



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 05, 2012**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Permitted Obstruction)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 875 Stevenson Street	Case No.: 2012.0502EVX
Cross Street(s): 10th Street	Building Permit: 2012.09.05.8914
Block /Lot No.: 3508/039	Applicant/Agent: Terry Kwik
Zoning District(s): C-3-G / 150-S; 200-S	Telephone: (415) 781-9800
Area Plan: N/A	E-Mail: tkwik@rmw.com

PROJECT DESCRIPTION

The proposal is to re-skin the exterior of the third through tenth floors of the existing precast concrete panel building with a new glass curtain wall system, and to make interior alterations throughout.

PER SECTION 136(c)(2) OF THE PLANNING CODE the subject property is permitted to have projecting windows that increase the volume of space enclosed by the building above grade, so long as the maximum length of such window is no more than 15 feet at the line establishing the required open area, and reduced in proportion to the distance from such line by means of 45 degree angles drawn inward from the ends of such 15-foot dimension, reaching a maximum of nine feet along a line parallel to and at a distance of three feet from the line establishing the required open area. The proposed glass curtain wall increases the volume of space enclosed by the building on floors three through ten, and projects approximately 11-inches over the 10th Street property line for the full length of the building facade (approximately 128'-0" long). Therefore, the project requires a variance from the permitted obstruction limits of Planning Code Section 136(c)(2).

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Elizabeth Watty** Telephone: **(415) 558-6620** E-Mail: Elizabeth.Watty@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0502EVX.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 309, the Building Permit Application for this proposal is also subject to a 10-day notification to all owners of the property immediately adjacent to the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

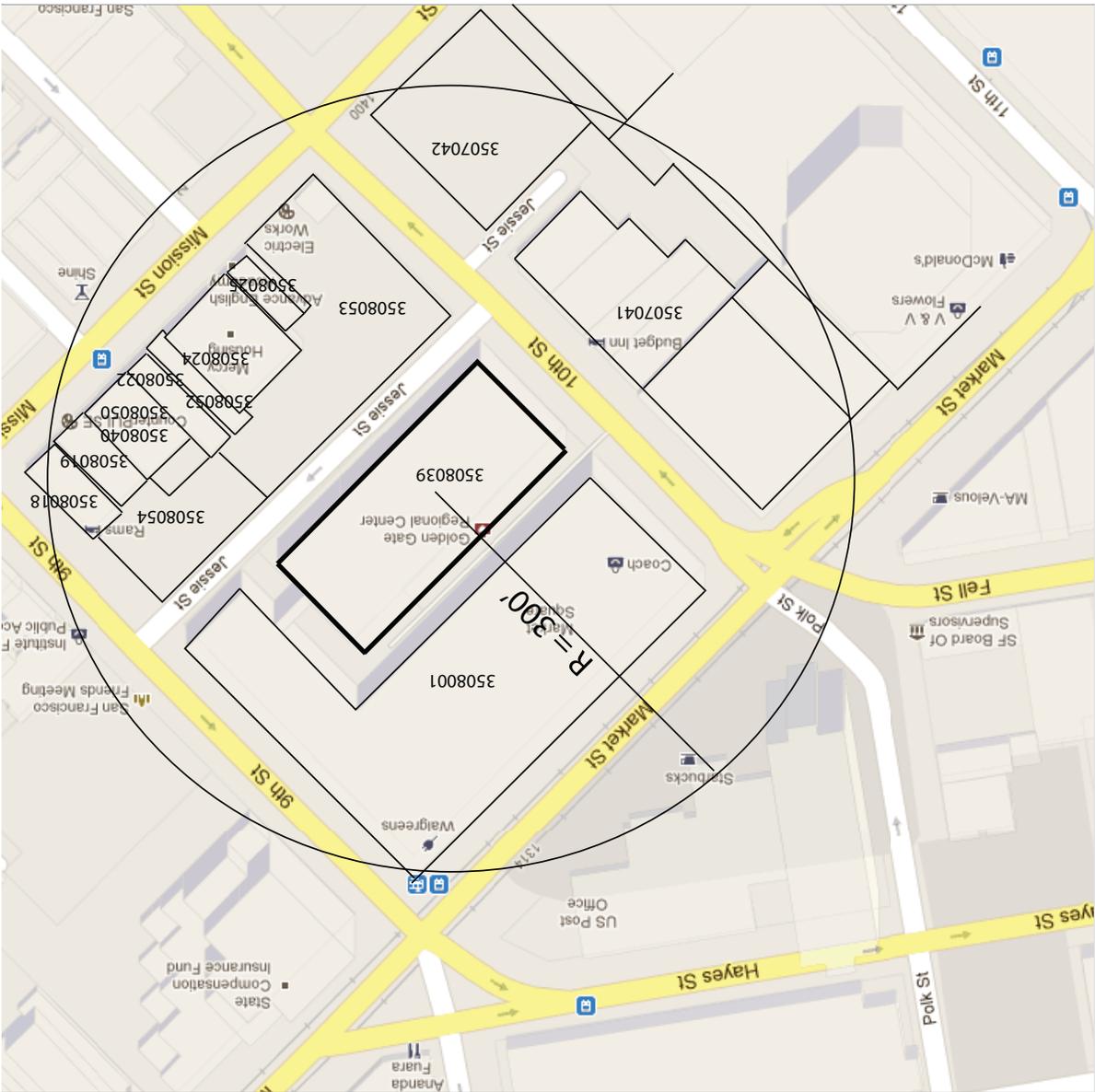
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

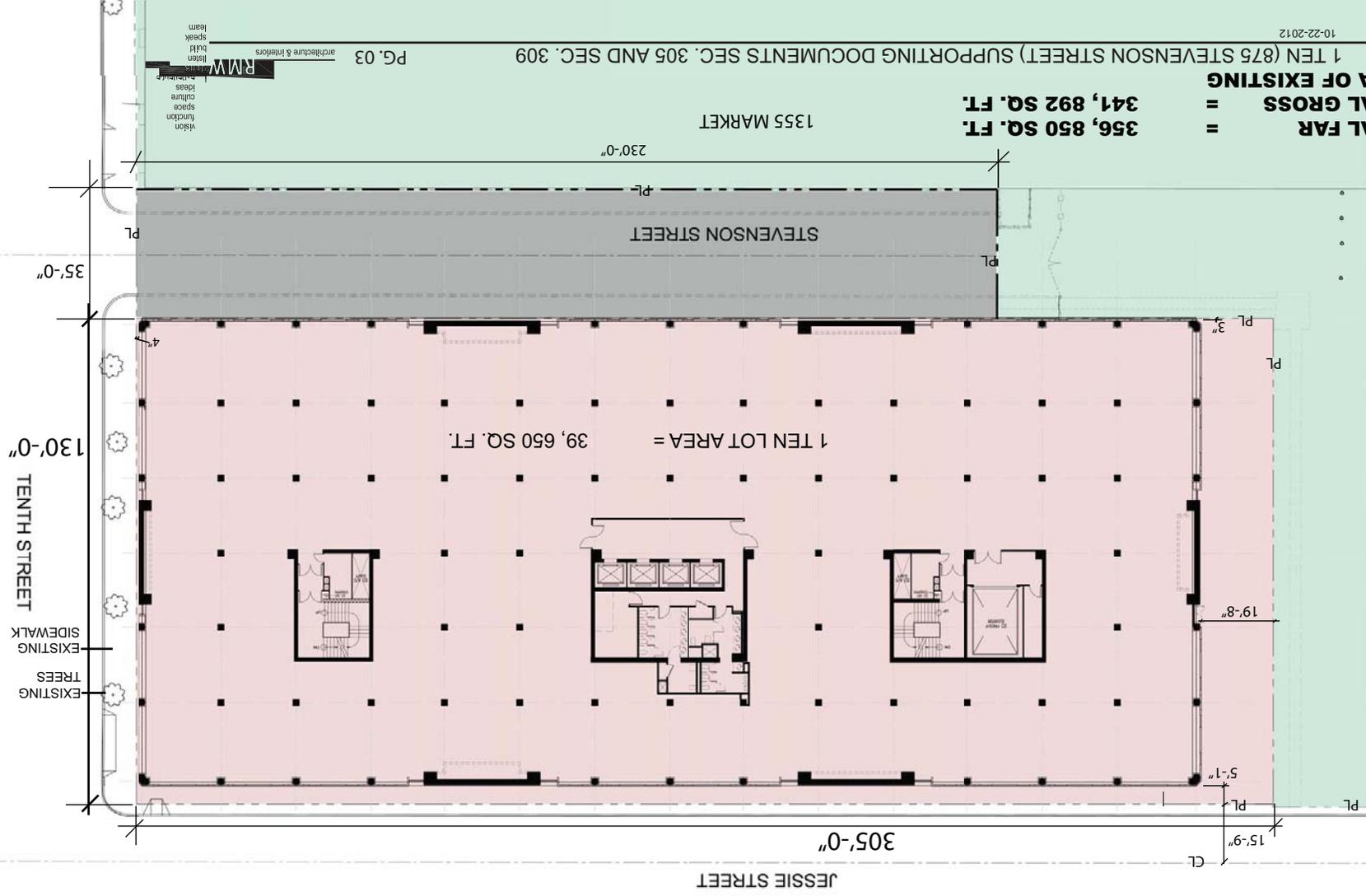
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

1 TEN (875 STEVENSON STREET) SUPPORTING DOCUMENTS SEC. 305 AND SEC. 309

vision
function
space
culture
ideas
RMW
listen
build
speak
learn

300 FOOT RADIUS MAP





TOTAL FAR = **356, 850 SQ. FT.**
TOTAL GROSS = **341, 892 SQ. FT.**

1 TEN (875 STEVENSON STREET) SUPPORTING DOCUMENTS SEC. 305 AND SEC. 309
 10-22-2012

RMW
 architecture & interiors
 vision
 function
 culture
 spaces
 ideas
 build
 speak
 learn

PG. 03

1355 MARKET

TENTH STREET

EXISTING TREES
 EXISTING SIDEWALK

JESSIE STREET

STEVENSON STREET

1 TEN LOT AREA = 39,650 SQ. FT.

305'-0"

130'-0"

35'-0"

230'-0"

19'-8"

5'-1"

15'-9"

PL

PL

PL

PL

PL

CL

TOTAL FAR
= **356,850 SQ. FT.**
TOTAL GROSS
= **341,844 SQ. FT.**
AREA OF PROPOSED

1355 MARKET

230'-0"

STEVENSON STREET

875 STEVENSON
ENTRANCE

1 TEN LOT AREA = 39,650 SQ. FT.

130'-0"
TENTH STREET

EXISTING
TREES
EXISTING
SIDEWALK

GARAGE EXIT

305'-0"
JESSIE STREET

15'-9"
CL

3'-5 1/2"

18'-1 1/2"

1'-2 1/2"

AREA OF
VARIANCE



EXISTING FLOOR AREA = 35,356 SQ.FT.

EXISTING TYPICAL FLOOR

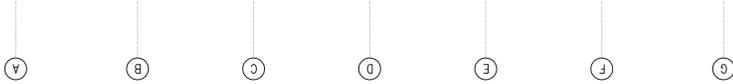
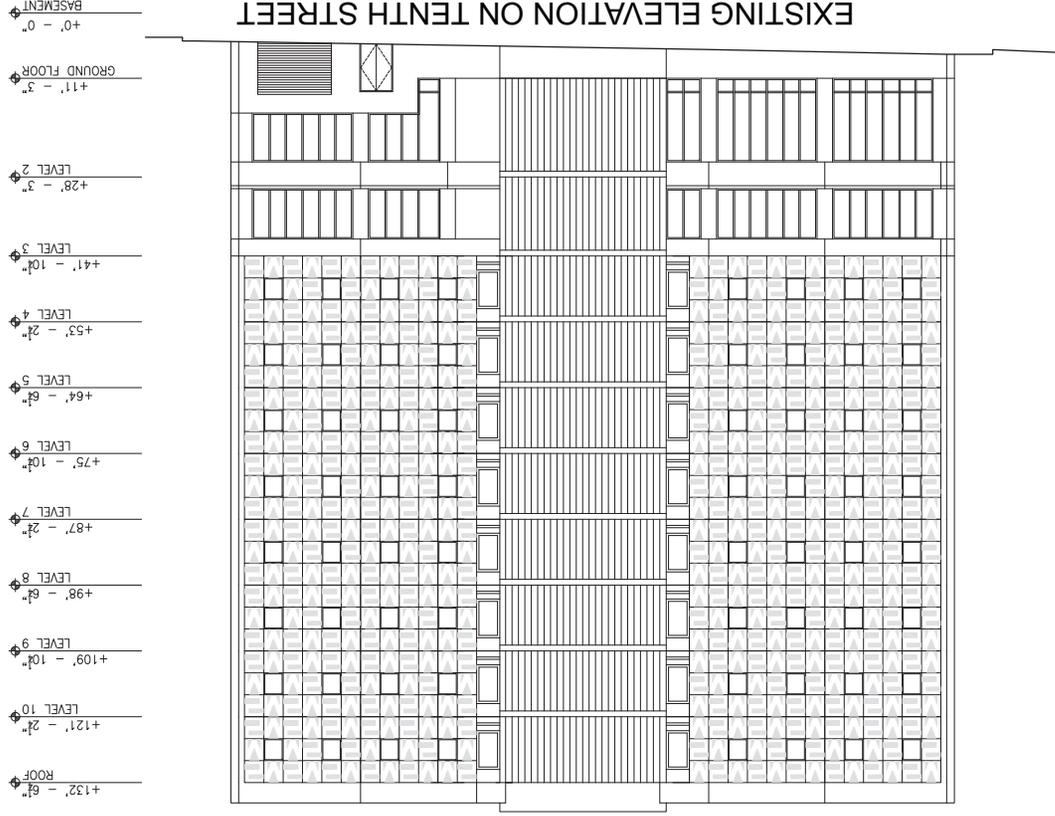


PROPOSED TYPICAL FLOOR AREA = 36,197 SQ.FT.

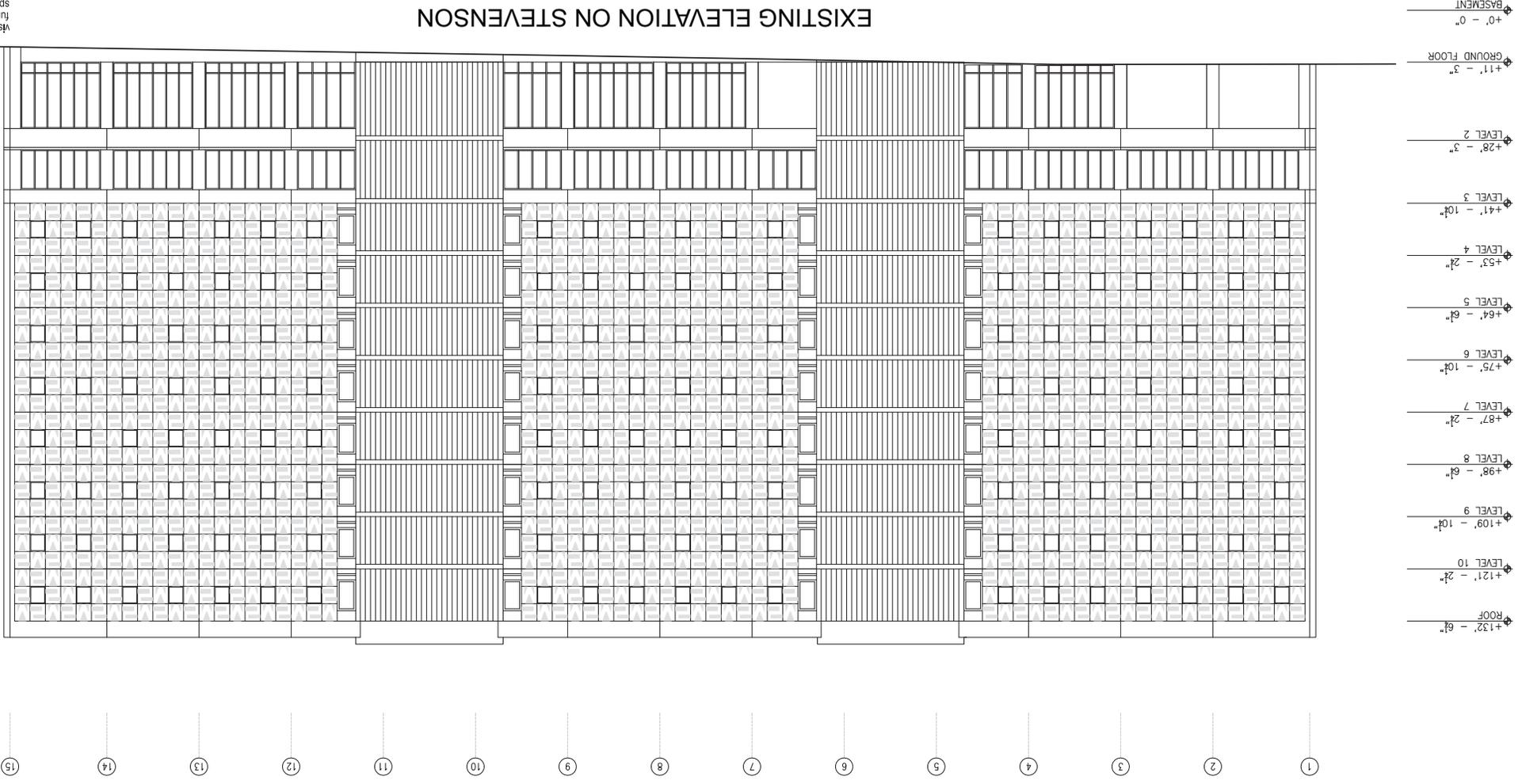
PROPOSED TYPICAL FLOOR



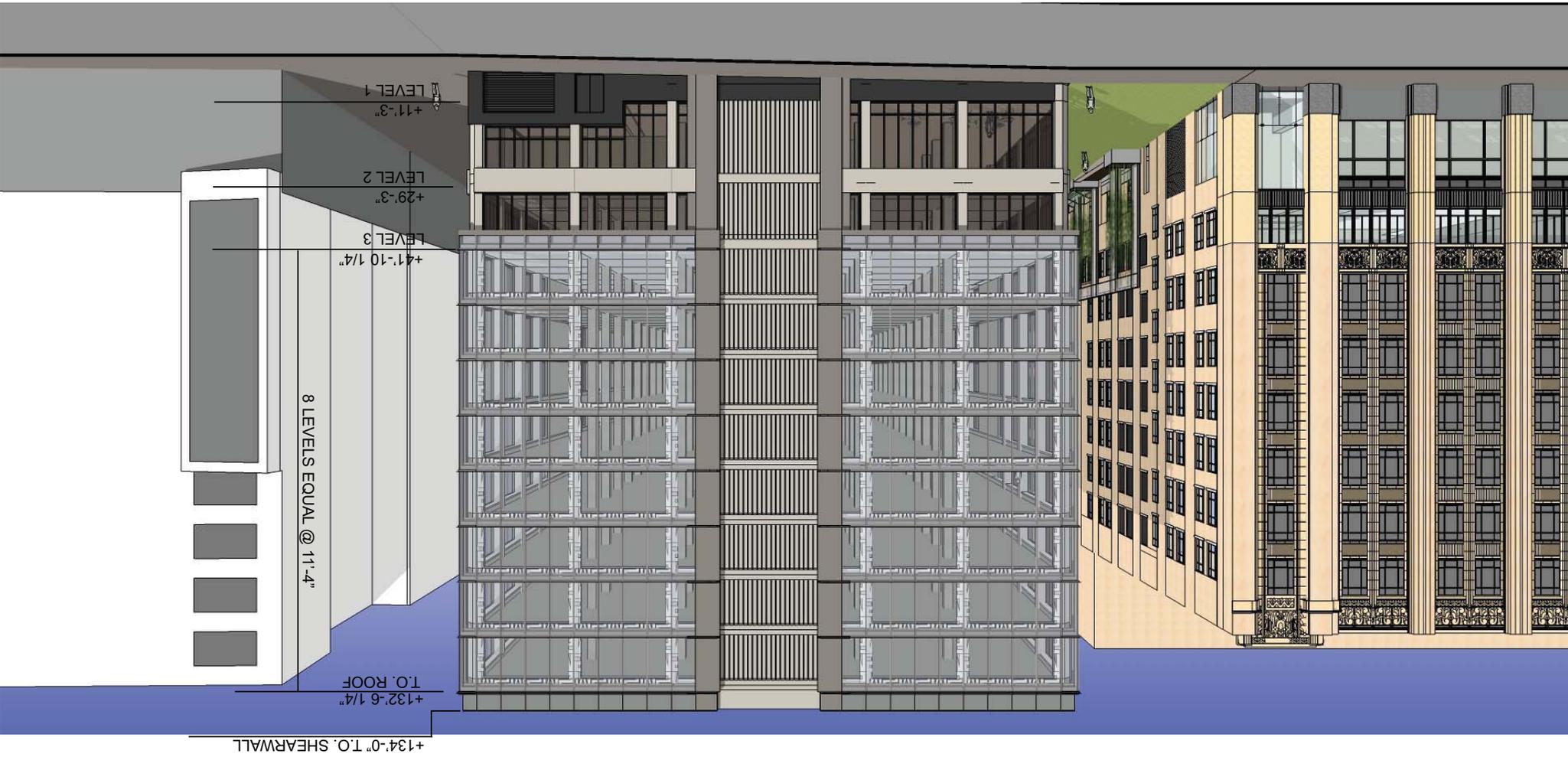
EXISTING ELEVATION ON TENTH STREET



EXISTING ELEVATION ON STEVENSON



ELEVATION ON 10TH STREET



ELEVATION ON STEVENSON STREET



GROUND FLOOR
+11'-3"

LEVEL 2
+29'-3"

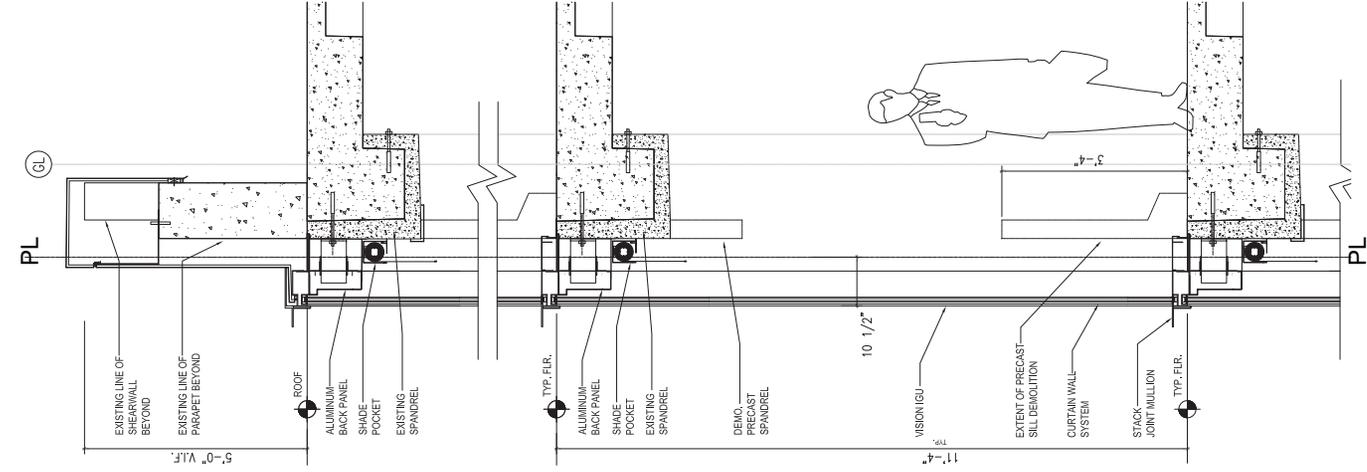
LEVEL 3
+41'-10 1/4"

8 LEVEL EQUAL @ 11'-4"

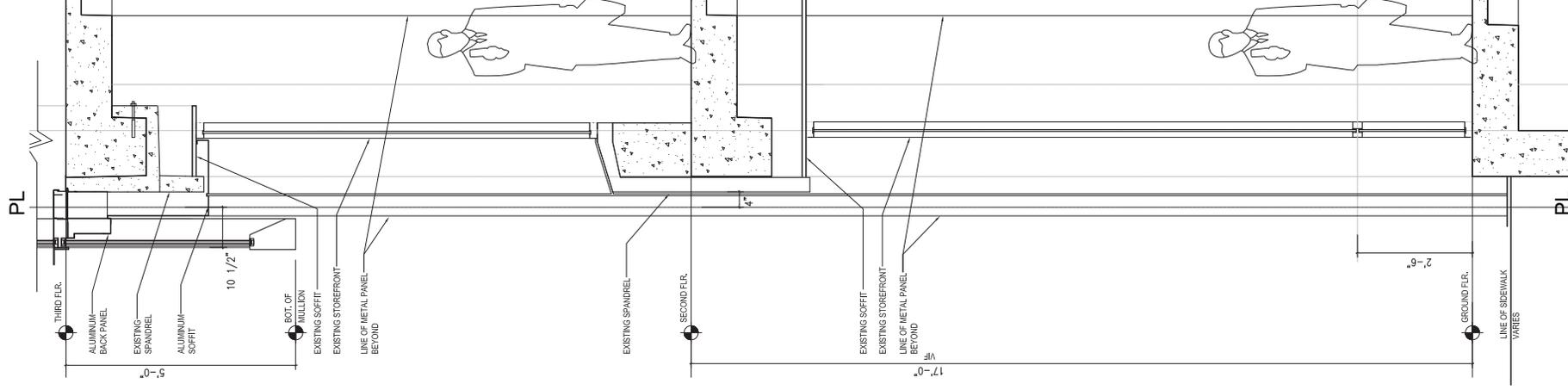
ROOF

+132'-6 1/4"

T.O. SHEARWALL
+134'-0"



WALL SECTION TYPICAL FLOOR TO ROOF



WALL SECTION GROUND FLOOR TO THIRD FLOOR @ 10TH ST.