

PROPOSED SCOPE OF WORK

CRAWLSPACE (LEVEL 4 OF BUILDING)
ELEVATOR PIT ADDITION & RELATED FOUNDATION WORK

GROUND FLOOR / GARAGE LEVEL (LEVEL 5 OF BUILDING)
INFILL OF EXISTING SOUTH GARAGE DOOR AT CRESTLINE DRIVE FACADE. INFILL WALL TO HAVE A SWINGING DOOR IN IT. ELEVATOR AND MACHINE ROOM ADDITIONS AT (E) GARAGE AND MINOR CHANGES TO LOCATION OF PHONE BOX, HOSE BIB, ETC. IN (E) GARAGE.

SECOND & THIRD FLOORS (LEVELS 6 AND 7 OF BUILDING)
EXTERIOR ADDITION TO PARTIALLY HOUSE PROPOSED ELEVATOR AND HALL PORTIONS, AND INTERIOR REMODELING TO PARTIALLY HOUSE ELEVATOR SHAFT AND NEW HALL CONFIGURATION, AND INTERIOR REMODELING TO ADJUST ADJACENT BEDROOM 1 CLOSET.

NOTE: THE PROPOSED HYDRAULIC ELEVATOR IS A PRIVATE RESIDENTIAL (NOT COMMERCIAL) TYPE AND WILL SERVE UNIT / APARTMENT #12 ONLY.

BUILDING INFORMATION

EXISTING

CONSTRUCTION TYPE: VB
OCCUPANCY: TWELVE-UNIT APARTMENT BUILDING (R-2)
PARKING: 14 GARAGE SPACES

FIRE SPRINKLERS: ALTHOUGH THE EXISTING BUILDING, CONSTRUCTED IN 1964, IS A NON-SPRINKLERED BUILDING, IT IS PROVIDED WITH FIRE SPRINKLERS IN CERTAIN STORAGE LOCKER AND TRASH CHUTE / TRASH ROOM LOCATIONS. THESE SPRINKLERS ARE ON THE DOMESTIC WATER LINE, ARE NON-CONFORMING TO NFPA 13 STANDARDS, AND WERE INSTALLED AS PART OF THE ORIGINAL BUILDING CONSTRUCTION.

PROPOSED

CONSTRUCTION TYPE: VB W/ FIRE-RATED SHAFT AND MACHINE ROOM AS DEFINED IN THE ADJACENT PRE-APPLICATION MEETING FINDINGS.

OCCUPANCY: TWELVE-UNIT APARTMENT BUILDING (R-2)
PARKING: 13 PARKING SPACES (1 EXISTING GARAGE PARKING SPACE REMOVED FOR PROPOSED ELEVATOR)

FIRE SPRINKLERS: PER THE PRE-APPLICATION FINDINGS, NO ADDITIONAL FIRE SPRINKLERS ARE REQUIRED OR VOLUNTARILY PROPOSED.

SHEET INDEX

- A-1 EXISTING & PROPOSED SITE PLANS / ROOF PLANS
A-2 EXISTING & PROPOSED CRAWLSPACE, GROUND & SECOND FLOOR PLANS IN AREA OF WORK
A-3 EXISTING & PROPOSED THIRD FLOOR PLANS IN AREA OF WORK AND PROPOSED ELEVATOR CAB PLAN
A-4 EXISTING & PROPOSED BUILDING SECTIONS
A-5 EXISTING & PROPOSED FRONT / WEST ELEVATIONS
A-6 EXISTING & PROPOSED SOUTH SIDE ELEVATIONS

Architect
Steven Whitney
164 Marietta Drive
San Francisco, CA 94127
Phone: (415) 469-9052
Fax: (415) 469-9062
E-mail: sw@stevenwhitney.com
www.stevenwhitney.com

BUILDING ADDITION &
INTERIOR REMODELING
30 CRESTLINE DRIVE
SAN FRANCISCO, CA 94131

EXISTING & PROPOSED
SITE PLANS /
ROOF PLANS

NO. ISSUE
DATE
PROJECT NORTH

A-1

ADJACENT STRUCTURE

LOT 10, BLOCK 2845
3 STORIES ABOVE STREET
LEVEL AT CRESTLINE DRIVE,
7 STORIES TOTAL

CRESTLINE DRIVE

SIDEWALK

LINE OF (E) BUILDING PORTION
UNDER OVERHANG OR UPPER
BUILDING PORTION (TYP. WHERE
DASHED)

REAR YARD

PROJECT SITE

LOT 11, BLOCK 2845
ZONING: RM-1, HEIGHT LIMIT: 40X

12-UNIT APARTMENT BUILDING
3 STORIES ABOVE STREET
LEVEL AT CRESTLINE DRIVE,
7 STORIES TOTAL

14 GARAGE PARKING SPACES

AREA OF WORK
THIS PERMIT

FLAT ROOF

FLAT ROOF

FLAT ROOF

ADJACENT STRUCTURE

LOT 12, BLOCK 2845
3 STORIES ABOVE STREET
LEVEL AT CRESTLINE DRIVE,
7 STORIES TOTAL

EXISTING SITE
PLAN/ROOF PLAN

SCALE: 1" = 16'-0"
PROJECT NORTH

ACTUAL NORTH

0' 5' 10' 20' 40'

ANY DRAWING OR DRAWINGS ISSUED WITHOUT THE APPROVAL
STAMP SIGNED AND DATED BY THE BUILDING DEPARTMENT
SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE
USED FOR CONSTRUCTION.

DRAWINGS ARE ILLUSTRATIVE. VERIFY EXISTING CONDITIONS &
DIMENSIONS IN FIELD.

ADJACENT STRUCTURE

LOT 10, BLOCK 2845
3 STORIES ABOVE STREET
LEVEL AT CRESTLINE DRIVE,
7 STORIES TOTAL

CRESTLINE DRIVE

SIDEWALK

LINE OF (E) BUILDING PORTION
UNDER OVERHANG OR UPPER
BUILDING PORTION (TYP. WHERE
DASHED)

REAR YARD

PROJECT SITE

LOT 11, BLOCK 2845
ZONING: RM-1, HEIGHT LIMIT: 40X

12-UNIT APARTMENT BUILDING
3 STORIES ABOVE STREET
LEVEL AT CRESTLINE DRIVE,
7 STORIES TOTAL

1 (E) PARKING SPACE PROPOSED
TO BE REMOVED = 13 (E) GARAGE
PARKING SPACES TO REMAIN

LINE OF SETBACK
(AVERAGE OF ADJACENT
TWO BUILDING FACADES)

PROPOSED ADDITION AT
SECOND & THIRD FLOORS
ABOVE STREET LEVEL AT
CRESTLINE DRIVE (& AT
INTERIOR AT GROUND FLOOR)
W/ FLAT ROOF TO ALIGN
W/ ADJACENT (E) ROOF

AREA OF WORK
THIS PERMIT

(E) FLAT ROOF

(E) FLAT ROOF

(E) FLAT ROOF

ADJACENT STRUCTURE

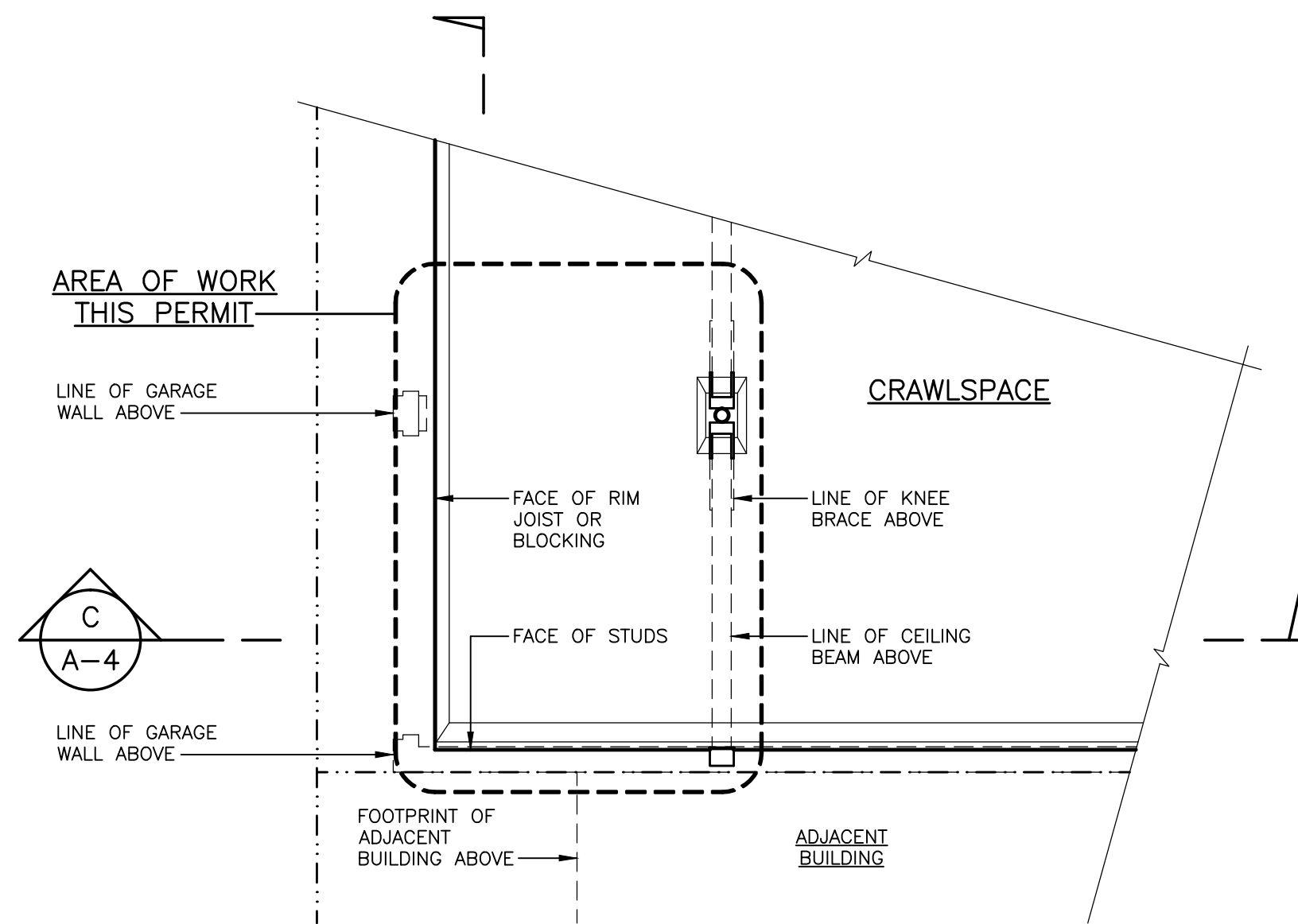
LOT 12, BLOCK 2845
3 STORIES ABOVE STREET
LEVEL AT CRESTLINE DRIVE,
7 STORIES TOTAL

PROPOSED SITE
PLAN/ROOF PLAN

SCALE: 1" = 16'-0"
PROJECT NORTH

ACTUAL NORTH

0' 5' 10' 20' 40'

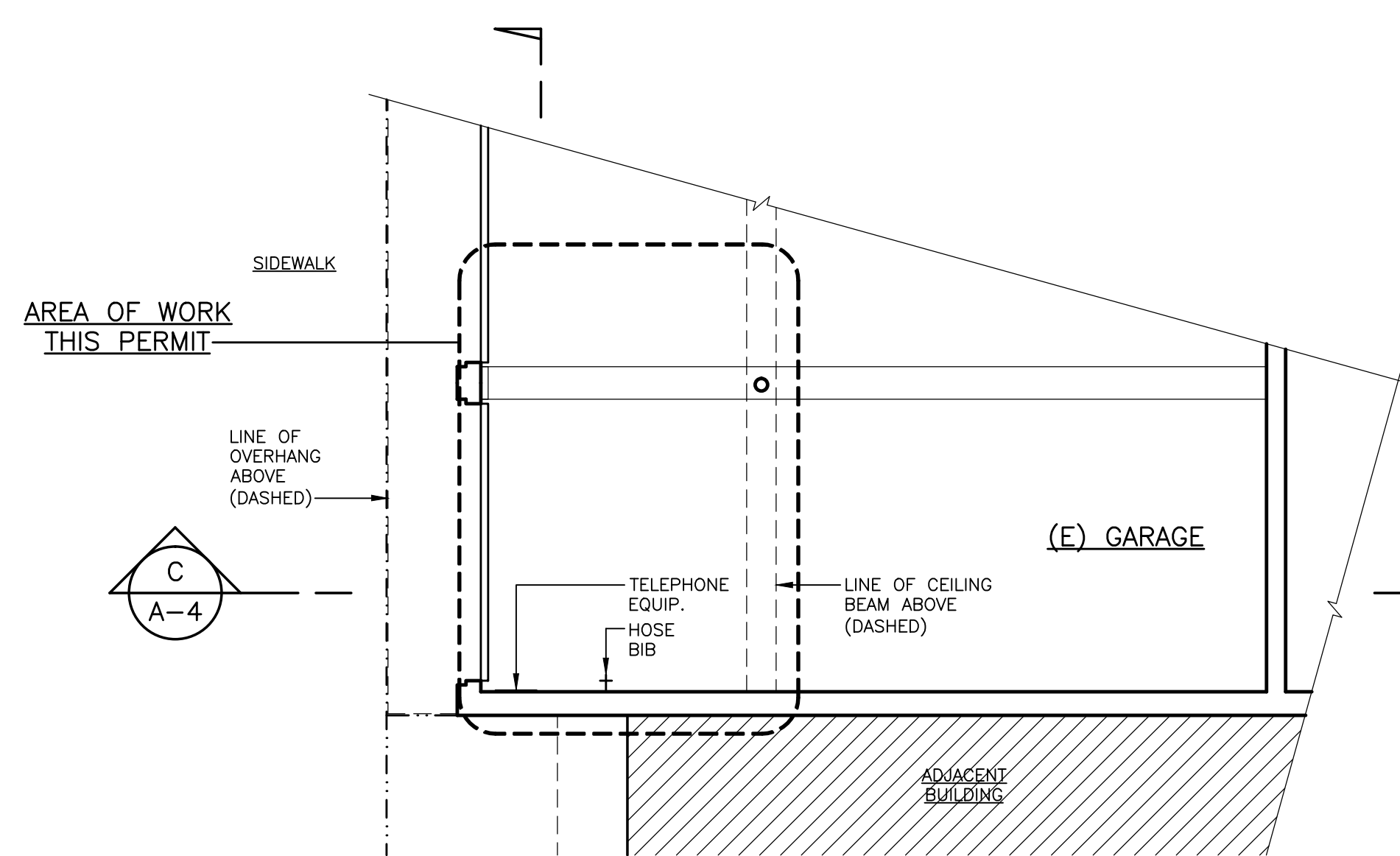


EXISTING PARTIAL CRAWLSPACE FLOOR PLAN (LEVEL 4 OF BUILDING—SEE EXISTING SOUTH ELEVATION ON SHT. A-6)

SCALE: 1/4" = 1'-0"

PROJECT NORTH

0' 1' 2' 5' 10' 20'

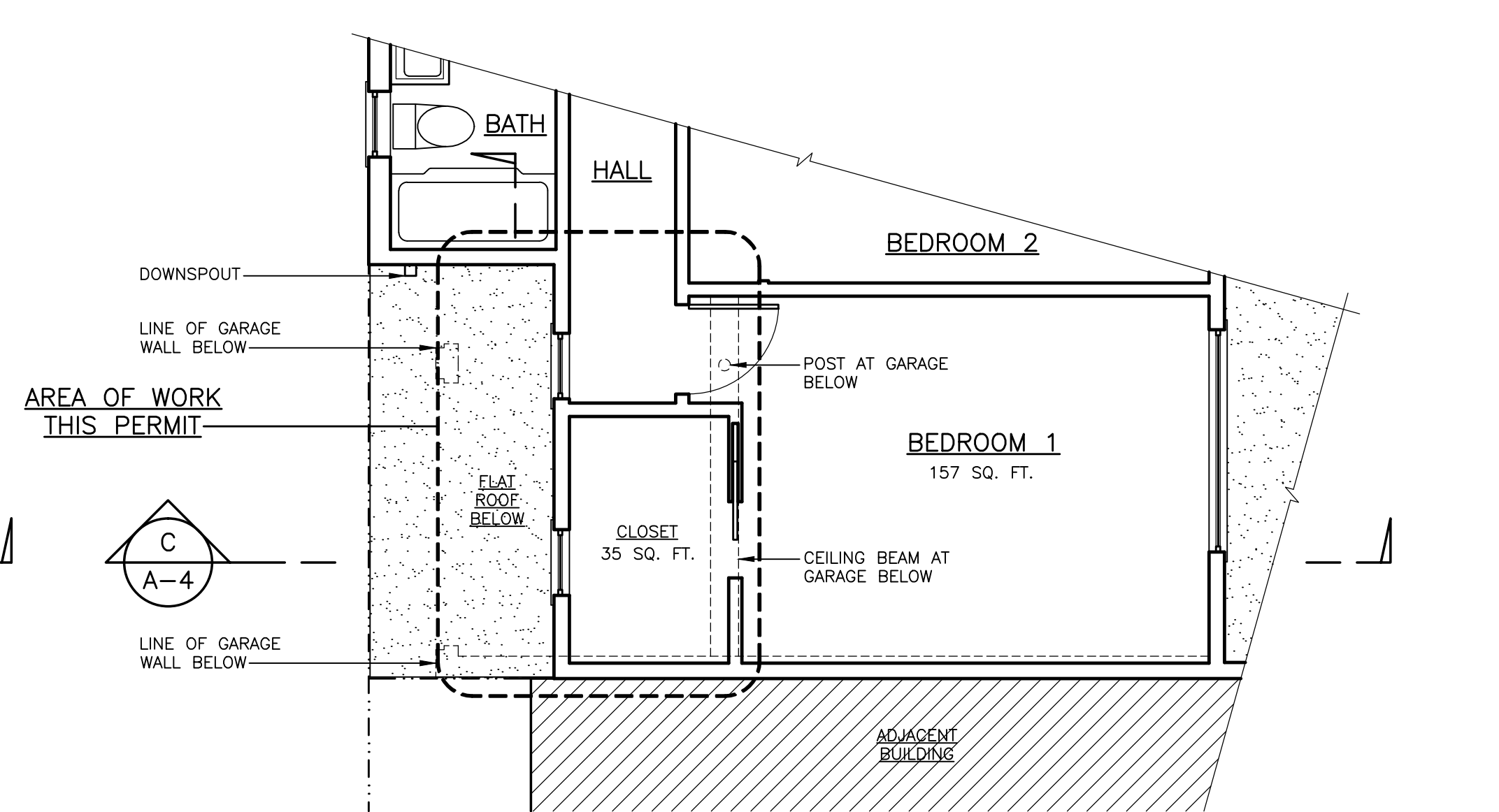


EXISTING PARTIAL GROUND FLOOR PLAN (LEVEL 5 OF BUILDING—SEE EXISTING SOUTH ELEVATION ON SHT. A-6)

SCALE: 1/4" = 1'-0"

PROJECT NORTH

0' 1' 2' 5' 10' 20'

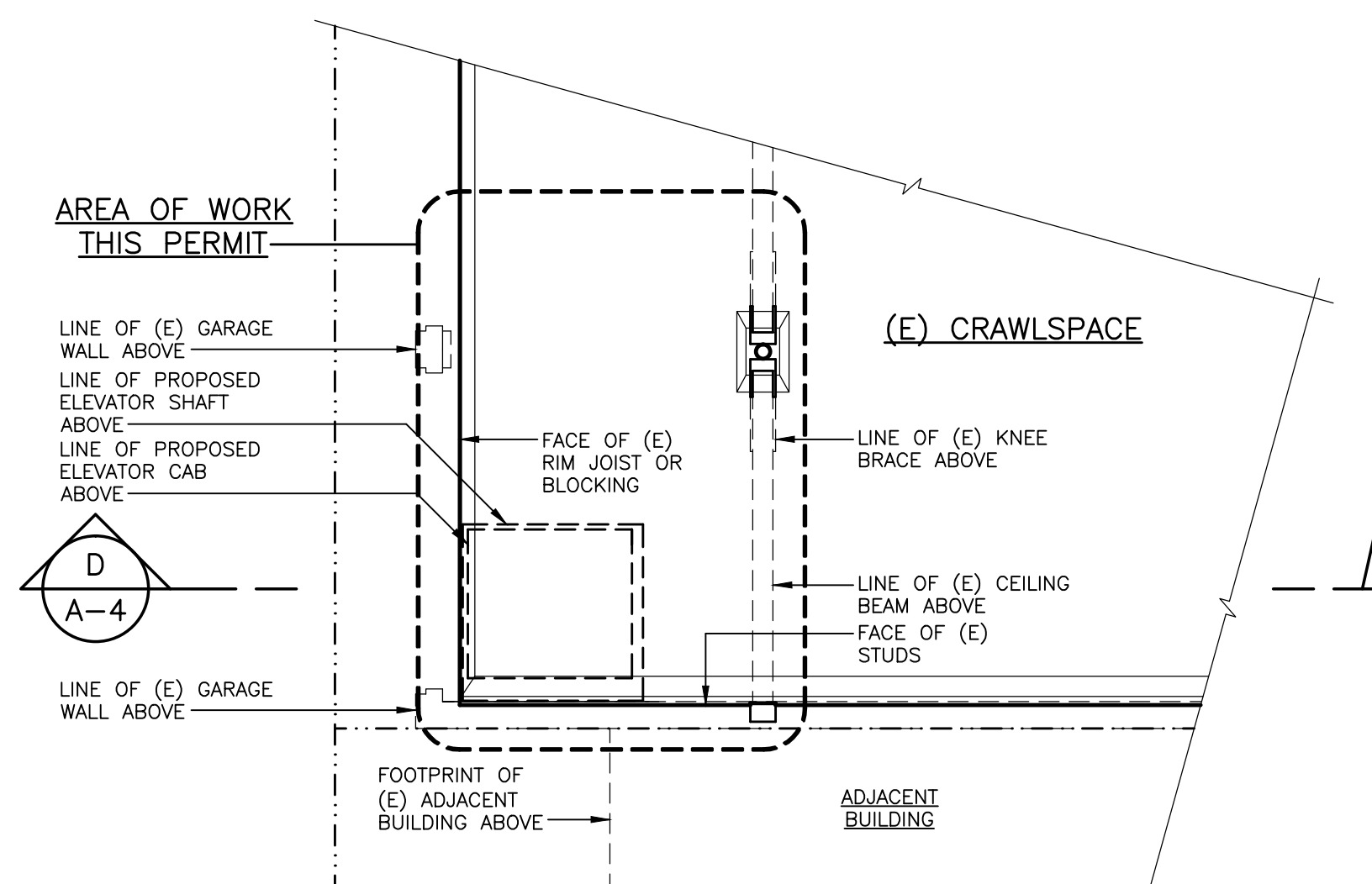


EXISTING PARTIAL 2ND FLR. PLAN (APT. #10) (LEVEL 6 OF BUILDING—SEE EXISTING SOUTH ELEVATION ON SHT. A-6)

SCALE: 1/4" = 1'-0"

PROJECT NORTH

0' 1' 2' 5' 10' 20'



PROPOSED PARTIAL CRAWLSPACE FLOOR PLAN (LEVEL 4 OF BUILDING—SEE EXISTING SOUTH ELEVATION ON SHT. A-6)

SCALE: 1/4" = 1'-0"

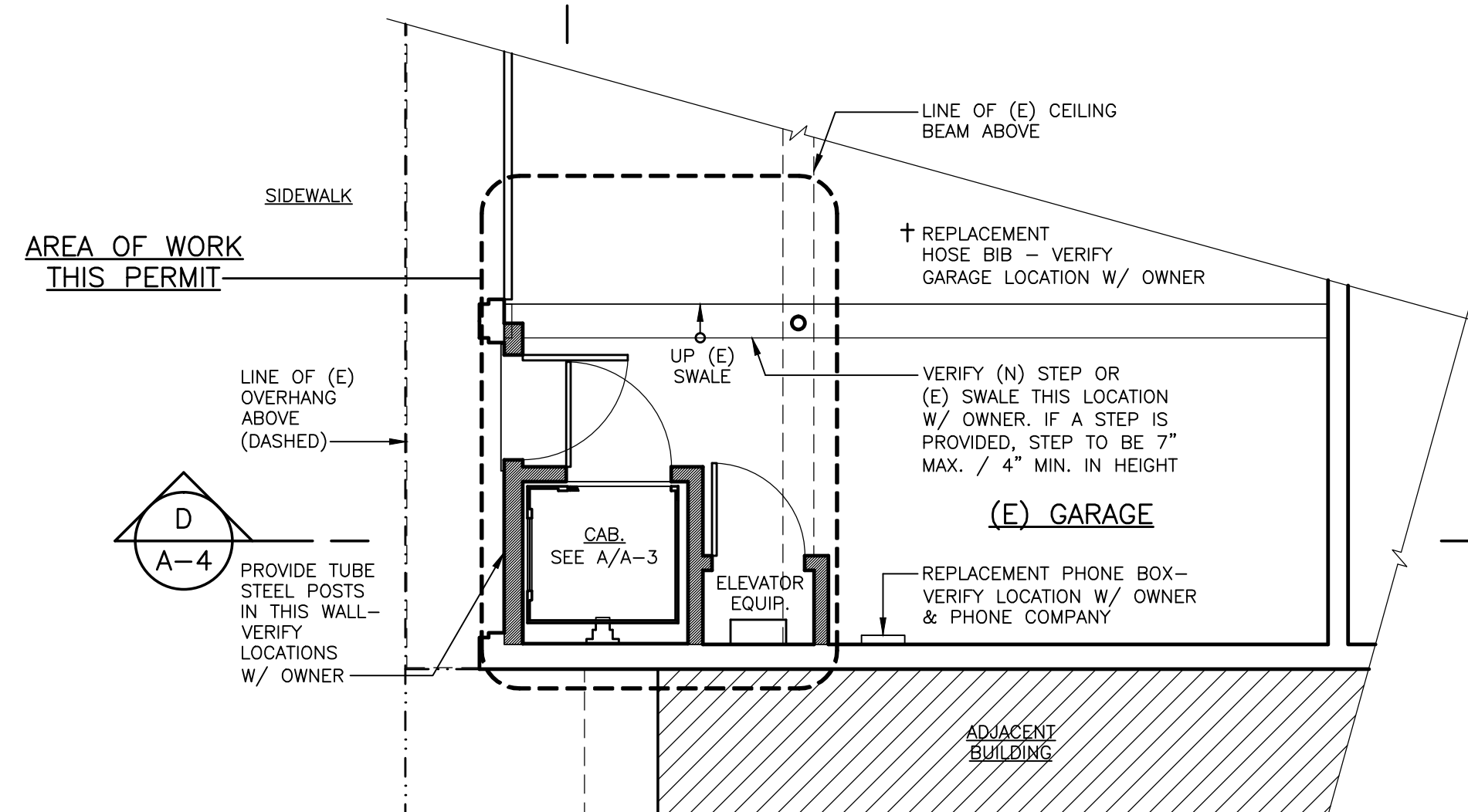
PROJECT NORTH

WALL LEGEND

— (E) WALL TO REMAIN

— NEW WALL TO BE CONSTRUCTED (ANY REQUIRED FIRE-RATING NOT YET DESIGNATED)

0' 1' 2' 5' 10' 20'



PROPOSED PARTIAL GROUND FLOOR PLAN (LEVEL 5 OF BUILDING—SEE EXISTING SOUTH ELEVATION ON SHT. A-6)

SCALE: 1/4" = 1'-0"

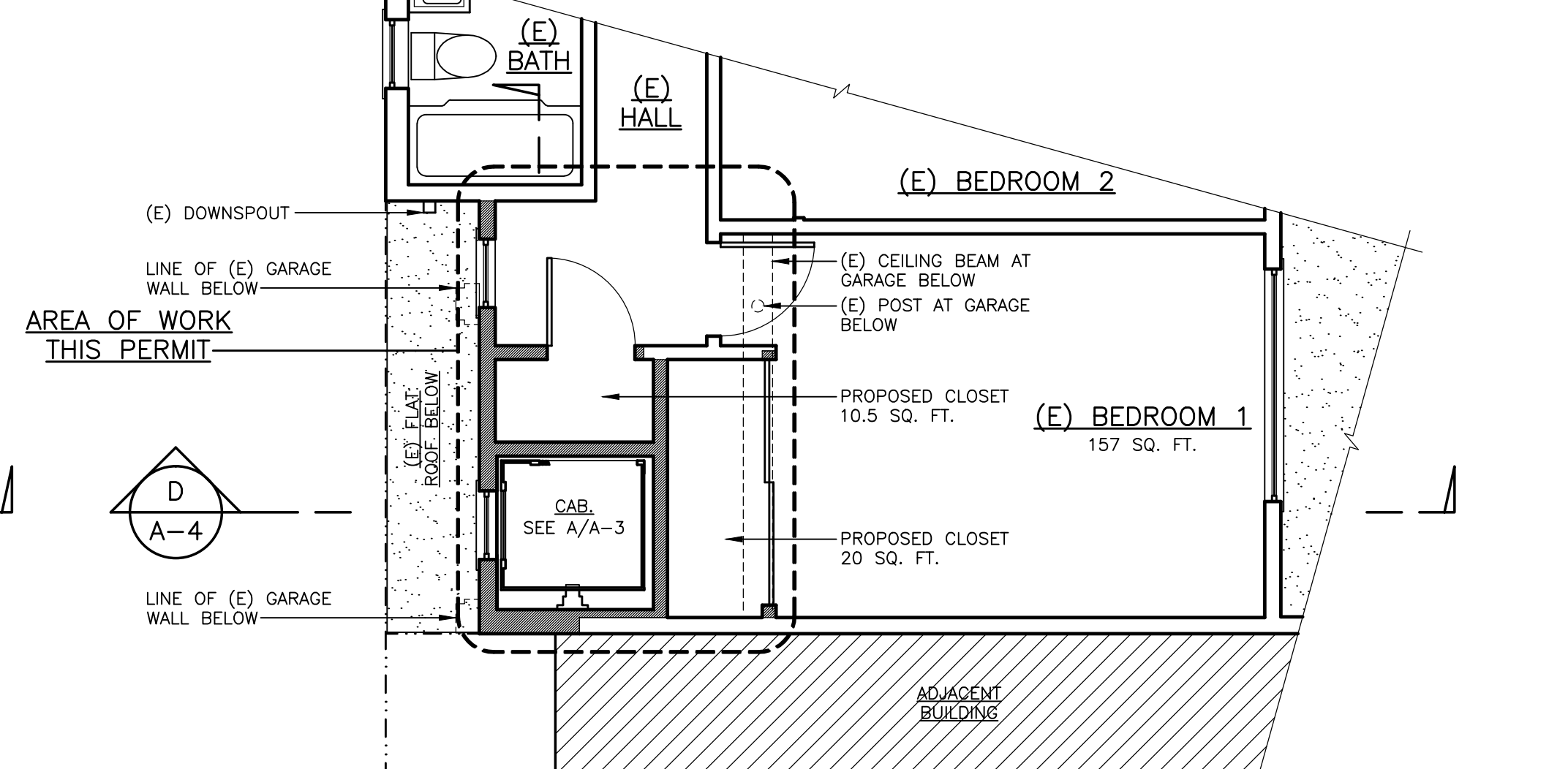
PROJECT NORTH

WALL LEGEND

— (E) WALL TO REMAIN

— NEW WALL TO BE CONSTRUCTED (ANY REQUIRED FIRE-RATING NOT YET DESIGNATED)

0' 1' 2' 5' 10' 20'



PROPOSED PARTIAL 2ND FLR. PLAN (APT. #10) (LEVEL 6 OF BUILDING—SEE EXISTING SOUTH ELEVATION ON SHT. A-6)

SCALE: 1/4" = 1'-0"

PROJECT NORTH

WALL LEGEND

— (E) WALL TO REMAIN

— NEW WALL TO BE CONSTRUCTED (ANY REQUIRED FIRE-RATING NOT YET DESIGNATED)

0' 1' 2' 5' 10' 20'

ANY DRAWING OR DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED FOR CONSTRUCTION.

DRAWINGS ARE ILLUSTRATIVE. VERIFY EXISTING CONDITIONS & DIMENSIONS IN FIELD.

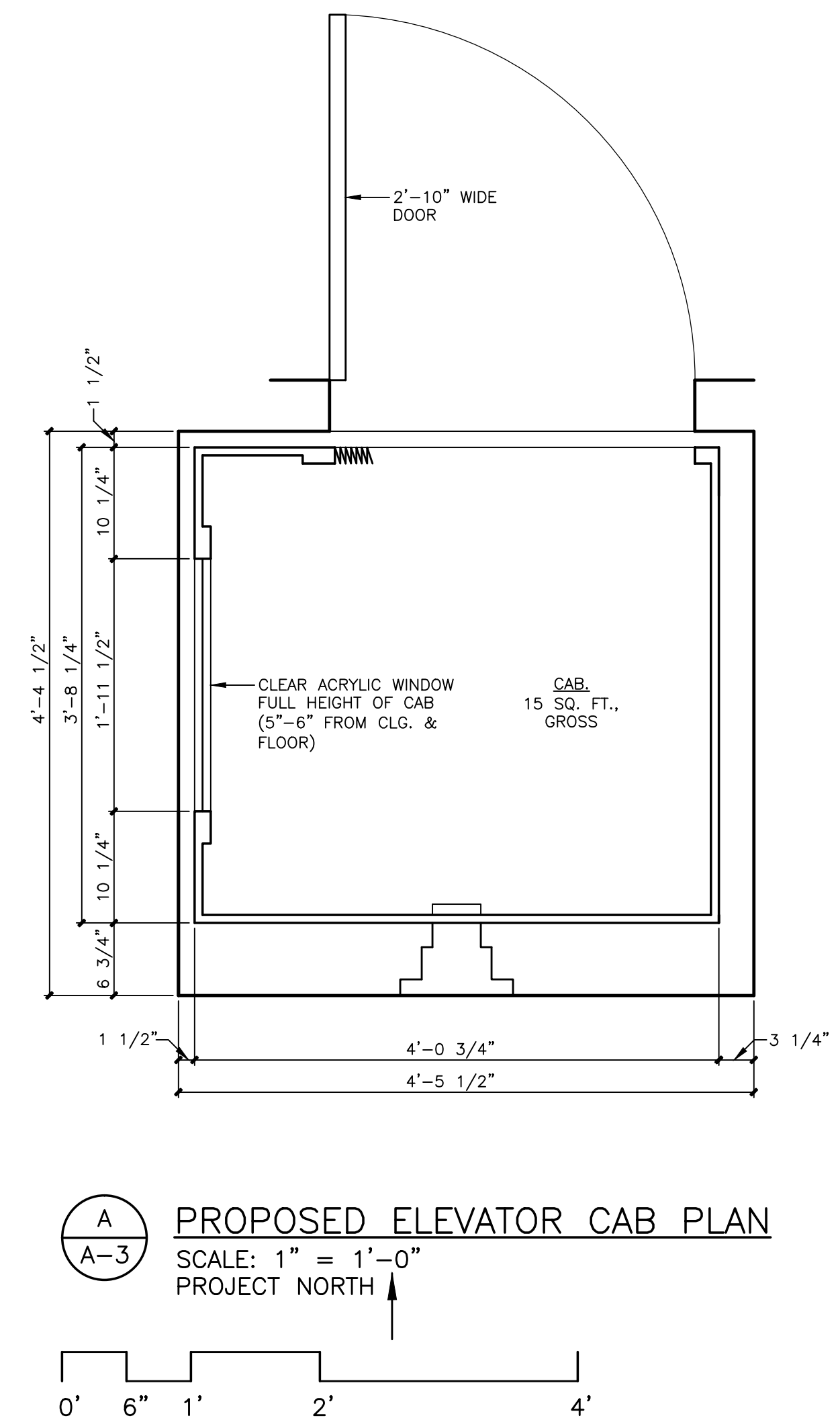
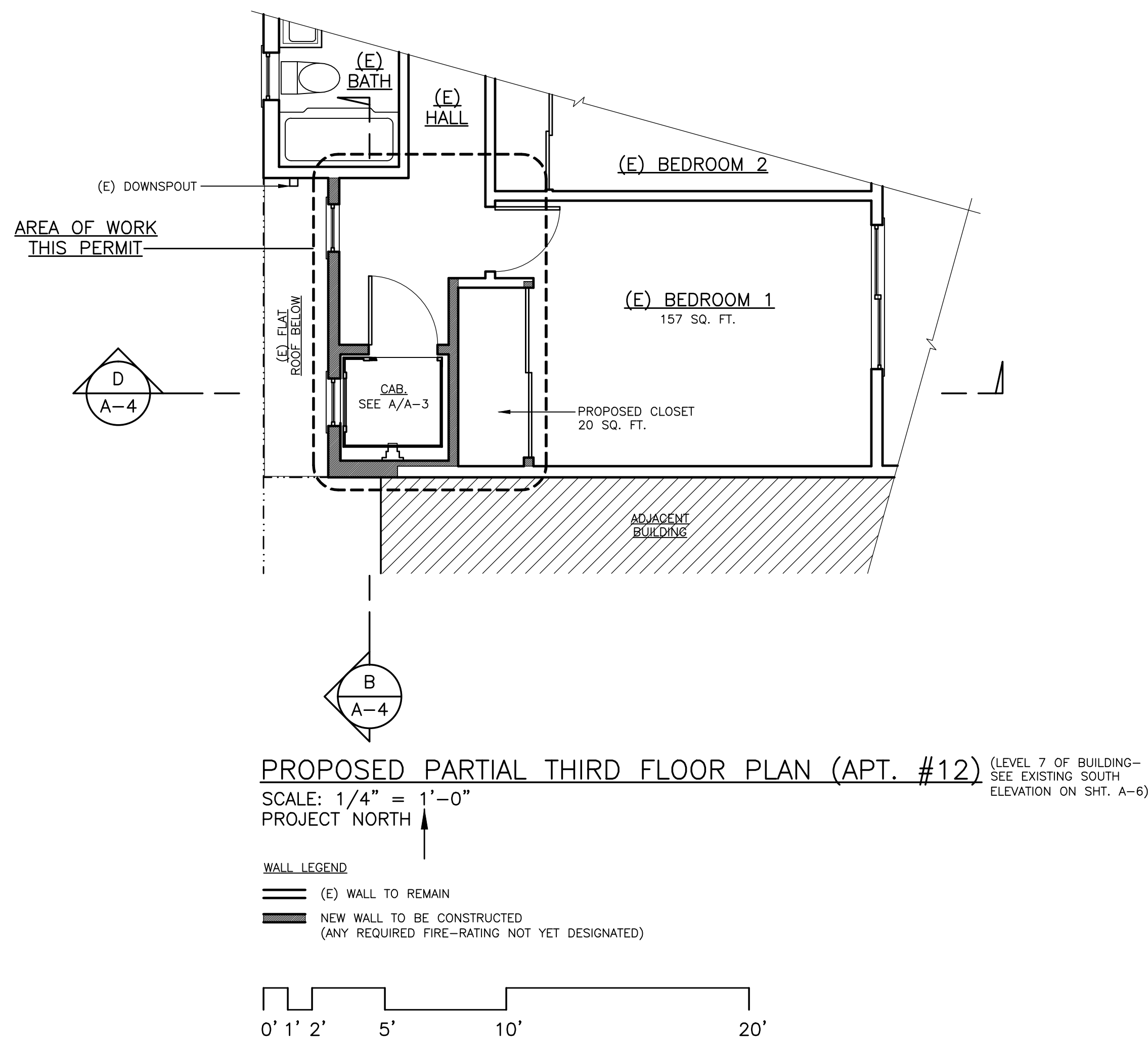
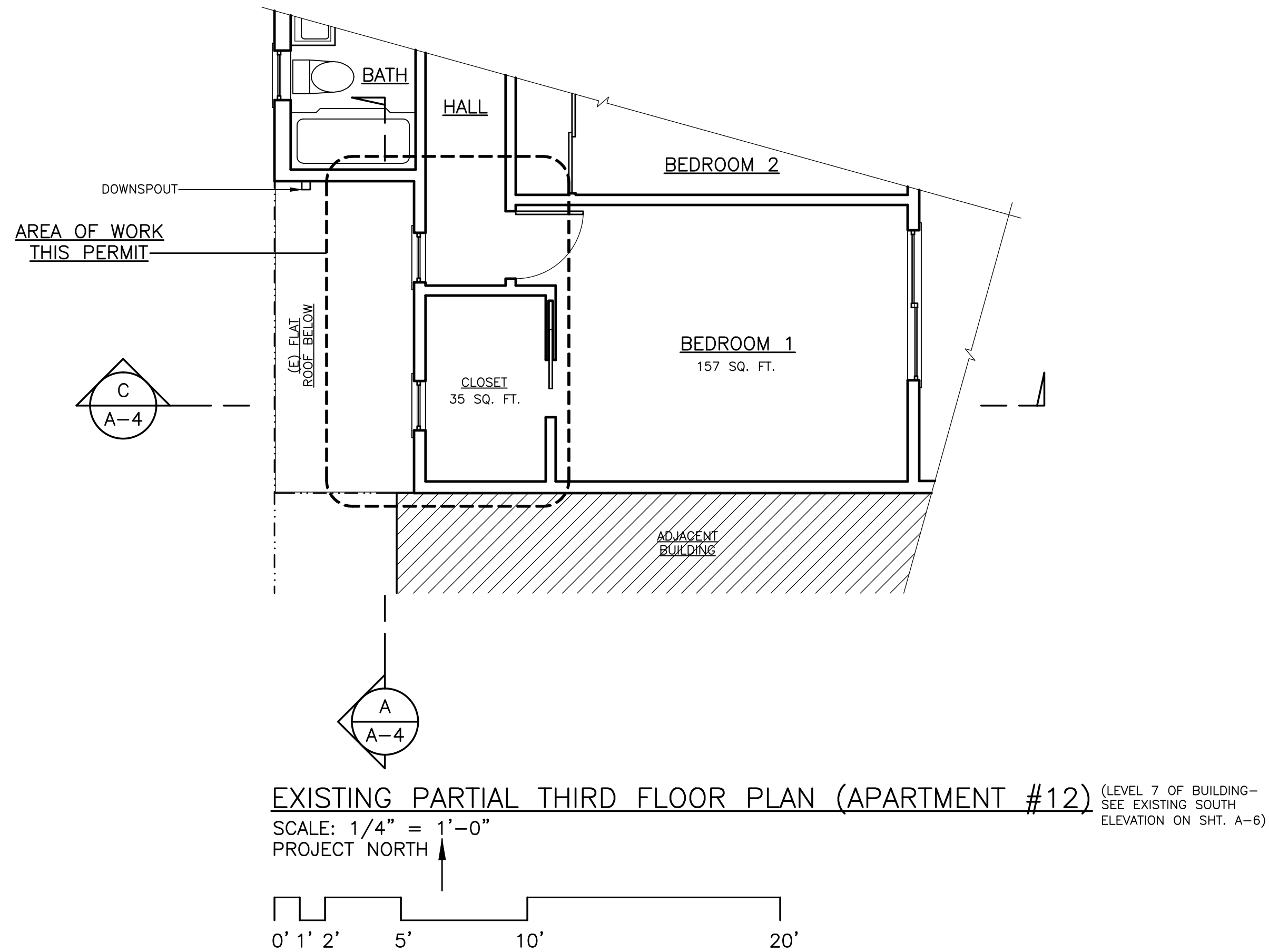
Architect
Steven Whitney
164 Marietta Drive
San Francisco, CA 94127
Phone: (415) 469-9052
Fax: (415) 469-9062
E-mail: sw@stevenwhitney.com
www.stevenwhitney.com

BUILDING ADDITION &
INTERIOR REMODELING
30 CRESTLINE DRIVE
SAN FRANCISCO, CA 94131

EXISTING & PROPOSED
FLOOR PLANS AT
CRAWLSPACE, GROUND
FLOOR & SECOND FLOOR

DATE
NO. ISSUE
A

A-2



ANY DRAWING OR DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED FOR CONSTRUCTION.

DRAWINGS ARE ILLUSTRATIVE. VERIFY EXISTING CONDITIONS & DIMENSIONS IN FIELD.

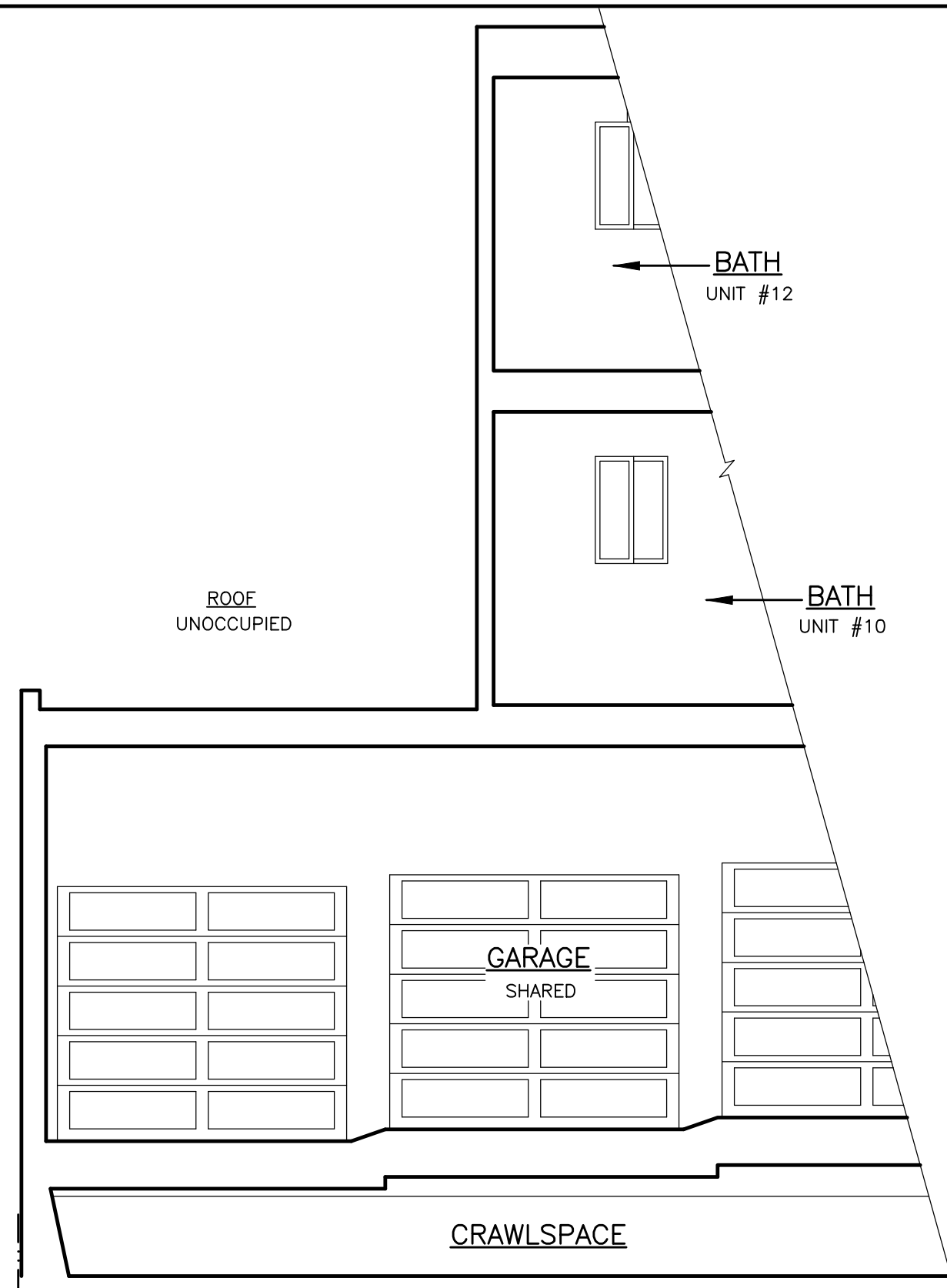
Architect
Steven Whitney
164 Marietta Drive
San Francisco, CA 94127
Phone: (415) 469-9052
Fax: (415) 469-9062
E-mail: sw@stevenwhitney.com
www.stevenwhitney.com

BUILDING ADDITION &
INTERIOR REMODELING
30 CRESTLINE DRIVE
SAN FRANCISCO, CA 94131

EXISTING & PROPOSED
FLOOR PLANS AT THIRD
FLOOR, AND ELEVATOR
CAB PLAN

NO. ISSUE DATE

A-3



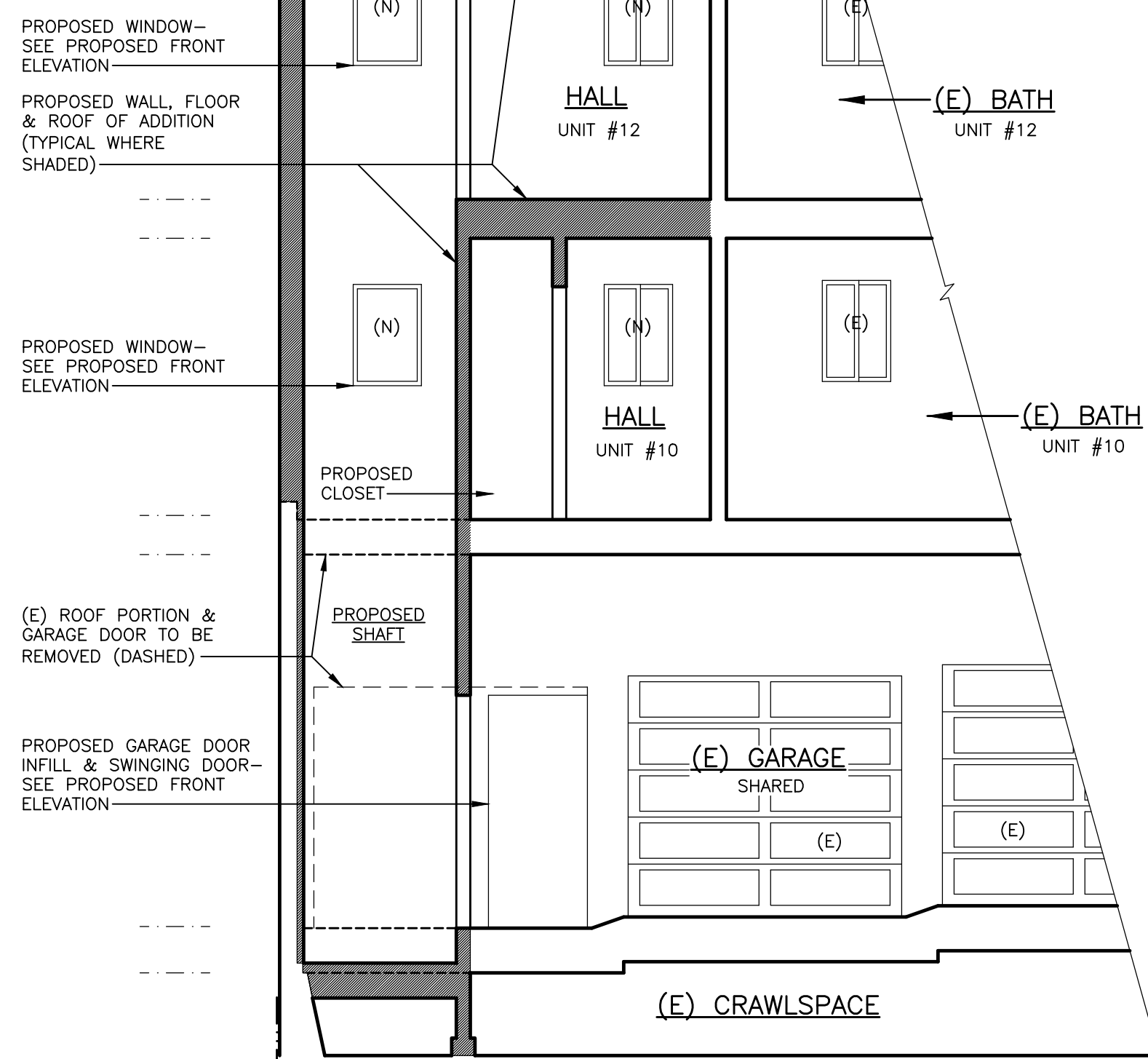
A
A-4
EXISTING PARTIAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

0' 1' 2' 5' 10' 20'

THIRD FLOOR AT CRESTLINE DRIVE, LEVEL 7 IN BUILDING—SEE ADJACENT (E) SOUTH ELEV.

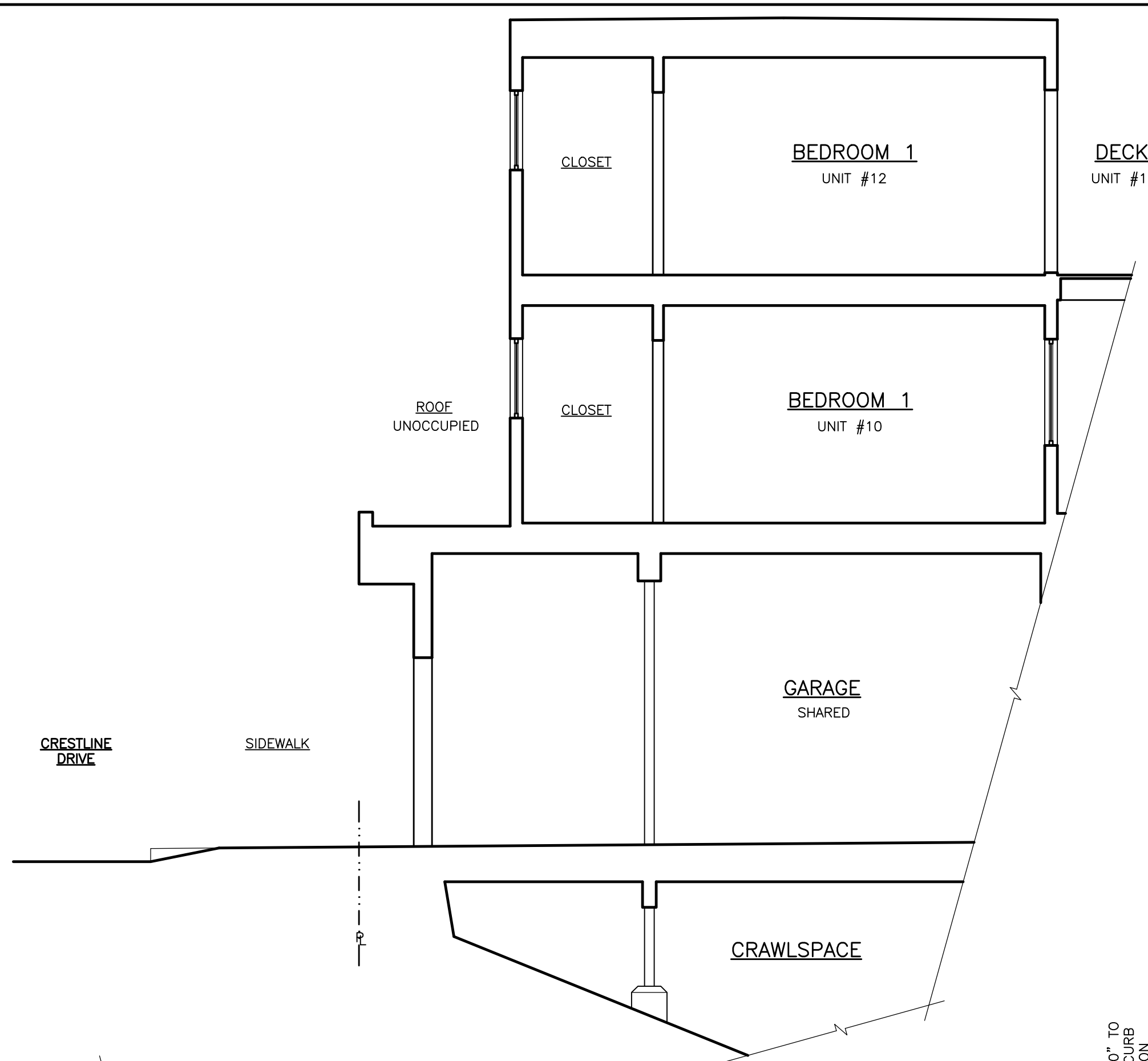
SECOND FLOOR AT CRESTLINE DRIVE, LEVEL 6 IN BUILDING—SEE ADJACENT (E) SOUTH ELEV.

GROUND FLOOR AT CRESTLINE DRIVE, LEVEL 5 IN BUILDING—SEE ADJACENT (E) SOUTH ELEV.



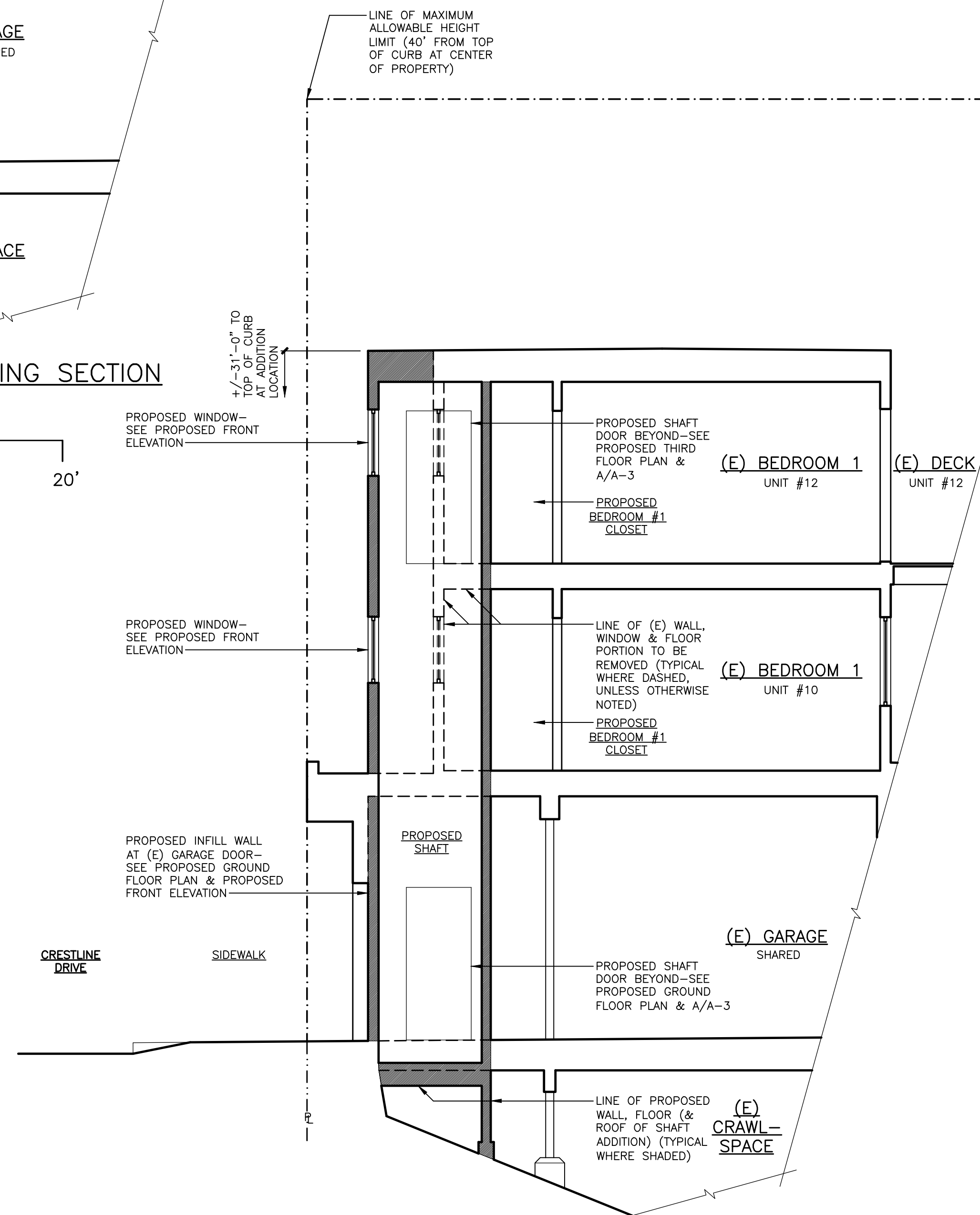
B
A-4
PROPOSED PARTIAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

0' 1' 2' 5' 10' 20'



C
A-4
EXISTING PARTIAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

0' 1' 2' 5' 10' 20'



D
A-4
PROPOSED PARTIAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

0' 1' 2' 5' 10' 20'

ANY DRAWING OR DRAWINGS ISSUED WITHOUT THE APPROVAL STAMP SIGNED AND DATED BY THE BUILDING DEPARTMENT SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED FOR CONSTRUCTION.
DRAWINGS ARE ILLUSTRATIVE. VERIFY EXISTING CONDITIONS & DIMENSIONS IN FIELD.

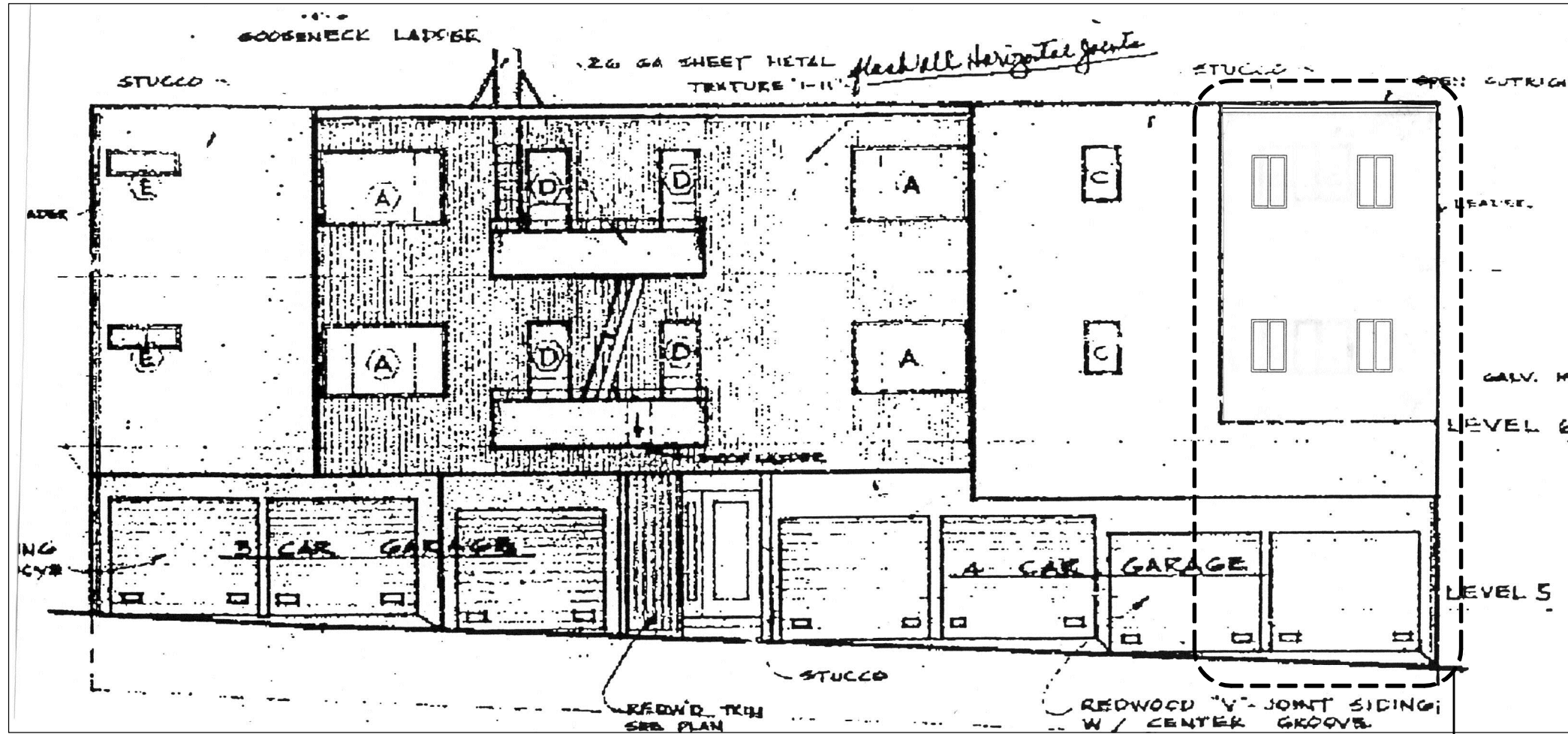
Architect
Steven Whitney
164 Marietta Drive
San Francisco, CA 94127
Phone: (415) 469-9052
Fax: (415) 469-9062
E-mail: sw@stevenwhitney.com
www.stevenwhitney.com

BUILDING ADDITION &
INTERIOR REMODELING
30 CRESTLINE DRIVE
SAN FRANCISCO, CA 94131

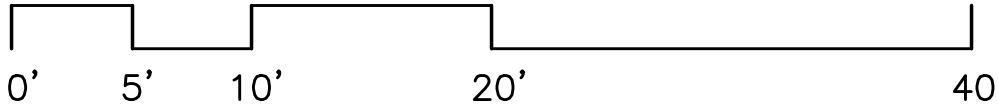
EXISTING & PROPOSED
BUILDING SECTIONS
IN AREA OF WORK

NO. ISSUE
DATE
-

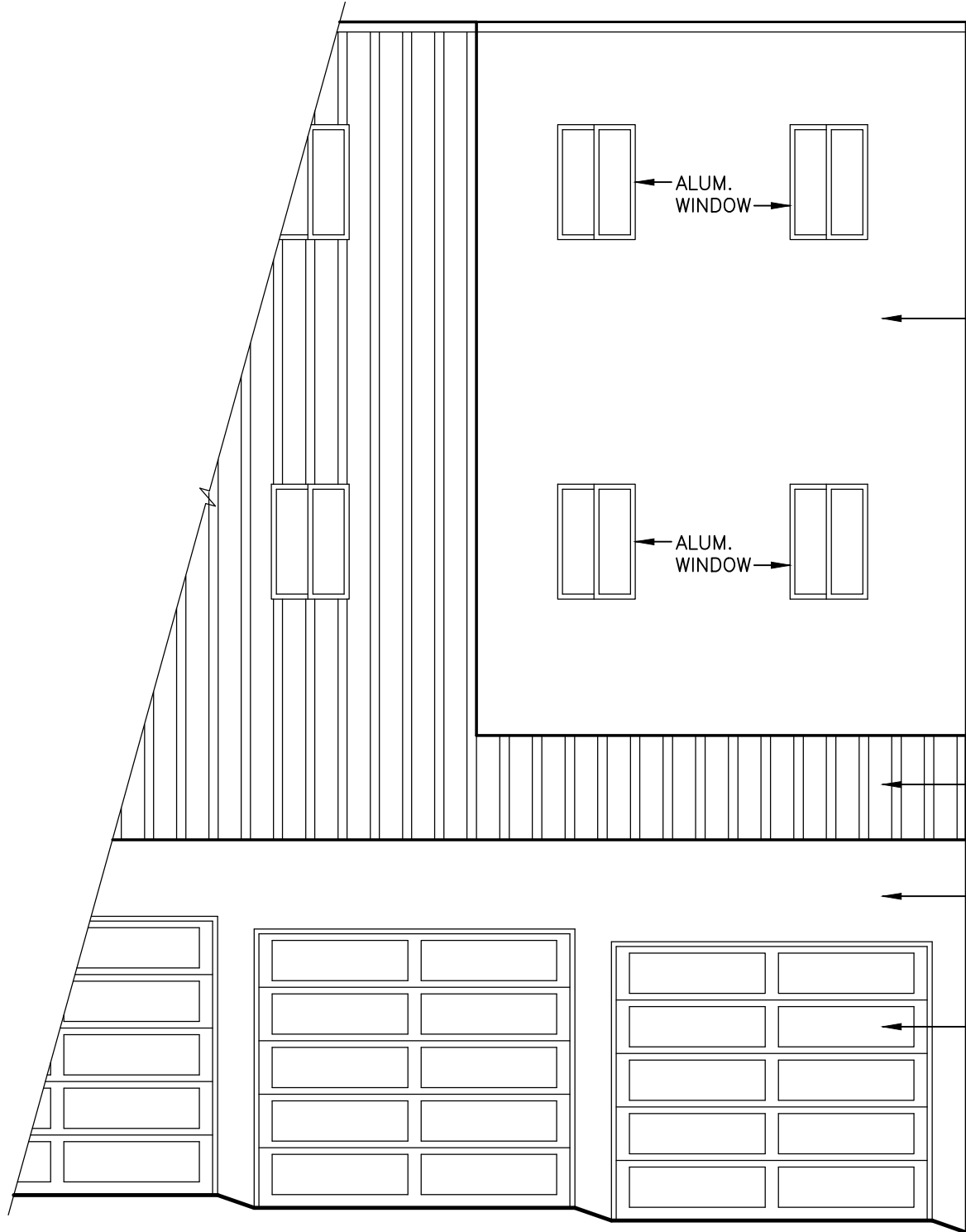
A-4



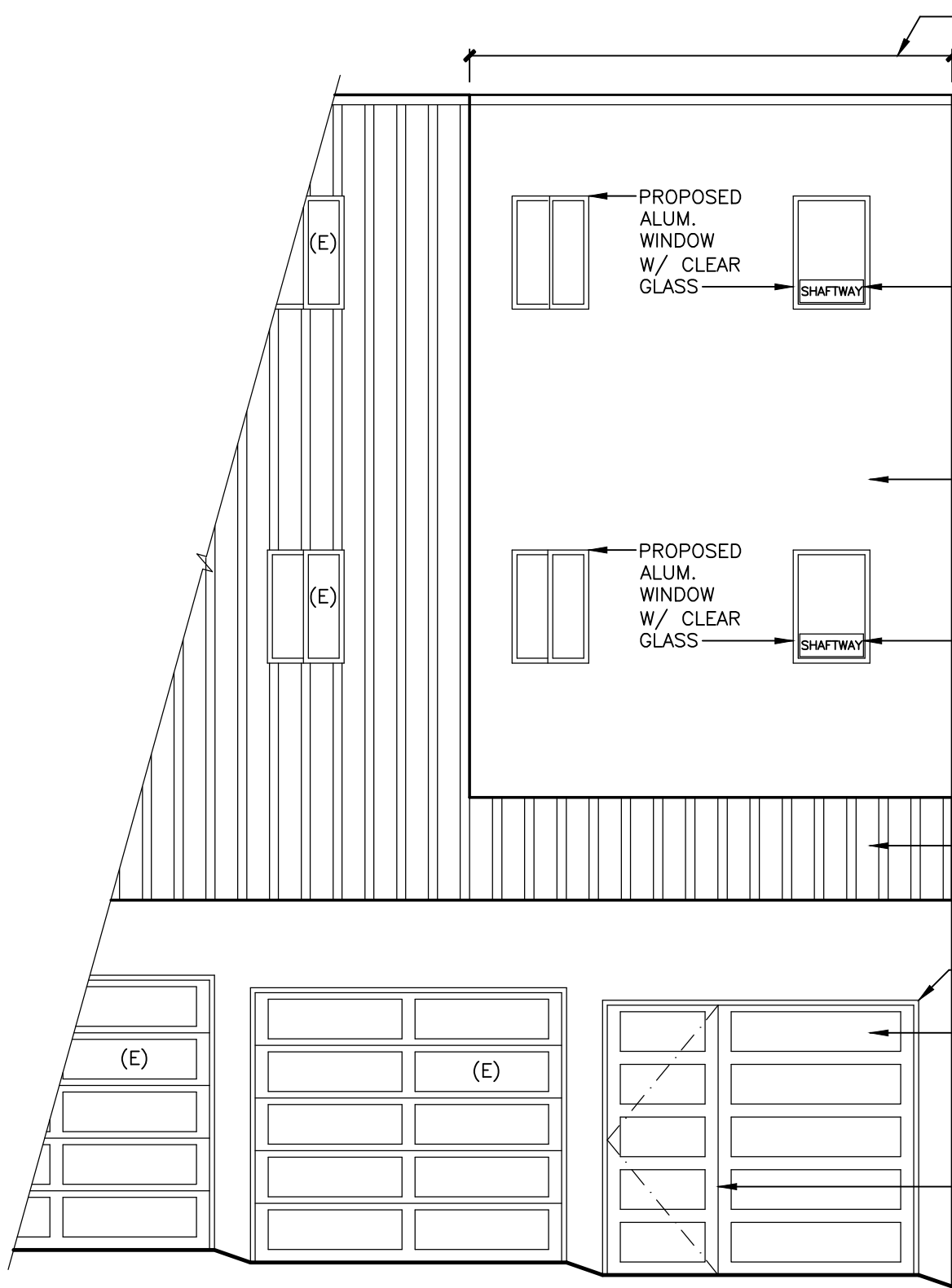
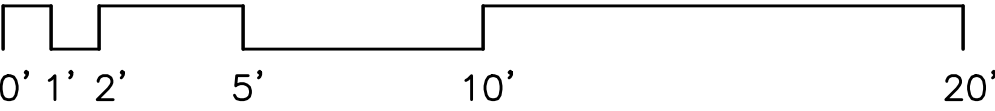
EXISTING FRONT / WEST ELEVATION
SCALE: 1/8" = 1'-0"



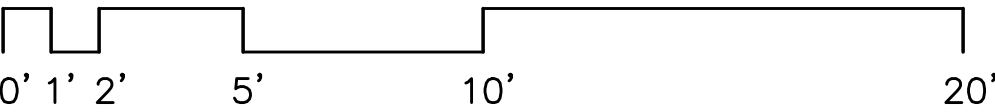
AREA OF WORK
THIS PERMIT
SEE ADJACENT EXISTING
& PROPOSED ELEVATIONS
A/A-5 & B/A-5



EXISTING PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"



THIRD FLOOR AT CRESTLINE
DRIVE, LEVEL 7 IN BUILDING--
SEE ADJACENT (E) SOUTH ELEV.

SECOND FLOOR AT CRESTLINE
DRIVE, LEVEL 6 IN BUILDING--
SEE ADJACENT (E) SOUTH ELEV.

GROUND FLOOR AT CRESTLINE
DRIVE, LEVEL 5 IN BUILDING--
SEE ADJACENT (E) SOUTH ELEV.

THIRD FLOOR AT CRESTLINE
DRIVE, LEVEL 7 IN BUILDING--
SEE ADJACENT (E) SOUTH ELEV.

SECOND FLOOR AT CRESTLINE
DRIVE, LEVEL 6 IN BUILDING--
SEE ADJACENT (E) SOUTH ELEV.

GROUND FLOOR AT CRESTLINE
DRIVE, LEVEL 5 IN BUILDING--
SEE ADJACENT (E) SOUTH ELEV.

ANY DRAWING OR DRAWINGS ISSUED WITHOUT THE APPROVAL
STAMP SIGNED AND DATED BY THE BUILDING DEPARTMENT
SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE
USED FOR CONSTRUCTION.
DRAWINGS ARE ILLUSTRATIVE. VERIFY EXISTING CONDITIONS &
DIMENSIONS IN FIELD.

Architect
Steven Whitney
164 Marietta Drive
San Francisco, CA 94127
Phone: (415) 469-9052
Fax: (415) 469-9062
E-mail: sw@stevenwhitney.com
www.stevenwhitney.com

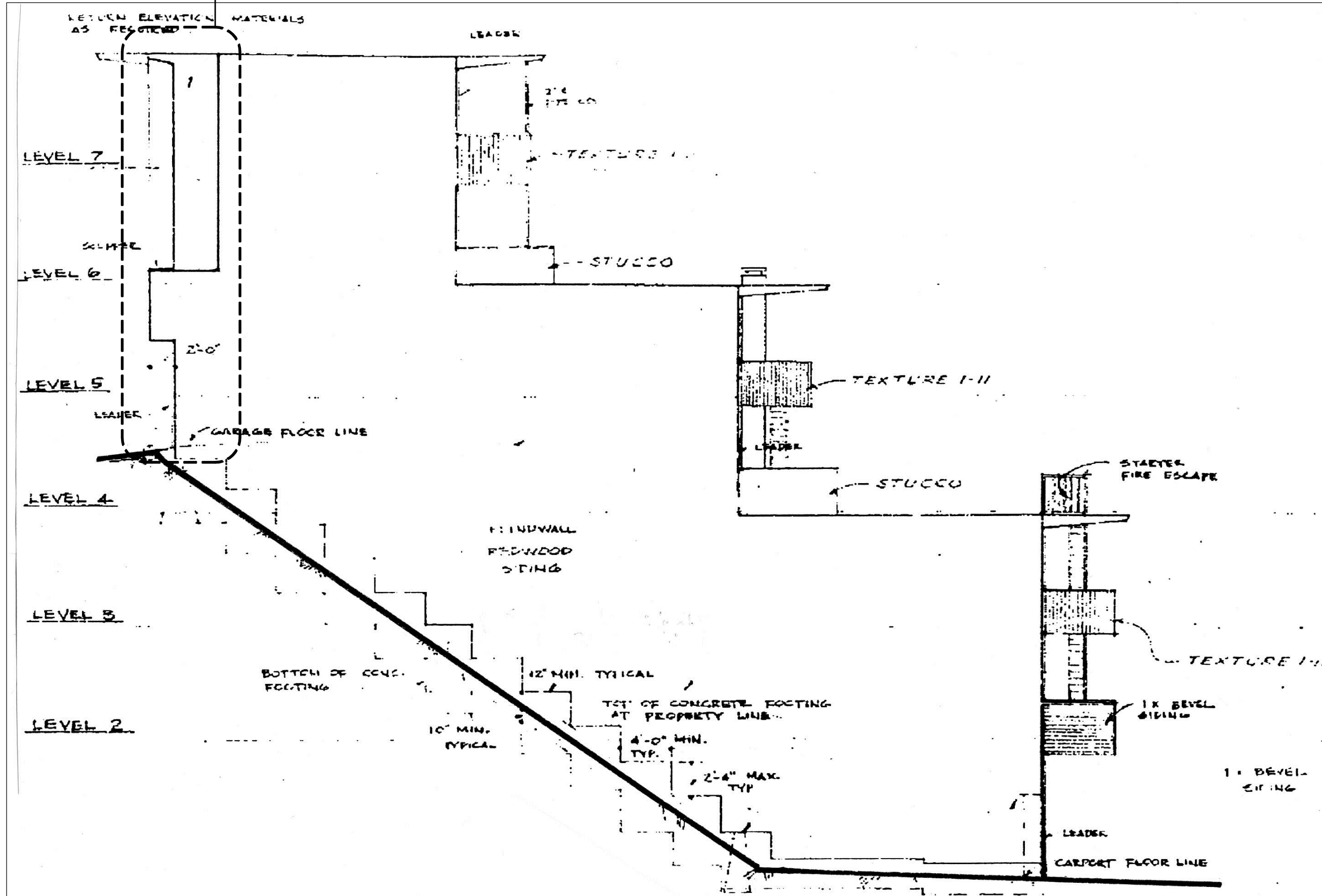
BUILDING ADDITION &
INTERIOR REMODELING
30 CRESTLINE DRIVE
SAN FRANCISCO, CA 94131

EXISTING & PROPOSED
FRONT / WEST
ELEVATIONS

DATE
NO. ISSUE
A-5

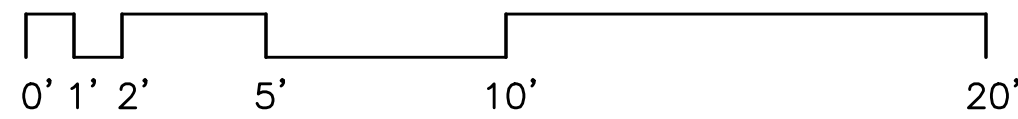
A-5

AREA OF WORK
THIS PERMIT
SEE ADJACENT EXISTING
& PROPOSED ELEVATIONS
A/A-6 & B/A-6

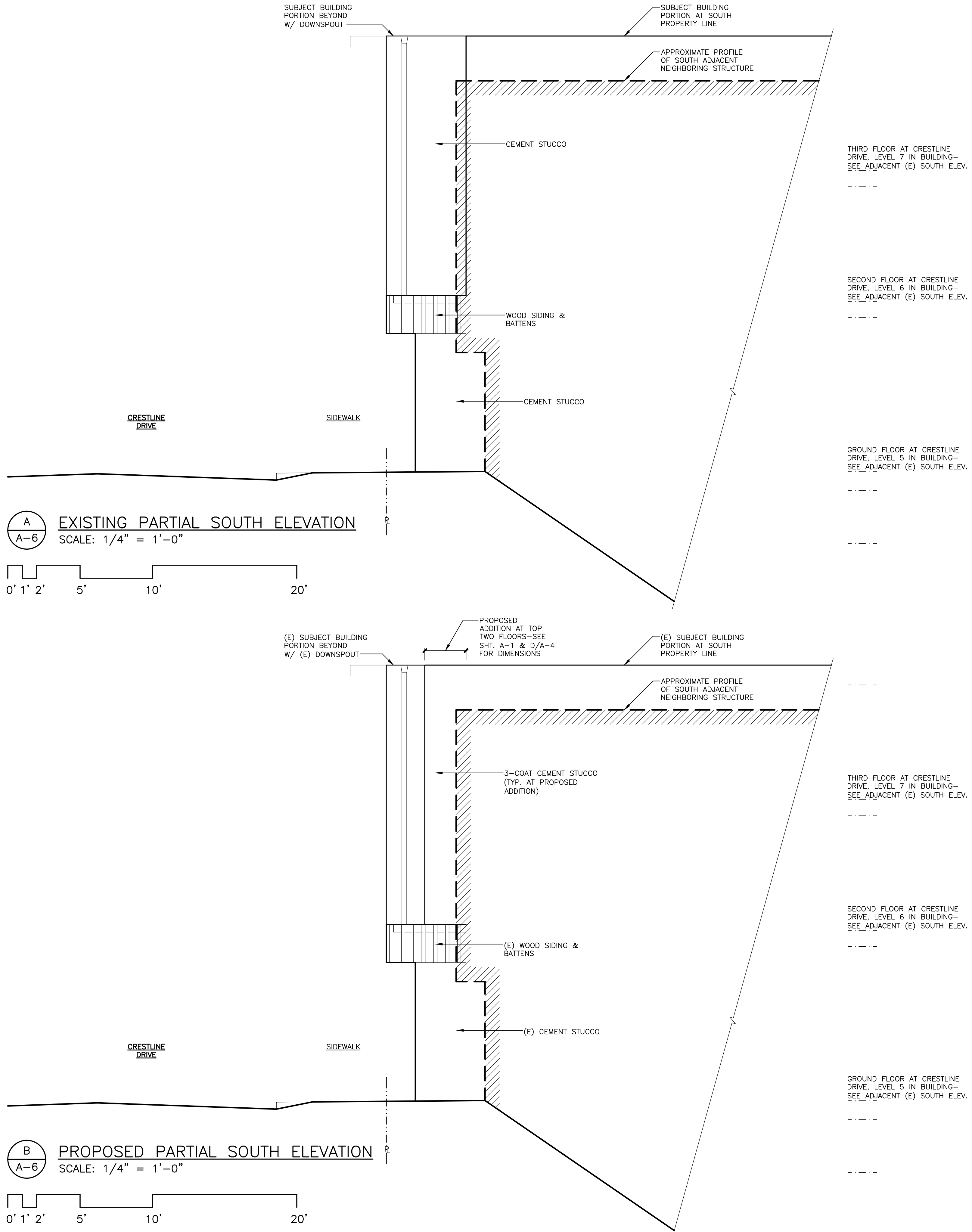
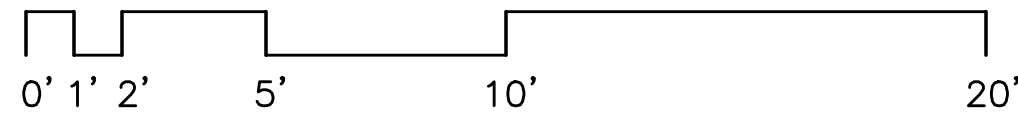


ANY DRAWING OR DRAWINGS ISSUED WITHOUT THE APPROVAL
STAMP SIGNED AND DATED BY THE BUILDING DEPARTMENT
SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE
USED FOR CONSTRUCTION.
DRAWINGS ARE ILLUSTRATIVE. VERIFY EXISTING CONDITIONS &
DIMENSIONS IN FIELD.

A
A-6 EXISTING PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



B
A-6 PROPOSED PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



Architect
Steven Whitney
164 Marietta Drive
San Francisco, CA 94127
Phone: (415) 469-9052
Fax: (415) 469-9062
E-mail: sw@stevenwhitney.com
www.stevenwhitney.com

BUILDING ADDITION &
INTERIOR REMODELING
30 CRESTLINE DRIVE
SAN FRANCISCO, CA 94131

EXISTING & PROPOSED
SOUTH SIDE ELEVATIONS

DATE
NO. ISSUE
NO. ISSUE
NO. ISSUE

A-6