



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 22, 2012**
Time: **9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance(Rear Yard, Non-Complying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 751 25Th Av	Case No.: 2012.0575V
Cross Street(s): Balboa & Cabrillo Streets	Building Permit: 2012.0622.3261
Block / Lot No.: 1619/028	Applicant/Agent: Geddes Ulinskas
Zoning District(s): RH-2 / 40-X	Telephone: 415 904 0483
Area Plan:	E-Mail: gulinskas@ularch.com

PROJECT DESCRIPTION

The proposal is to modify the previously approved project (Case No. 2009.0582V) to expand the existing two-story synagogue building (Congregation Chevra Thilim) by legalizing a deck at the second floor level at the rear of the building. The deck would be located on the roof of the approved one-story addition and would require the construction of two elevated walkways spanning both to the second floor office area (approx. 12' long) and to an existing stair landing at the rear building (approx. 8' long). The glass and metal panel railings at the deck/walkways will be 4' tall above a 2' parapet (total of 6' above the deck).

PER SECTION 134 OF THE PLANNING CODE the subject 75- foot-wide by 240-foot-deep property is required to maintain a rear yard of approximately 108 feet. The building with the previously approved addition currently extends approximately 57.5 feet into the required rear yard. The proposed deck and elevated walkways would be constructed entirely within the required rear yard area.

PER SECTION 188 OF THE PLANNING CODE expansion of a non-complying structure is prohibited. The existing building is considered a legal non-complying structure because portions of it already encroach into the required rear yard, and the construction of the deck and elevated walkways would further expand the non-complying structure.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Shelley Caltagirone** Telephone: **415-558-6625** Mail: shelley.caltagirone@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0575V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

1. THE DOCUMENTS FOR THIS PROJECT INCLUDE ARCHITECTURAL DRAWINGS FOR THE ADDITION OF TWO CONNECTING BRIDGES, ARCHITECTURAL SCREENS AT THE EXTERIOR DECK.
2. ---NOT USED---
3. DEFINITIONS:
 - A. ACCEPTED: AS ACCEPTED BY ARCHITECT
 - B. ACCEPTED EQUAL: AS ACCEPTED BY THE ARCHITECT AS BEING EQUIVALENT QUALITY, UTILITY AND APPEARANCE.
 - C. AS APPLICABLE: AS APPROPRIATE FOR THE PARTICULAR CONDITION, CIRCUMSTANCE OR SITUATION.
 - D. AS REQUIRED: AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERAL ACCEPTED PRACTICE, OR BY THE CONTRACT DOCUMENTS.
 - E. DIRECTED: AS INSTRUCTED BY THE ARCHITECT IN WRITING.
 - F. SATISFACTORY: TO THE SATISFACTION OF THE ARCHITECT, SUBJECT TO THE ARCHITECT'S ACCEPTANCE.
 - G. TYPICAL: IDENTICAL FOR ALL SUCH CONDITIONS UNLESS OTHERWISE NOTED.
 - H. SIMILAR: COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. DIFFERENCES CAN BE INFERRED BY OTHER INFORMATION INDICATED. VERIFY DIMENSIONS AND ORIENTATION.
 - I. FURNISH: SUPPLY ONLY; OTHERS WILL INSTALL.
 - J. INSTALL: INSTALL ITEMS FURNISHED BY OTHERS.
 - K. PROVIDE: FURNISH AND INSTALL.
4. DIMENSIONING AND ELEVATIONS:
 - A. DIMENSIONING AND LAYOUT OF THE WORK SHALL BE ESTABLISHED FROM A COMMON REFERENCE LOCATION ON CORE ELEMENTS OF THE BUILDING.
 - B. NOT USED
 - C. CLEAR CEILING HEIGHTS ARE TO BE MAINTAINED AS THEY EXIST.
 - D. NEW INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF FINISH.
 - E. INTERIOR STUD WALLS ARE DIMENSIONED TO FACE OF FINISH.
 - F. DOORS AT INTERIOR STUD WALLS ARE DIMENSIONED TO DOOR DIMENSION. SEE DOOR SCHEDULE AND DOOR TYPES FOR SIZE OF DOORS, FRAMES (UNIT DIMENSION) ROUGH OPENING, AND WHERE APPLICABLE, MASONRY OPENING.
 - G. DIMENSIONS NOTED AS "CLEAR" OR "CLR" MUST BE PRECISELY MAINTAINED. WHERE DIMENSIONS ARE NOTED AS "MINIMUM" OR "MIN," DIMENSION CANNOT BE LESS THAN AS INDICATED ON DRAWINGS.
 - H. --- NOT USED ---
 - I. ELEVATION MARKERS ON KEY AND SYMBOL PLAN REFERENCE TOP OF STRUCTURAL SLAB. ALL OTHER REFERENCES TO ELEVATION INDICATE IF MAKER IS REFERENCED FROM TOP OF STRUCTURAL SLAB OR FINISH FLOOR.
 - J. DIMENSIONS NOTED AS "A.F.F." ARE ABOVE FINISH FLOOR MATERIAL.
 - K. DO NOT SCALE DRAWINGS. IF THE WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CONSENT OF THE ARCHITECT.
 - L. DIMENSIONS MARKED "V.L.F." SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR. RELAY FIELD MEASUREMENTS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - M. WHERE AN ALIGNMENT IS NOTED ON DRAWINGS, ALIGNMENTS ARE TO BE MAINTAINED. IF DIMENSIONAL LAYOUT CONFLICTS WITH ALIGNMENTS AS NOTED OR SHOWN OF DRAWINGS, CONTACT THE ARCHITECT FOR VERIFICATION.
5. ALL NEW CONSTRUCTION TO MEET THE 2007 CALIFORNIA BUILDING CODE BASED ON THE 2006 INTERNATIONAL BUILDING CODE, CALIFORNIA RESIDENTIAL BUILDING CODE AND THE CITY AND COUNTY OF SAN FRANCISCO MUNICIPAL BUILDING CODE 2007, AND ANY ADDITIONAL CODES GOVERNING THIS PROJECT.

6. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO COMPLETE THE WORK OF THE PROJECT.
7. ALL NEW APPLIANCES, AND PLUMBING FIXTURES SHALL BE CERTIFIED TO COMPLY WITH THE MANDATORY STANDARDS FOR COMPLIANCE FOR RESIDENTIAL BUILDINGS.
8. DIMENSIONING RULES:
 - A. ADJUSTMENT DIMENSIONS ARE INDICATED BY +/-
 - B. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR FINISH UNLESS OTHERWISE NOTED.
 - C. ITEMS SHOWN AS EQUAL DIMENSION SHALL BE MEASURED OUT AND SET ACCORDINGLY BY THE CONTRACTOR.
 - D. SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMAN AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST AND ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED.
 - E. THE ARCHITECT RESERVES THE RIGHT TO REJECT MATERIALS AND WORK QUALITY WHICH ARE NOT CONSIDERED TO BE UP TO THE SPECIFIED STANDARDS OF THE VARIOUS TRADES INVOLVED. SUCH INFERIOR WORK QUALITY SHALL BE REPAIRED OR REPLACED, AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.
 - F. ITEMS OF EQUIPMENT, FIXTURES, AND MATERIALS NOT DEFINITELY SPECIFIED HEREIN, BUT NECESSARY FOR THE COMPLETION OF THE WORK SHALL BE PROVIDED AS INDICATED ON THE DRAWINGS. SUCH ITEMS SHALL BE OF TYPE AND QUALITY SUITABLE FOR THE SERVICE. ITEMS SHALL ALSO BE COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE BUILDING.
 - G. WHENEVER IN THE SPECIFICATIONS THE ABBREVIATION OR ACRONYM IS SPECIFIED, IT SHALL BE UNDERSTOOD TO MEAN THE FULL NAME OF THE RESPECTIVE ORGANIZATION, AS FOLLOWS:
 - AIA AMERICAN INSTITUTE OF ARCHITECTS
 - ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
 - ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS.
 - AWI ARCHITECTURAL WOODWORK INSTITUTE.
 - ICC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
 - NEC NATIONAL ELECTRICAL CODE
 - UBC UNIFORM BUILDING CODE
 - UL UNDERWRITERS LABORATORIES, INC.
 - UMC UNIFORM MECHANICAL CODE
 - UPC UNIFORM PLUMBING CODE

CODE DATA

BLOCK 1619 - LOT 028 -PROJECT SITE ZONED RH-2
RELIGIOUS FACILITY - TWO STORY BUILDING (NO CHANGE)

RH-2 OCCUPANCY HEIGHT LIMIT (40'-X), HEIGHT = 33'-6" (EXISTING NO CHANGE)

YEAR BUILT: 1946

ADDRESS: 751 25TH AVE. SAN FRANCISCO, CA 94121

CONSTRUCTION TYPE: V-B
EXISTING CONSTRUCTION HAS AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.

PARKING PROVIDED - NONE

PER ARTICLE 1.5 SECTION 151 SCHEDULE OF REQUIRED OFF-STREET
PARKING SPACES: CHURCH OR OTHER RELIGIOUS INSTITUTIONS ARE TO HAVE
(1) OFF-STREET PARKING SPACE FOR EACH 20 SEATS BY WHICH THE MAIN
AUDITORIUM EXCEEDS 200.

TOTAL SEAT COUNT IN MAIN AUDITORIUM= 90, NO OFF-STREET
PARKING REQUIRED.

FLOOR AREAS	EXISTING	NEW
FIRST LEVEL	11,357 SF	NO CHANGE
SECOND LEVEL	3,494 SF	NO CHANGE
TOTAL AREA	14,851 SF	NO CHANGE

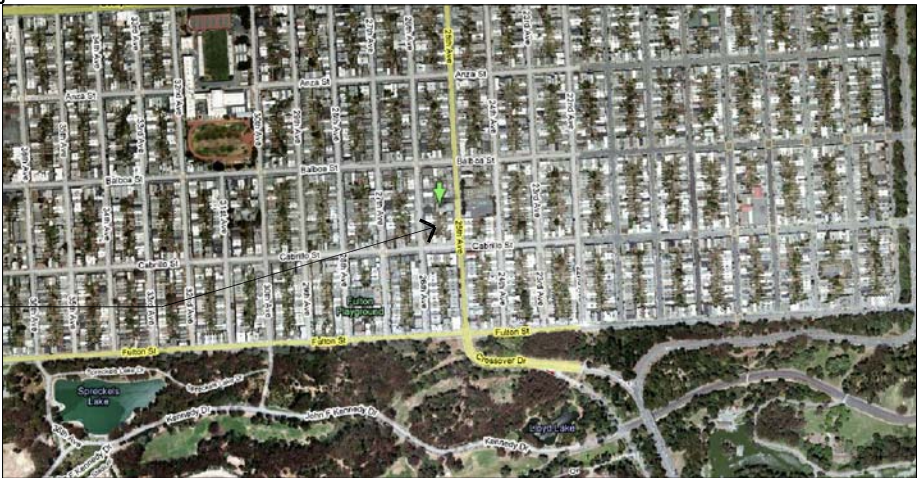
PROJECT TEAM

CLIENT	CONGREGATION CHEVRA THILIM 751 25TH AVENUE SAN FRANCISCO, CA 94121
ARCHITECT	GEDDES ULINSKAS ARCHITECTS 52 SECOND STREET, 3RD FLOOR SAN FRANCISCO, CA 94105
STRUCTURAL ENGINEERS	PATRICK BUSCOVICH AND ASSOCIATES STRUCTURAL ENGINEERS 235 MONTGOMERY STREET, SUITE 823 SAN FRANCISCO, CA 94104

SCOPE OF WORK

SCOPE OF WORK: ADDITION OF CONNECTING BRIDGES FROM THE OFFICE SPACE TO EXTERIOR DECK OVER KITCHEN AND CONNECTION TO EXISTING STAIR LANDING AT EXISTING ADJACENT BUILDING. NEW TRANSLUCENT PANEL SCREENS AT EXTERIOR DECK ARE ALSO TO BE INSTALLED. THIS IS REVISION TO PERMIT APPLICATION NO. 2012.0302.5312.

VICINITY MAP



PROJECT SITE

SITE MAP

DRAWING SHEET LIST

GENERAL	
A-000	TITLE SHEET, GENERAL NOTES, SITE PLAN
ARCHITECTURAL	
A-122	SECOND FLOOR DIM, KEY & SYM PLAN
A-201	EXTERIOR ELEVATIONS - WEST
A-202	EXTERIOR ELEVATIONS - SOUTH

CONGREGATION
CHEVRA THILIM RENOVATION

751 25th Avenue
San Francisco, CA

GEDDES ULINSKAS
ARCHITECTS

52 Second Street
San Francisco CA 94105

T 415 904 0483
F 415 904 9645

DRAWING: 102 DATE: 07.27.12

CHECKED BY:

ISSUE: 1 ISSUE FOR PERMIT DATE: 22 JUNE 12



SCALE: AS NOTED

PROJECT NUMBER:

TITLE SHEET
GENERAL NOTES
SITE PLAN

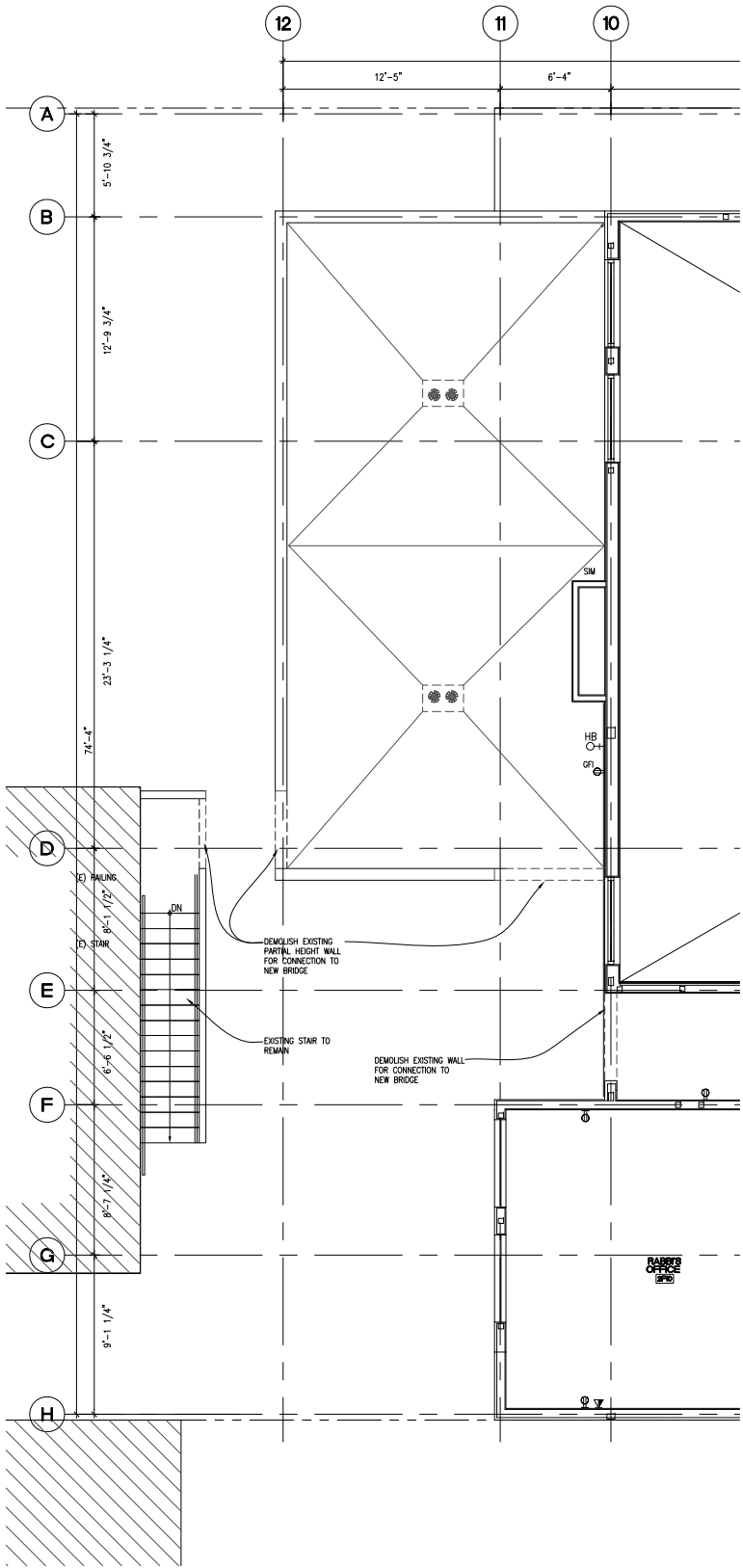
A-000

SITE PLAN

SCALE: 1/8" = 1'-0"

C:\CCTV\cvg\cvt\cvt\cvt\cvt.dwg (96)

1

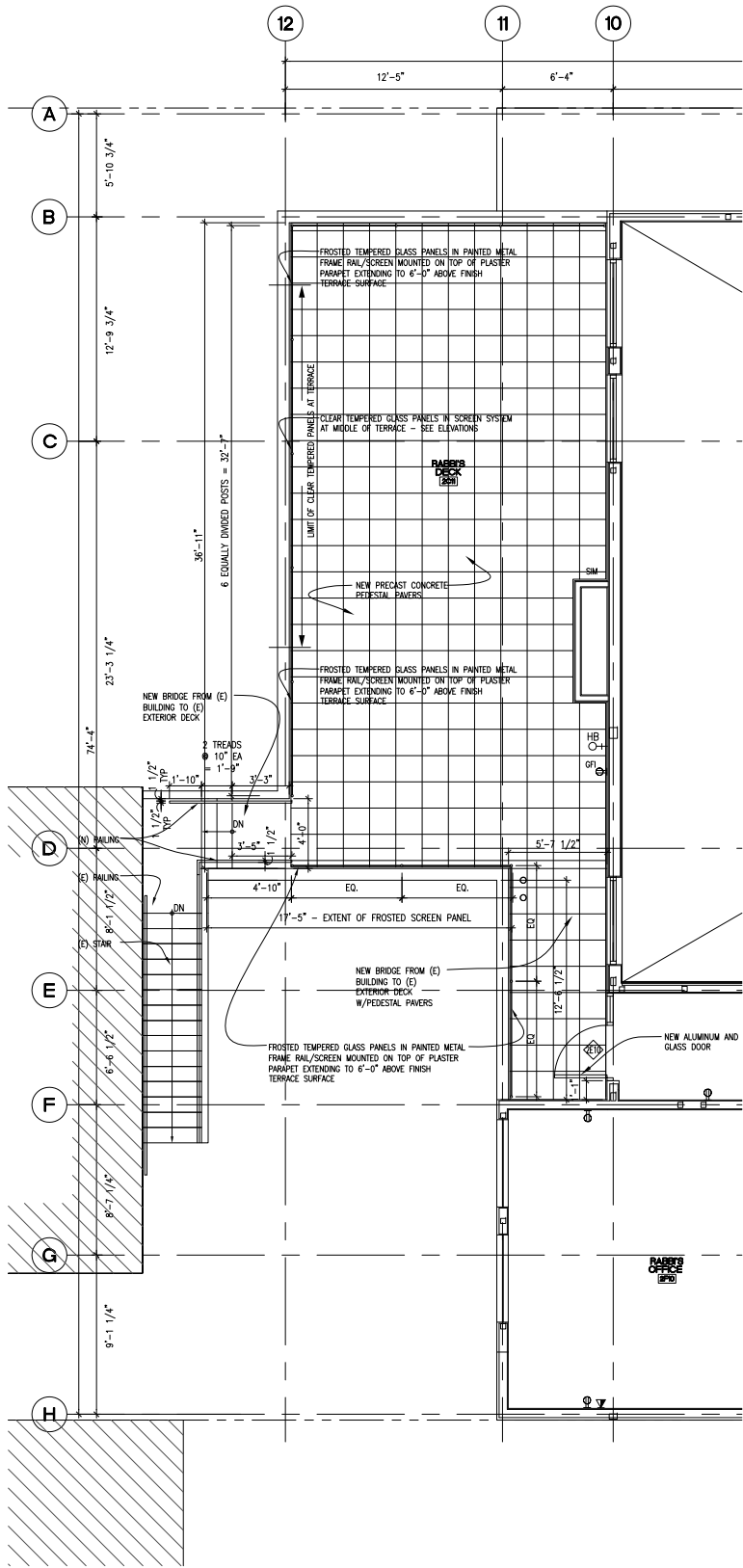


SECOND FLOOR - DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

C:\CCTV\dwg\unl\pssn\1-floor 1-key.dwg (06)

2



SECOND FLOOR - CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

C:\CCTV\dwg\unl\pssn\1-floor 1-key.dwg (06)

1

SHEET NOTES

1. NOT USED.
2. NOT USED.
3. NOT USED.
4. VERIFY DIMENSIONS SHOWN W/ FIELD MEASUREMENTS. CHECK LEVELS AND LINES INDICATED BEFORE COMMENCING WORK. ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
5. COORDINATE LOCATIONS OF MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT INCLUDING PIPING, DUCTWORK AND CONDUIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION TO ASSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANC OF THE ABOVE EQUIPMENT IS PROVIDED.
7. WHERE CONFLICTS OCCUR, THE CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF PARTITIONS, DOORS, ELECTRICAL AND COMMUNICATIONS OUTLETS AND SWITCHES W/ THE ARCHITECT AND OTHER PARTIES IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

KEY

- EXISTING WALLS/PARTITIONS
- NEW WALLS/PARTITIONS
- EXISTING PARTITIONS TO BE DEMOLISHED
- WALL TAG, SEE SHEET A-511 FOR WALLTYPES
- FLOOR TYPE, SEE SHEET A-511 FOR FLOOR ASSEMBLIES
- DOOR TAG
- EXISTING ADJACENT BUILDING

CONGREGATION
CHEVRA THILIM RENOVATION

701 25th Avenue
San Francisco, CA

GEDDES ULINSKAS
ARCHITECTS

52 Second Street
San Francisco CA 94105

T 415 904 0483
F 415 904 9645

DRAWN BY: FLOT DATE: 07.27.12

CHECKED BY:

ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	03.02.12



SCALE: 1/4" = 1'-0"

PROJECT NUMBER:

SECOND FLOOR
DEMO AND CONS PLAN

A-121

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

CONGREGATION
CHEVRA THILIM RENOVATION

751 25th Avenue
San Francisco, CA

GEDDES ULINSKAS
ARCHITECTS

52 Second Street
San Francisco CA 94105
T 415 904 0483
F 415 904 8643

DRAWN BY: **PLT DATE:** 07.27.12

CHECKED BY:

ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	22 JUNE 12

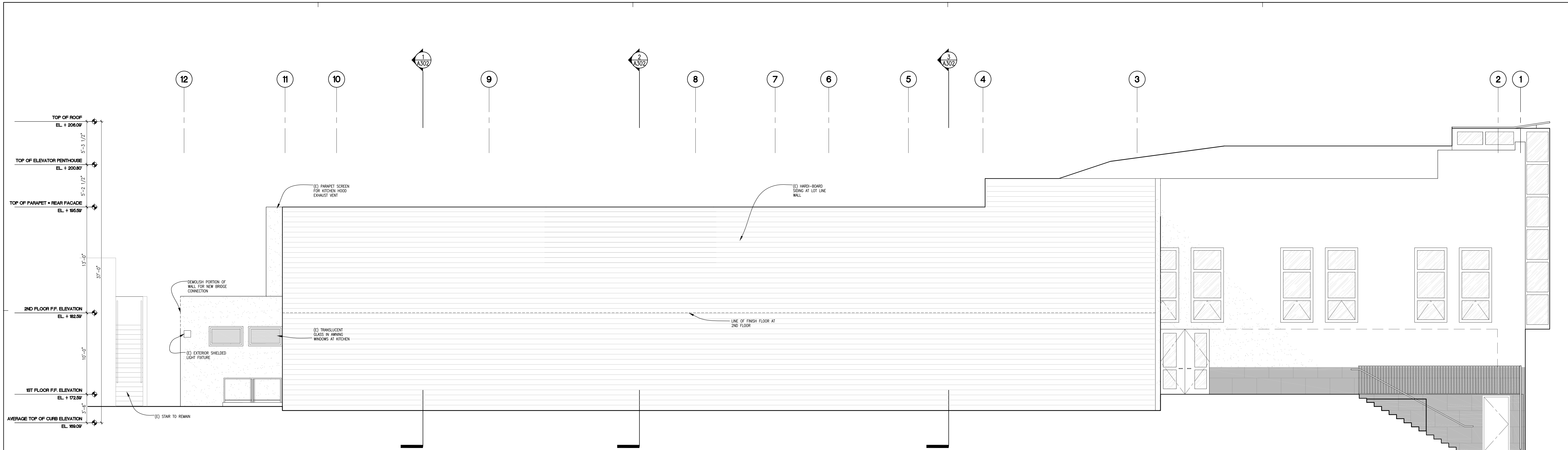


SCALE: $1/4" = 1'-0"$

PROJECT NUMBER:

EXTERIOR
ELEVATION - WEST

A-201

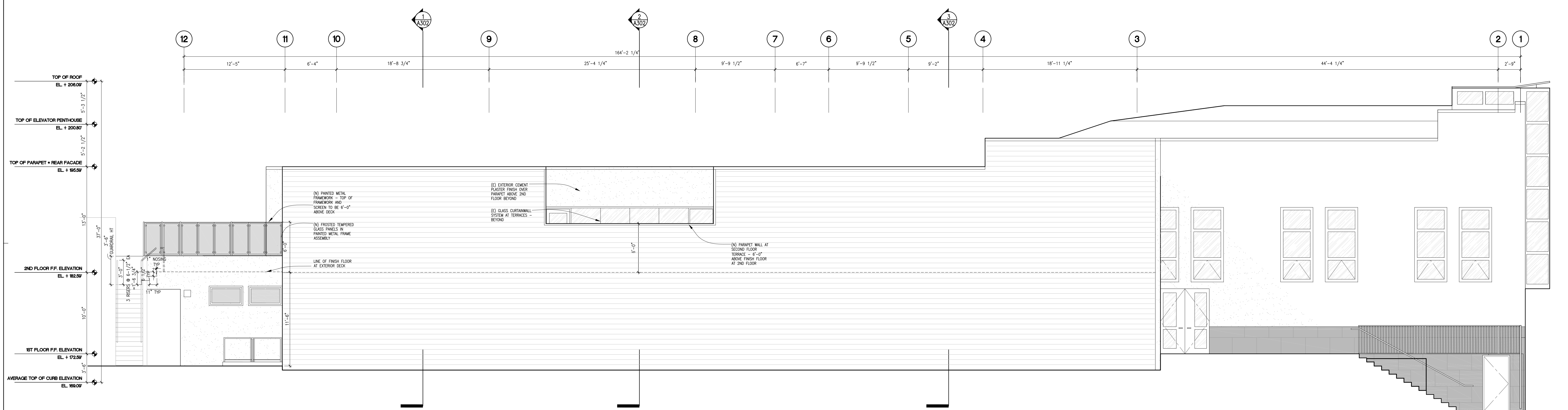


SOUTH ELEVATION - EXISTING, APPROVED UNDER VARIANCE 1

SCALE: 3/16" = 1'-0"

c:\cct\img\pdf\plan\view-south.dwg (96)

1



SOUTH ELEVATION - PROPOSED

SCALE: 3/16" = 1'-0"

c:\cct\img\pdf\plan\view-south.dwg (96)

2

CONGREGATION
CHEVRA THILIM RENOVATION

751 25th Avenue
San Francisco, CA

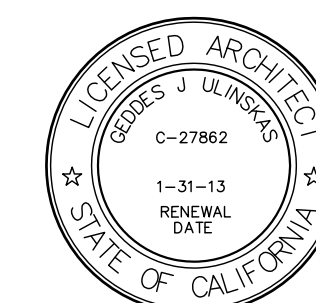
GEDDES ULINSKAS
ARCHITECTS

52 Second Street
San Francisco CA 94105
T 415 904 0483
F 415 904 9543

DRAWN BY: PLOT DATE: 07.30.12

CHECKED BY:

ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	22 JUNE 12



SCALE: 3/16" = 1'-0"

PROJECT NUMBER:

EXTERIOR
ELEVATION - SOUTH

A-202