
 - (N) OVERHEAD GARAGE DOOR



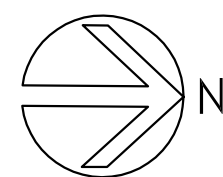
1 EXISTING / DEMO BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

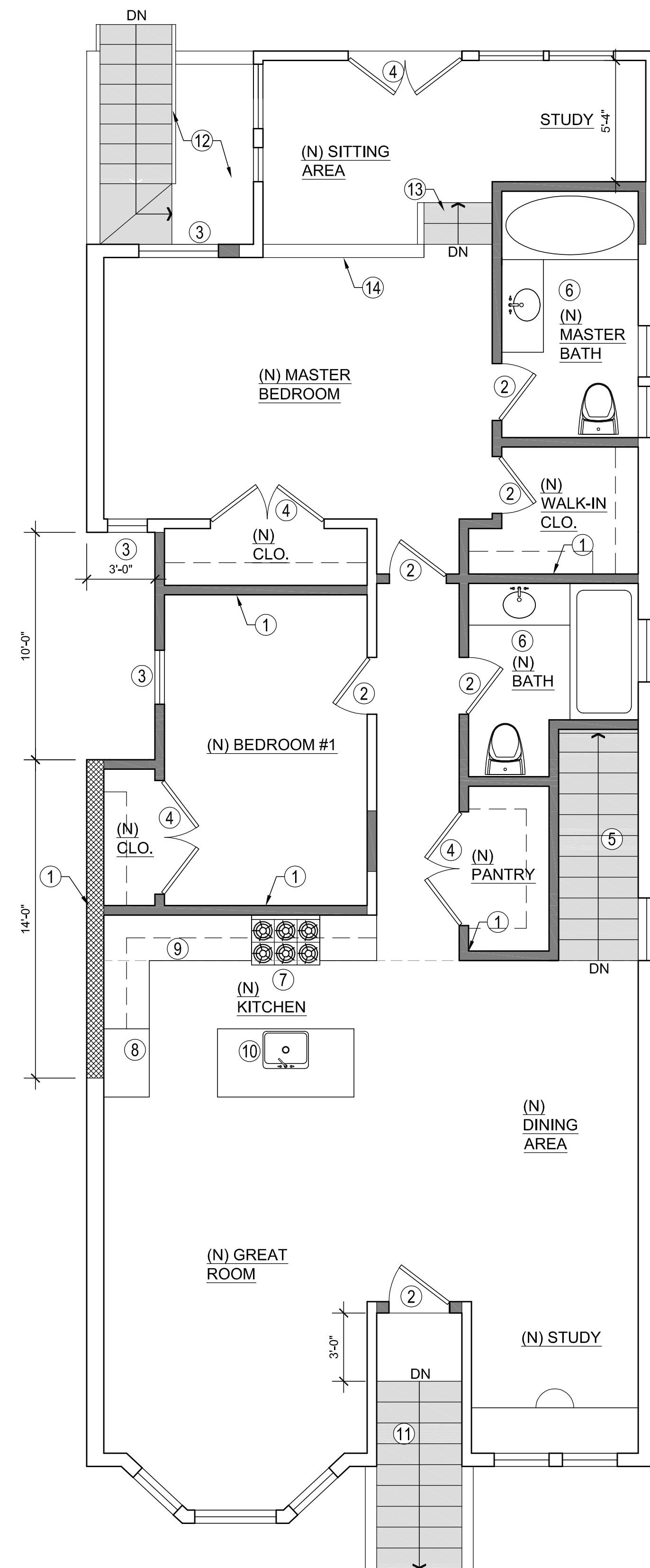
LEGEND

- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN

- DEMO PLAN GENERAL NOTES:**
- EXCAVATE AS REQUIRED FOR HEAD ROOM: SEE SECTION
 - REPLACE (E) FOUNDATION

- DEMO PLAN KEY NOTES:**
- REMOVE (E) COLS., TYP., PROVIDE SHORING AS REQ'D., S.S.D.
 - REMOVE (E) WALLS AS INDICATED
 - REMOVE PORTION OF WALL FOR (N) OPENING
 - REMOVE (E) DOOR
 - AREA OF JOISTS @ CEILING TO BE REMOVED FOR (N) STAIR
 - REMOVE (E) HATCH AND STEPS
 - AREA OF EXCAVATION FOR (N) PATIO AND STAIR, PROVIDE SHORING, AND RETAINING WALLS, S.S.D.
 - REPLACE (E) STEPS

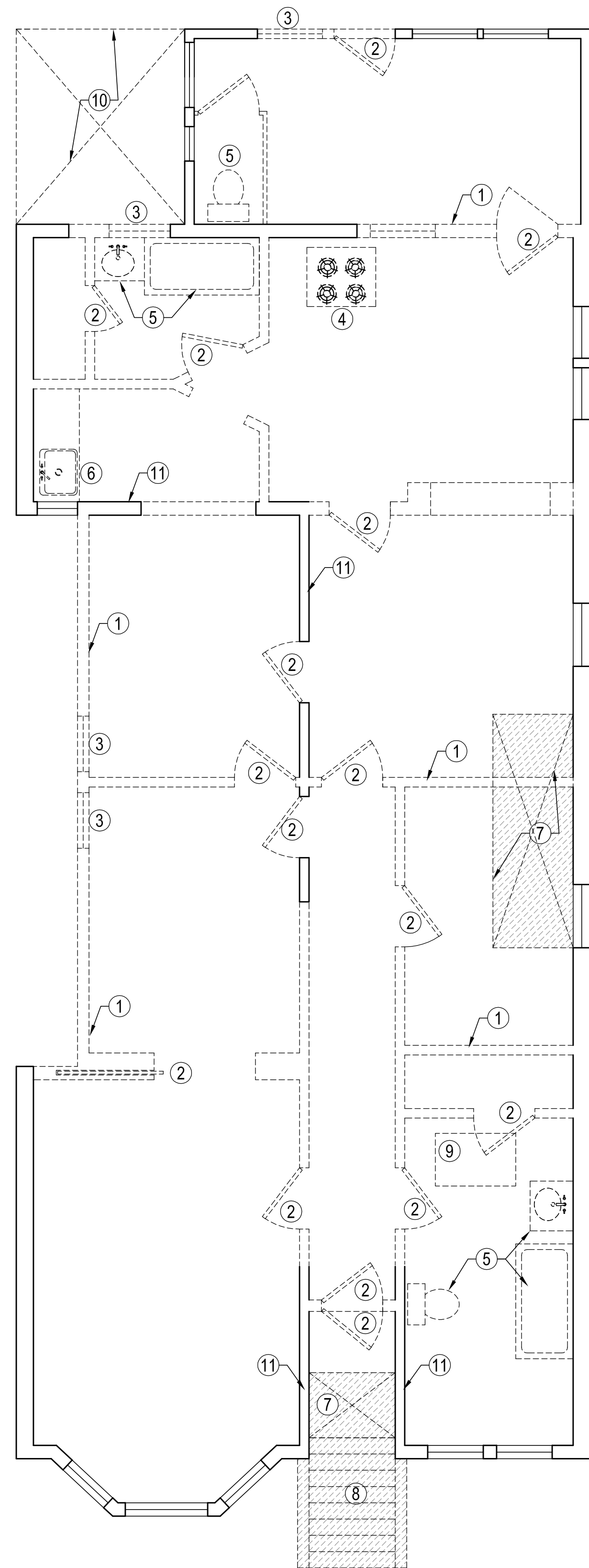




LEGEND

- (N) WALL: 5/8" TYPE 'X' GYP. BD. @ EACH SIDE OF 2X4 STUDS @ 16" O.C., TYP.
- (N) ONE HOUR FIRE RATED WALL
- (E) WALL TO REMAIN
- (N) FLOOR OR STAIR: SSD

- PROPOSED PLAN KEY NOTES:**
- (N) WALL AS INDICATED, TYP.
 - (N) DOOR(S), TYP.
 - (N) WINDOW
 - (N) PAIR OF DOORS
 - (N) STAIR TO GROUND FLOOR; MAX. 7 3/4" RISER AND MIN. 10" RUN, TYP.
 - (N) BATHROOM FIXTURES AS SHOWN, TYP.
 - (N) RANGE
 - (N) REFRIGERATOR
 - (N) BASE AND UPPER CABINETS
 - (N) SINK IN COUNTER ON ISLAND
 - (N) STAIR TO SIDEWALK TO REPLACE (E) SEE BASEMENT FLOOR PLAN, SHEET A-1.1
 - (N) STEPS TO LOWER SITTING AREA
 - (N) RAILING



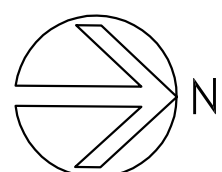
LEGEND

- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (E) FLOOR OR STAIR TO BE REMOVED

- DEMO PLAN KEY NOTES:**
- REMOVE (E) WALLS AS INDICATED
 - REMOVE (E) DOOR
 - REMOVE (E) WINDOW
 - REMOVE (E) RANGE
 - REMOVE (E) BATHROOM FIXTURE(S)
 - REMOVE (E) SINK AND COUNTER AREA OF JOISTS @ FLOOR TO BE REMOVED FOR (N) STAIR, S.S.D.
 - REPLACE (E) STAIR
 - REMOVE (E) HATCH AND STEPS
 - AREA OF EXCAVATION FOR (N) PATIO AND STAIR
 - PORTION OF (E) INTERIOR WALL TO REMAIN

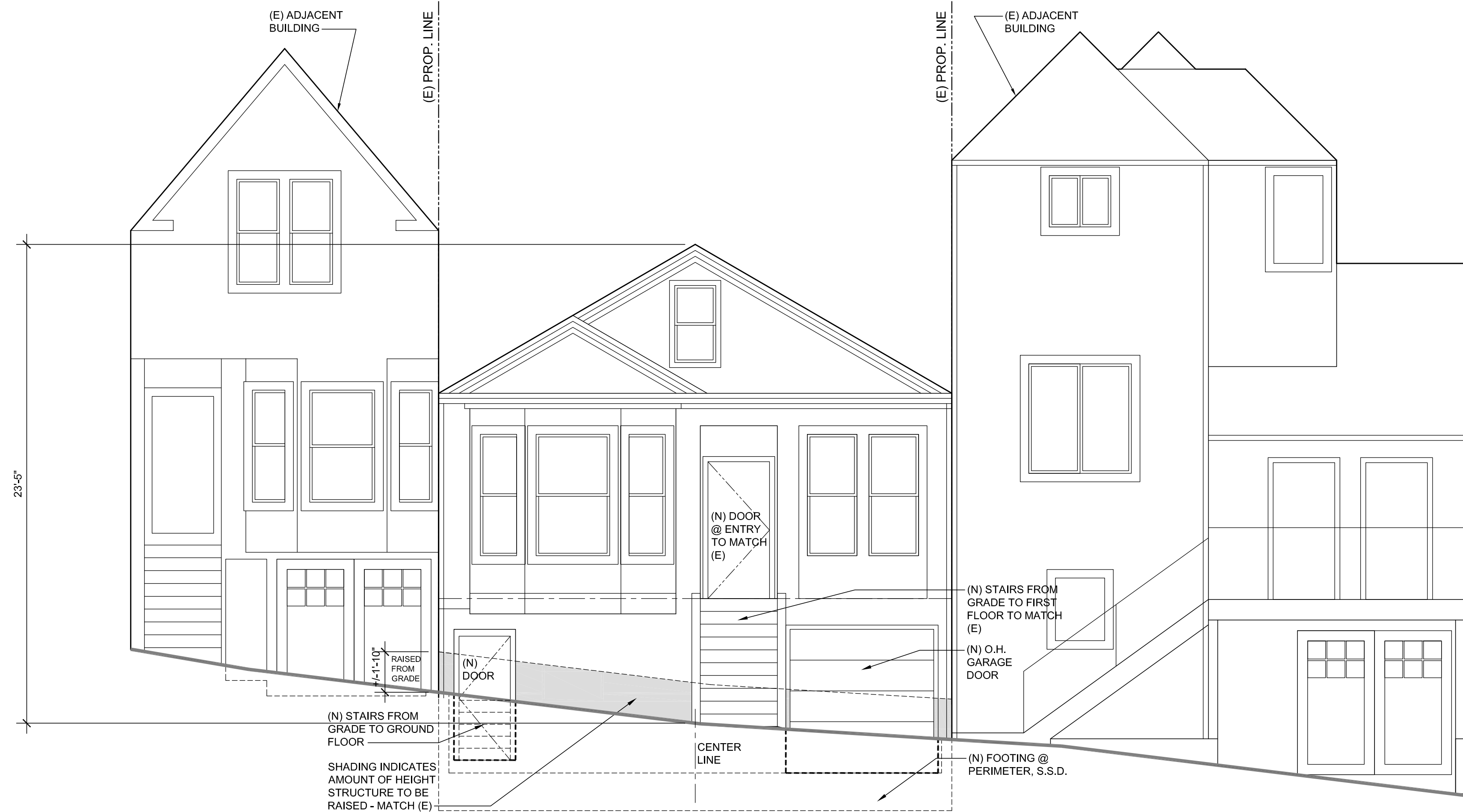
2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 EXISTING / DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"





1
—
EXISTING FRONT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



2
—
PROPOSED FRONT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

DATE

LEVINE ARCHITECTS
447 29TH STREET
SAN FRANCISCO, CA
(415) 282-4643

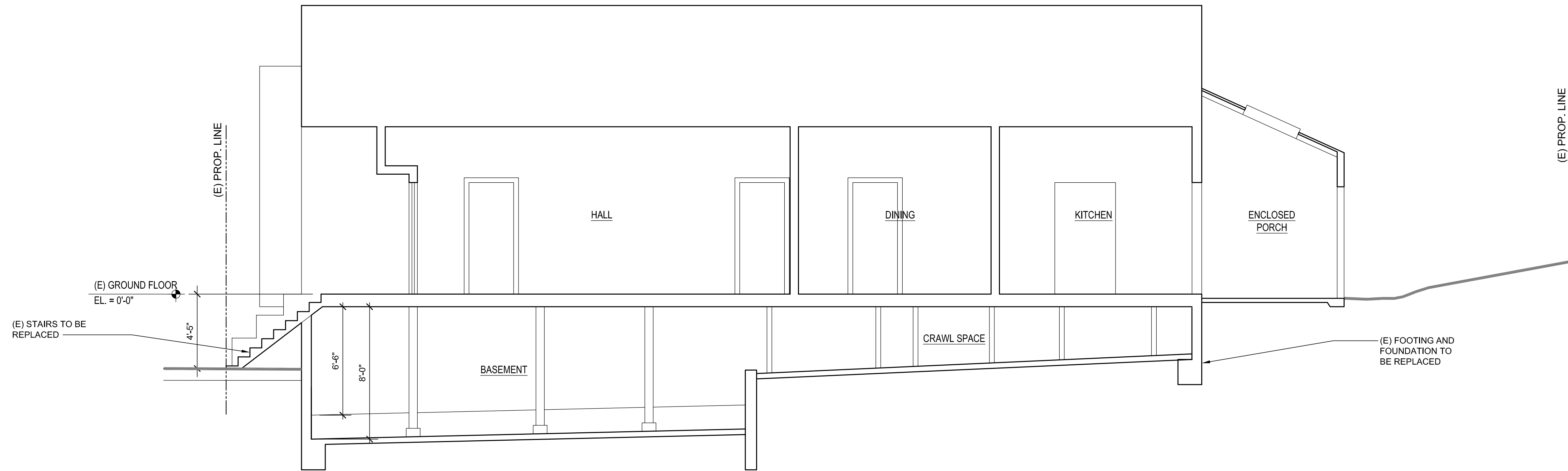
EXISTING AND PROPOSED
FRONT ELEVATIONS

Residence Remodel
3318 Folsom Street
San Francisco, CA

SCALE: AS NOTED
JOB #: 11-16
DATE: 1/31/12

SHEET NO.

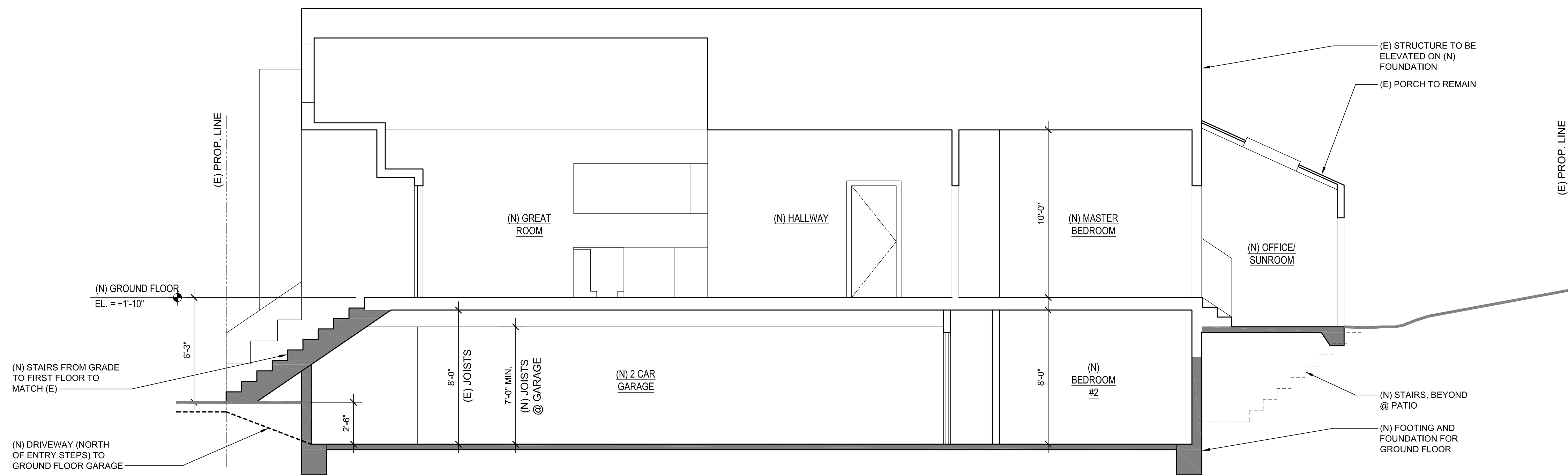
A-2.0



1

EXISTING LONGITUDINAL BUILDING SECTION LOOKING SOUTH

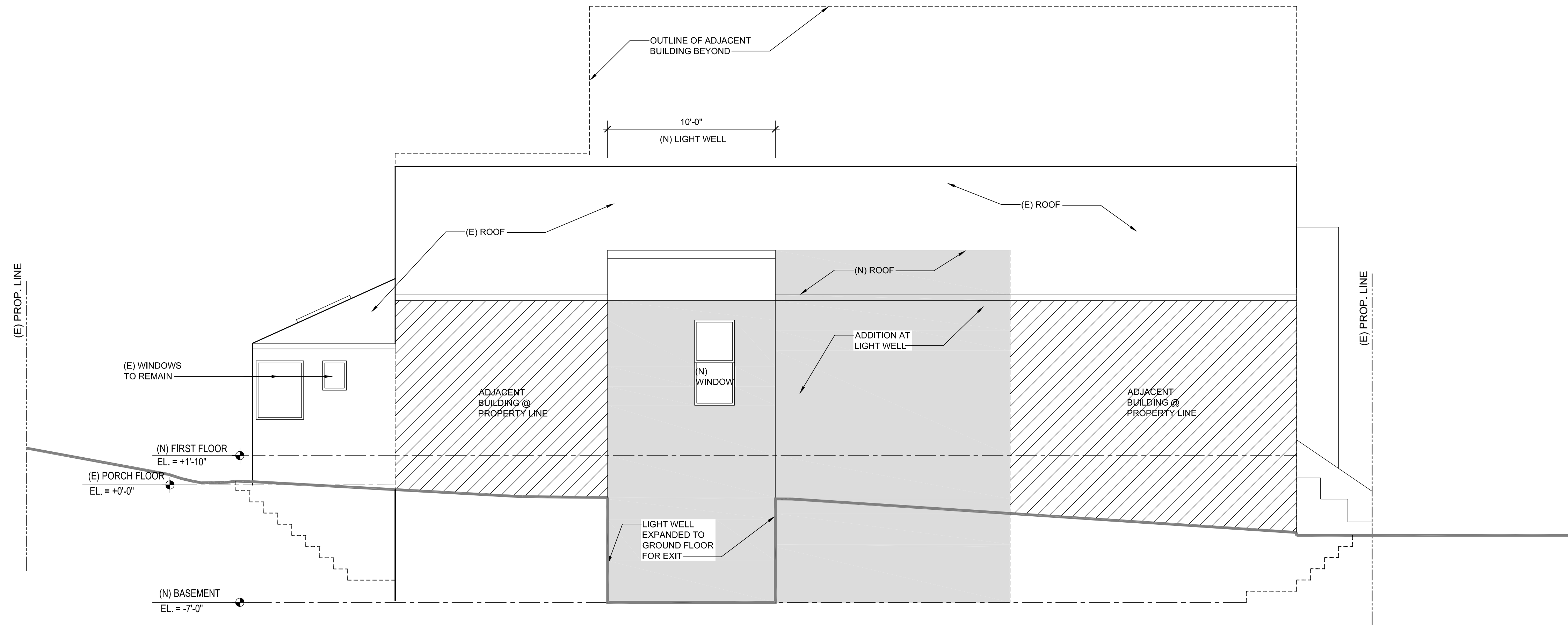
SCALE: 1/8" = 1'-0"



2

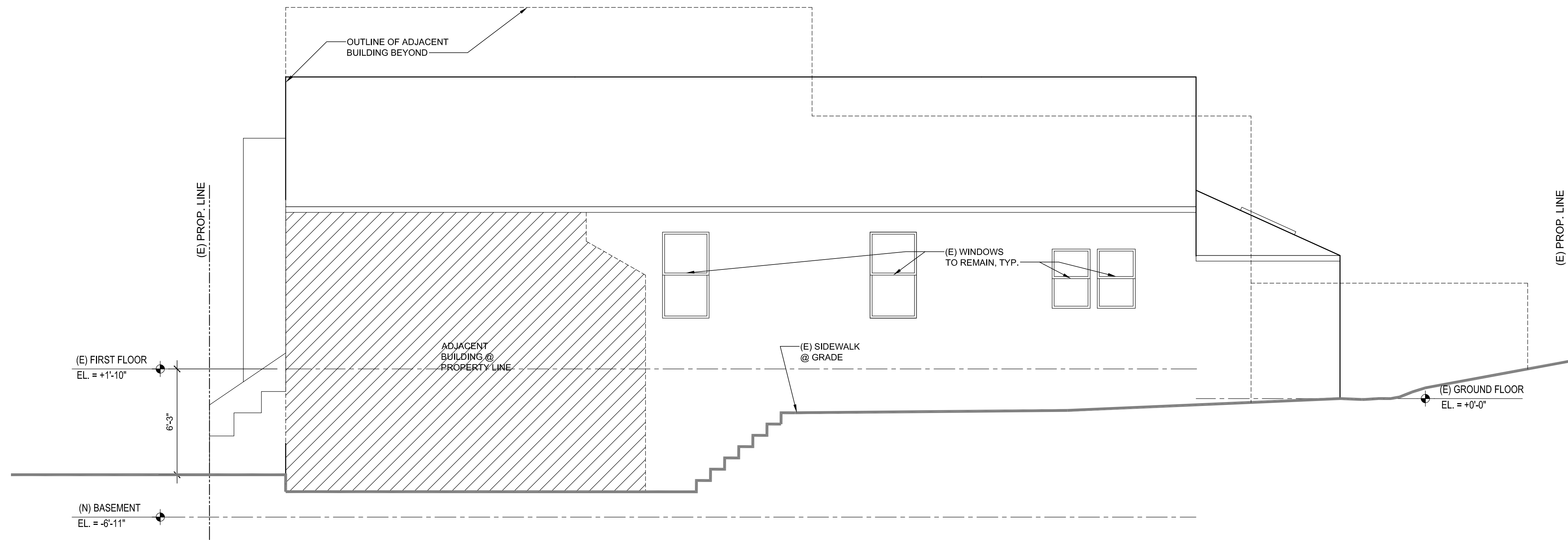
PROPOSED LONGITUDINAL BLDG. SECTION LOOKING SOUTH

SCALE: 1/8" = 1'-0"



1
—
PROPOSED NORTH SIDE ELEVATION

SCALE: 1/8" = 1'-0"



2
—
PROPOSED SOUTH SIDE ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS DATE

LEVINE ARCHITECTS
447 29TH STREET
SAN FRANCISCO, CA
(415) 282-4643

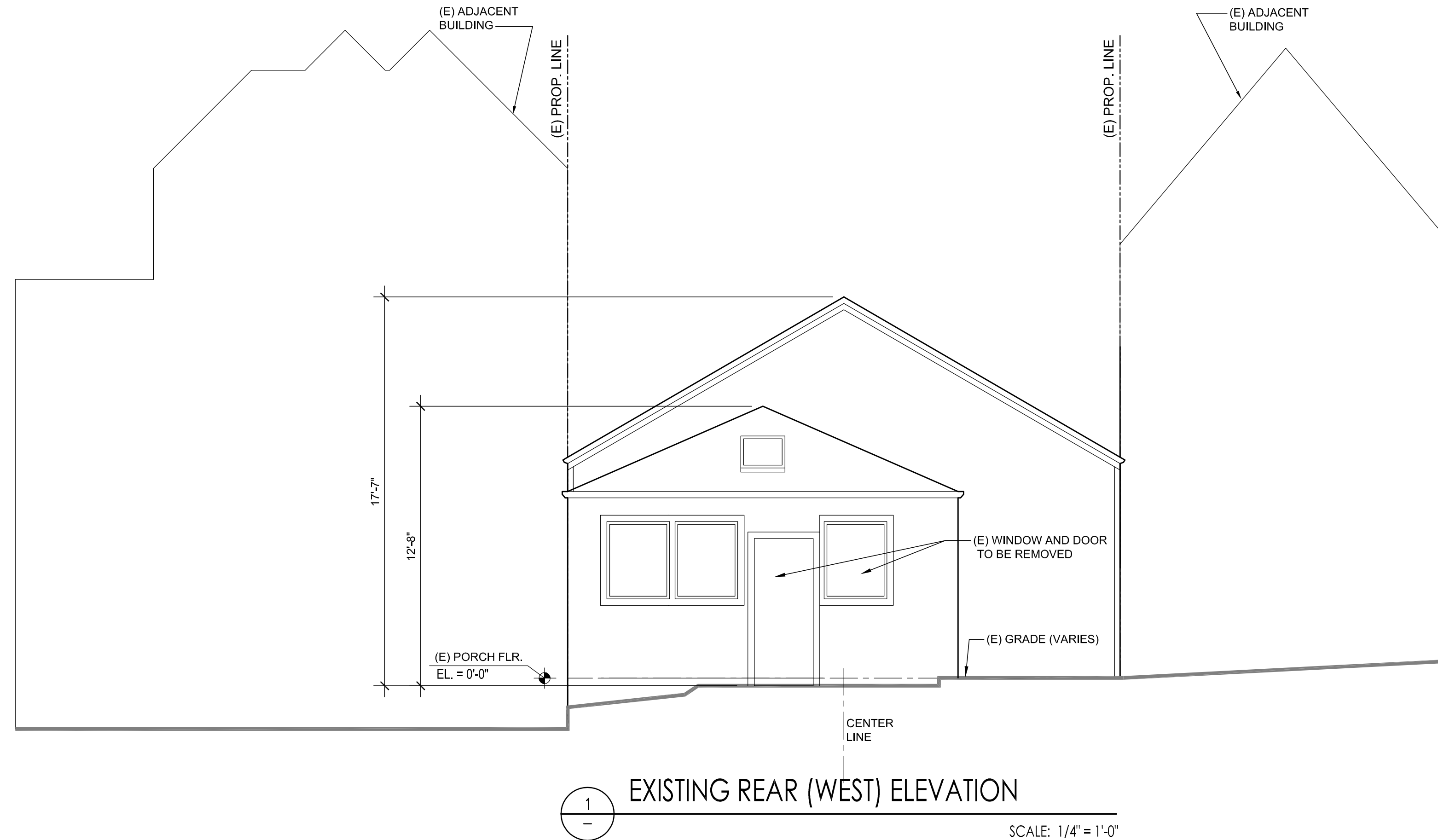
PROPOSED BUILDING
SIDE ELEVATIONS

Residence Remodel
3318 Folsom Street
San Francisco, CA

SCALE: AS NOTED
JOB #: 11-16
DATE: 1/31/12

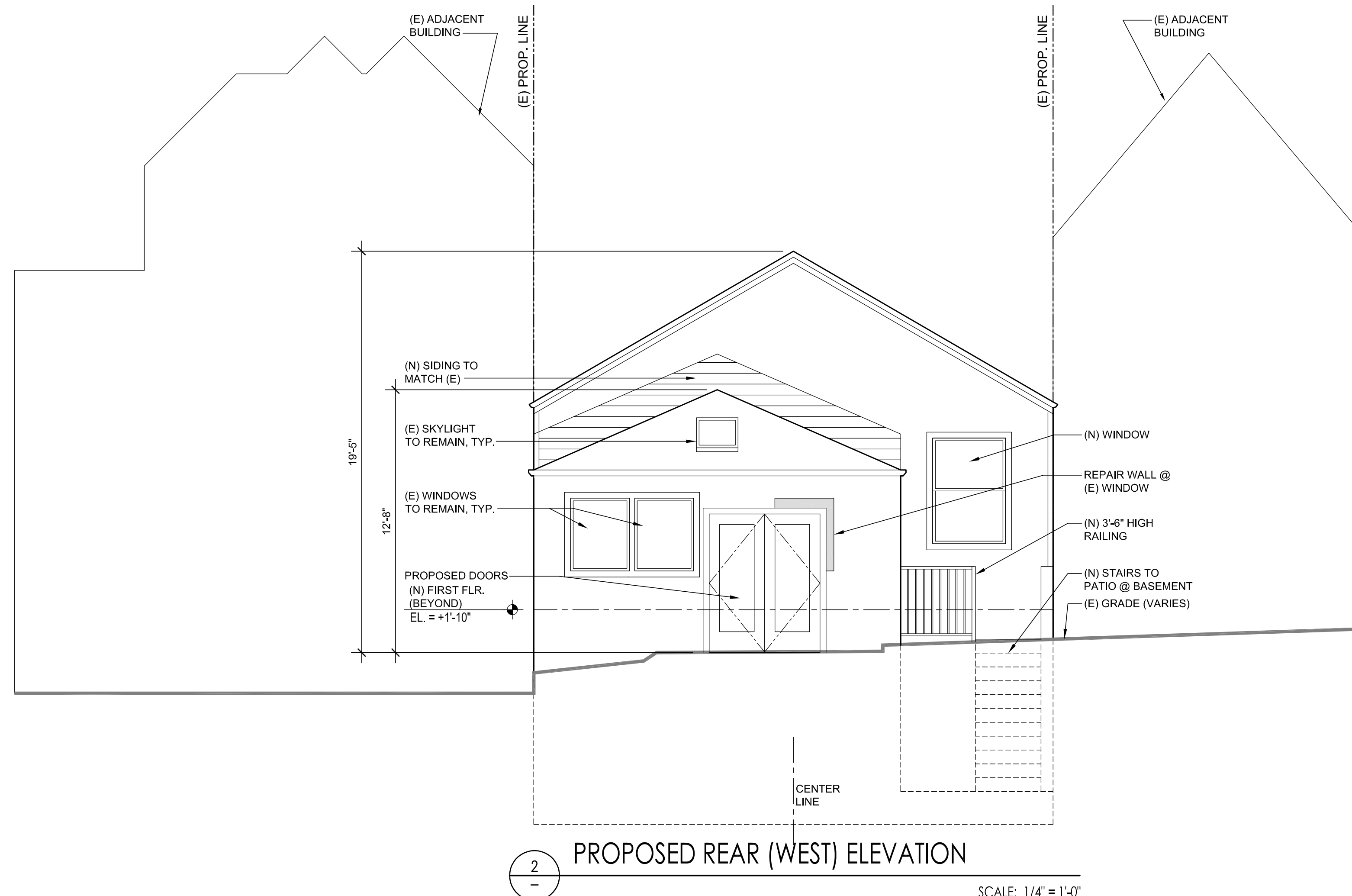
SHEET NO.

A-2.2



EXISTING REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

LEVINE ARCHITECTS
447 29TH STREET
SAN FRANCISCO, CA
(415) 282-4643

EXISTING AND PROPOSED
REAR ELEVATIONS

Residence Remodel
3318 Folsom Street
San Francisco, CA

SCALE: AS NOTED
JOB #: 11-16
DATE: 1/31/12

SHEET NO.
A-2.3