



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 22, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Noncomplying Structure & Rear Yard)**

Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|---|---|-------------------------|-------------------------------|
| Project Address: | 604 Moultrie St | Case No.: | 2012.0489V |
| Cross Street(s): | Tompkins and Ogden Avenues | Building Permit: | 2012.04.12.6146 |
| Block / Lot No.: | 5722/002 | Applicant/Agent: | Jeffrey Couture |
| Zoning District(s): | RH-1 / 40-X / Bernal Heights SUD | Telephone: | 415-963-1667 |
| Area Plan: | | E-Mail: | jeff.couture@gmail.com |
| PROJECT DESCRIPTION | | | |
| <p>The proposal includes reconstructing a portion of the existing one-story rear addition and adding a new rear staircase within the required rear yard. The proposal will increase the useable floor area from 1,367 sq ft to 1,437 sq ft for the single-family dwelling.</p> <p>PER SECTION 242(e)(2) OF THE PLANNING CODE , the subject property is required to maintain a rear yard of 24 ft 6 in. Currently, the existing single-family residence building encroaches into the rear yard by 8 ft 7 in. The new proposal would reconstruct a portion of the one-story rear addition and add a stair, within the required rear yard; therefore, a rear yard variance is required.</p> <p>PER SECTION 188 OF THE PLANNING CODE , noncomplying structures are not permitted to be reconstructed. The existing building is considered a legal noncomplying structure because a portion of the building encroaches into the required rear yard. The proposal would reconstruct a portion of the noncomplying structure and add a stair; therefore, a variance is required.</p> | | | |
| ADDITIONAL INFORMATION | | | |
| <p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Richard Sucre Telephone: 415-575-9108 Mail: Richard.Sucre@sfgov.org</p> | | | |
| <p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2012.0489V.pdf</p> | | | |

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

604 MOULTRIE REMODEL

604 MOULTRIE STREET

SAN FRANCISCO, CA 94110

A.P.N. BLOCK: 5722 LOT: 002

PROJECT DESCRIPTION:

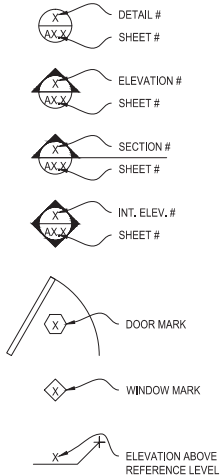
- RE-BUILD FRONT PORCH, MOVING STAIRS TO SIDE ALLEY
- ADD RAISED SIDE PATIO IN SIDE ALLEY AT FIRST FLOOR LEVEL
- ADD SHED DORMERS, BOTH SIDES, ON BACK PORTION OF 2ND FLOOR
- REBUILD / LEGALIZE EXISTING SINGLE STORY REAR ADDITION ON REDUCED FOOTPRINT *
- INTERIOR REMODEL

* The existing single story addition at rear of house was originally built more than 60 years ago, before the Bernal Heights S.U.D. code was written (this addition appears on the 1951 Sanborn maps, but not on the 1914 Sanborn maps). The full width of the existing structure extends 8'-7" beyond the 35% rear setback required by SF Planning Code Article 2 Section 242.e.2.(a). This addition is in need of extensive structural repairs. This project proposes to rebuild this addition on a reduced footprint but still extending beyond the line of allowable rear setback (see drawings). It will also re-purpose some existing living space to install an external spiral stair / secondary egress. The net result will be a reduction to the non-complying portion of the structure and an increase in rear yard open space. This portion of the project requires a variance under a separate permit application.

ABBREVIATIONS USED IN THE DRAWINGS

| | | | |
|---------|--------------------------------------|--------|-------------------------------|
| ~ | APPROXIMATELY | MTL. | METAL |
| & | AND | NEC'Y | NECESSARY |
| @ | AT | N.I.C. | NOT IN CONTRACT |
| A.F.F. | ABOVE FINISHED FLOOR | N.T.S. | NOT TO SCALE |
| ALT'D | ALTERED | O.C. | ON CENTER |
| A.P.N. | ASSESSOR'S PARCEL NUMBER | O.D. | OUTSIDE DIAMETER |
| ARCH'L | ARCHITECTURAL | O.H. | OPPOSITE HAND, OVERHANG |
| BD. | BOARD | OPP. | OPPOSITE |
| BLKG. | BLOCKING | P.L. | PROPERTY LINE |
| BOT. | BOTTOM | PL. | PLATE |
| B.P. | BUILDING PAPER | PLY. | PLYWOOD |
| BTWN. | BETWEEN | P.T. | PRESSURE-TREATED |
| CBC | CALIFORNIA BUILDING CODE | REF. | REFRIGERATOR |
| C.L./ | CENTERLINE | REQ'D | REQUIRED |
| CLG. | CEILING | R.O. | ROUGH OPENING |
| CLOS. | CLOSET | SEC. | SECTION |
| CNTRL. | CONTROL(S) | SEP. | SEPARATE |
| CONSTR. | CONSTRUCTION | SF | SQUARE FOOT / SQUARE FEET |
| D | CLOTHES DRYER | SHT. | SHEET |
| DR. | DOOR | SIM. | SIMILAR |
| DW | DISHWASHER | SQ. | SQUARE |
| DWG. | DRAWING | SLD. | SEE LANDSCAPE ARCH'L DRAWINGS |
| (E) | EXISTING | SSD. | SEE STRUCTURAL DRAWINGS |
| ELEV. | ELEVATION | T | TEMPERED |
| ETC. | AND OTHERS | T.B.D. | TO BE DETERMINED |
| EXT. | EXTERIOR | THK. | THICK |
| FLASH. | FLASHING | T.O. | TOP OF |
| FLEX. | FLEXIBLE | T&G | TONGUE AND GROOVE |
| FT. | FOOT, FEET | TYP. | TYPICAL |
| GALV. | GALVANIZED | U.O.N. | UNLESS OTHERWISE NOTED |
| GSF | GROSS SQUARE FEET | VERT. | VERTICAL |
| GYP. | GYPSUM | V.I.F. | VERIFY IN FIELD |
| H.R.V. | HEAT RECOVERY VENTILATOR | HWH | DOMESTIC HOT WATER HEATER |
| I.C.F. | INSULATED CONCRETE FORM | W | CLOTHES WASHER |
| INFO. | INFORMATION | W/ | WITH |
| INSUL. | INSULATION | WDW. | WINDOW |
| INT. | INTERIOR | W/O | WITHOUT |
| LOC'N. | LOCATION | W.O. | WHERE OCCURS |
| M.E.P. | MECHANICAL, ELECTRCIAL, AND PLUMBING | W.P. | WATERPROOF/WATERPROOFING |
| | | WT. | WEIGHT |
| MAX. | MAXIMUM | | |
| MECH. | MECHANICAL | | |
| MFGR. | MANUFACTURER | | |
| MIN. | MINIMUM | | |
| MISC. | MISCELLANEOUS | | |

SYMBOLS USED IN THE DRAWINGS



VICINITY MAP (N.T.S)



BUILDING & SITE INFORMATION

| | |
|--|-----------------------|
| A.P.N. | BLOCK: 5722 LOT: 002 |
| ZONING | RH-1 |
| SPECIAL USE DISTRICT | BERNAL HEIGHTS S.U.D. |
| CONSTRUCTION TYPE | V-8 |
| LOT DIMENSIONS | 25' X 70' |
| LOT AREA | 1750 SF |
| REQUIRED FRONT YARD SETBACK | 0' |
| REQUIRED REAR YARD SETBACK | 24'-4" (35%) |
| REQUIRED SIDE YARD SETBACK | 0' |
| HEIGHT LIMIT | 30' |
| REQUIRED GARAGE PARKING SPACES | 1 |
| REQUIRED COVERED PARKING SPACES | 0 |
| REQUIRED UNCOVERED PARKING SPACES | 0 |
| EXISTING NUMBER OF BUILDINGS ON LOT | 1 |
| PROPOSED NUMBER OF BUILDINGS ON LOT | 1 |
| EXISTING CONDITIONED 1ST FLOOR AREA | 1026GSF |
| EXISTING CONDITIONED 2ND FLOOR AREA | 341 GSF |
| TOTAL EXISTING BUILDING AREA | 1367 GSF |
| PROPOSED CONDITIONED 1ST FLOOR AREA | 955 GSF |
| PROPOSED CONDITIONED 2ND FLOOR AREA | 482GSF |
| TOTAL PROPOSED BUILDING AREA | 1437 |
| NET ADDED HABITABLE, CONDITIONED AREA | 70 GSF |
| LOCATION OF PROPERTY LINES WAS DETERMINED USING SIDEWALK LINES AND NEIGHBORING BUILDINGS AS REFERENCES | |

OWNER:
Jeffrey Couture
604 Moultrie Street
San Francisco, CA 94110
415-963-1667
jeff.couture@gmail.com

DESIGN / BUILD CONTRACTOR:
Stingray Builders, Inc
2901 Mariposa Street #14
San Francisco, CA 94110
stingraybuilders@gmail.com
Lic: 902907 Exp. 08/31/2013

STRUCTURAL ENGINEER:
Lbd.

GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING THE WORK.
- IF THESE DRAWINGS ARE NOT 24" X 36" THEY HAVE BEEN REDUCED OR ENLARGED.
- (1X) INDICATES NOMINAL SIZE. (1") INDICATES ACTUAL SIZE.
- REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- TITLE 24 ENERGY REQUIREMENTS DESCRIBED IN THE REPORT ARE INCLUDED IN THE CONTRACT DOCUMENTS, AND REPRESENT MINIMUM REQUIREMENTS.

APPLICABLE CODES:

2010 CA BUILDING CODE WITH SAN FRANCISCO AMMENDMENTS AND REFERENCED MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE CODES



2901 Mariposa Street San Francisco, CA 94110
e: stingraybuilders@gmail.com
stingraybuilders.com

COUTURE RESIDENCE
604 MOULTRIE STREET

COVER SHEET

See Details

07/14/2012

Sheet No.

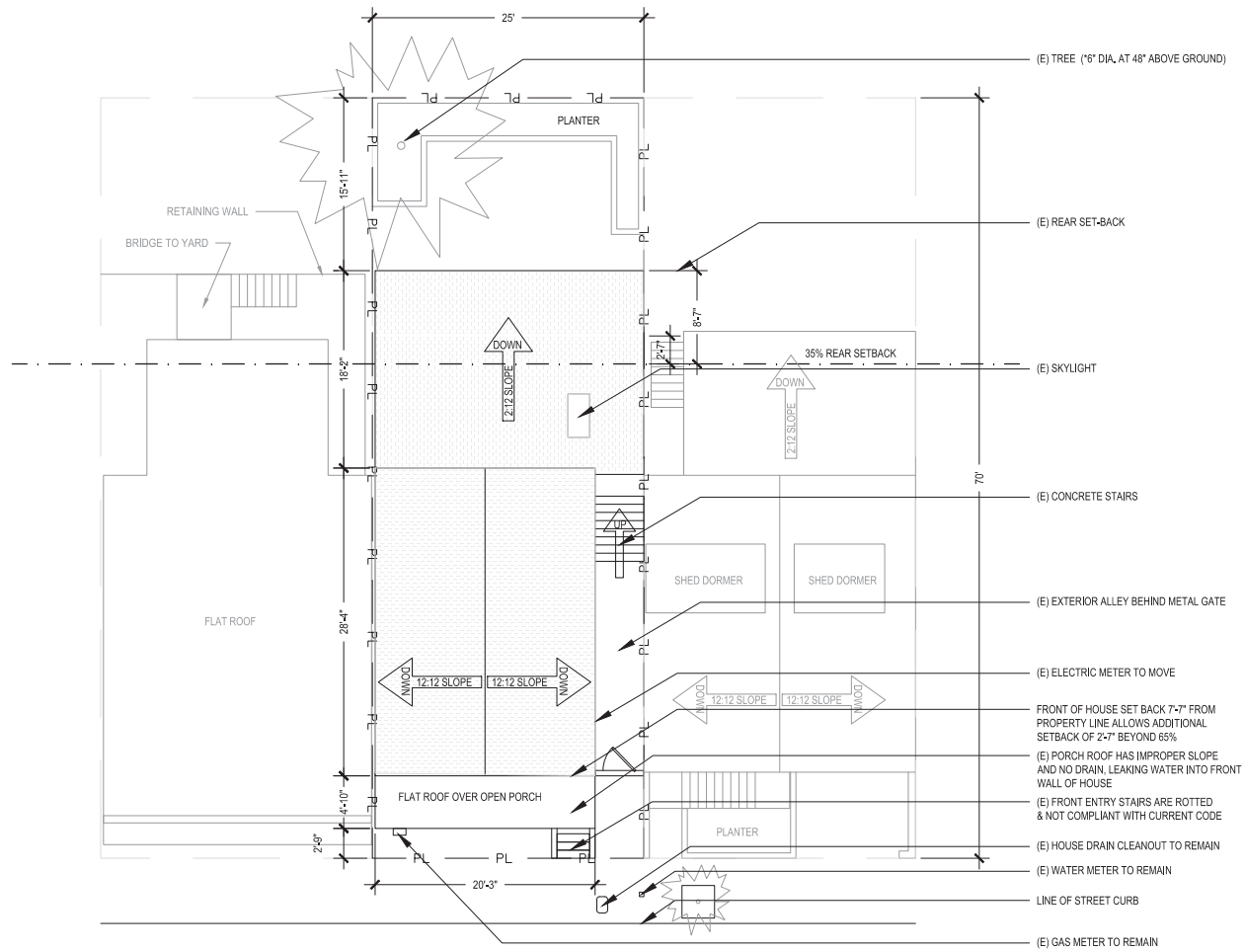
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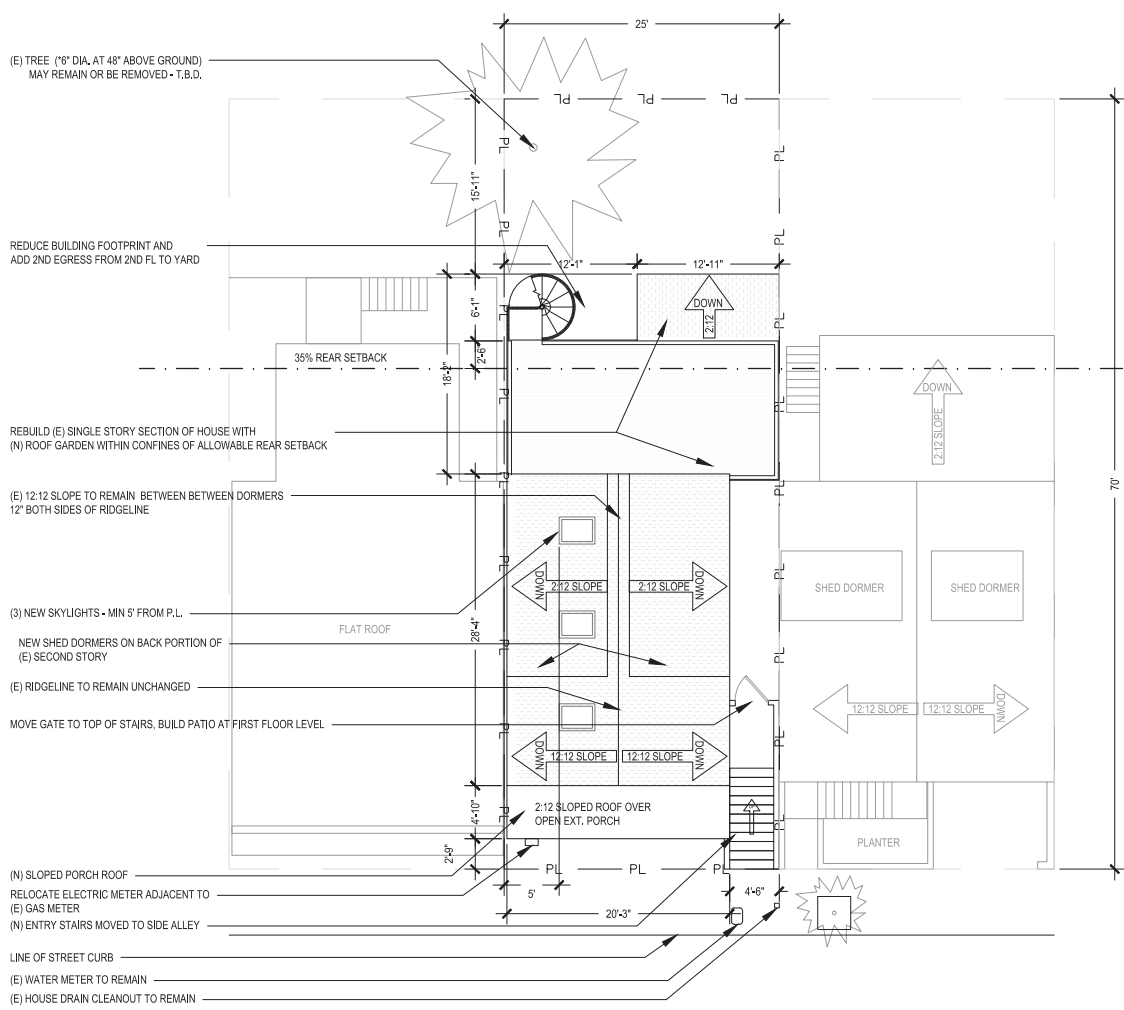
3 PHOTO OF (E) FACADE
SCALE: N/A



3 PERSPECTIVE DRAWINGS OF PROPOSED FACADE
SCALE: N/A



1 AS-BUILT SITE PLAN & ADJ LOTS
SCALE: 1/8\"/>




2 PROPOSED SITE PLAN & ADJ LOTS
SCALE: 1/8\"/>

04/07 ORIGINAL SITE PLAN & VARIANCE APPLICATION
07/14 REMOVED ARTICULATED ROOFLINE, ADDED TWO SHED DORMERS

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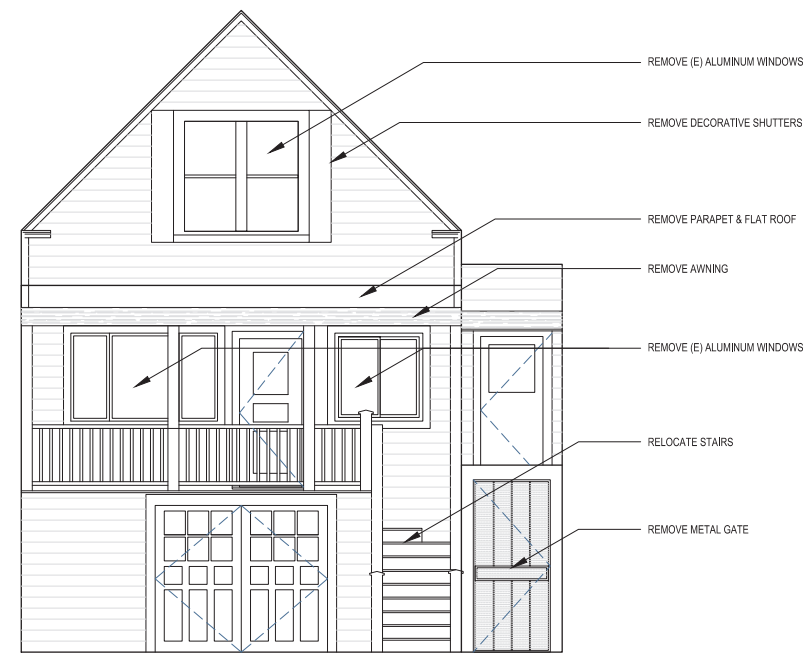
PLOT & ROOF PLANS

See Details

07/14/2012

Sheet No.

A1.0



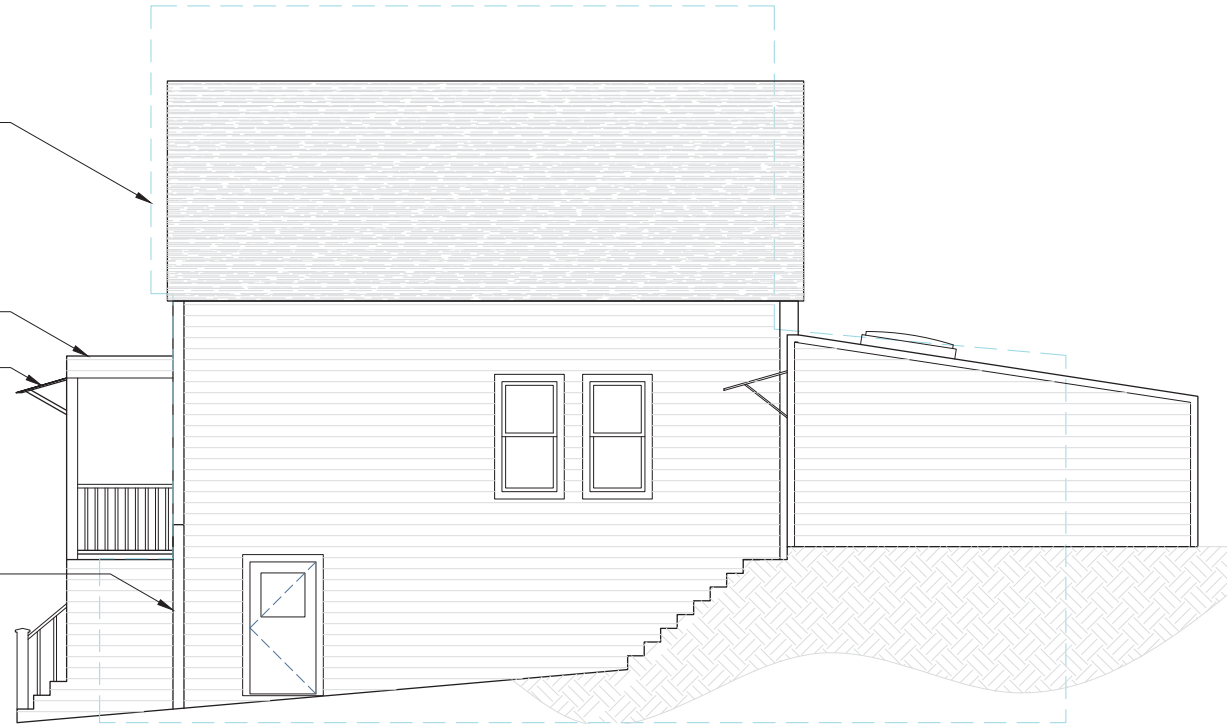
ROOF PEAK @29'-2"
ROOF AVG @24'-2"
SECOND FLOOR @17'-4"
FIRST FLOOR / REAR YARD @8'
SIDEWALK @0'-0"

OUTLINE OF NORTH NEIGHBOR'S HOUSE

REMOVE (E) PARAPET & FLAT ROOF

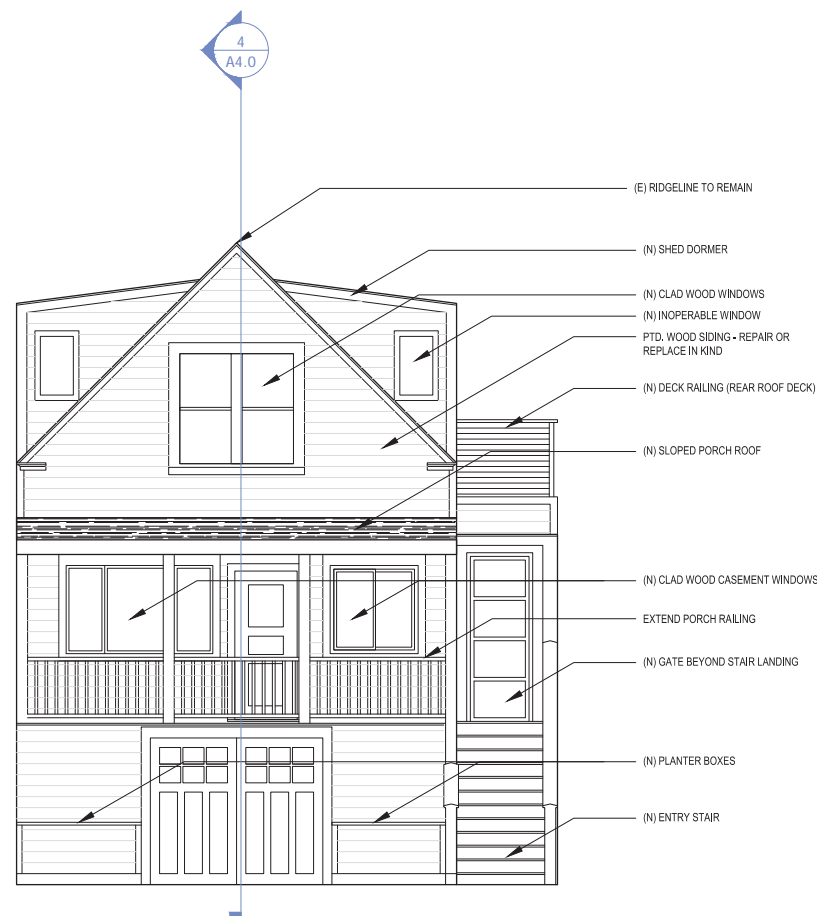
REMOVE (E) AWNING

REMOVE (E) GATE



1 AS-BUILT FRONT ELEVATION
SCALE: 1/4" = 1'

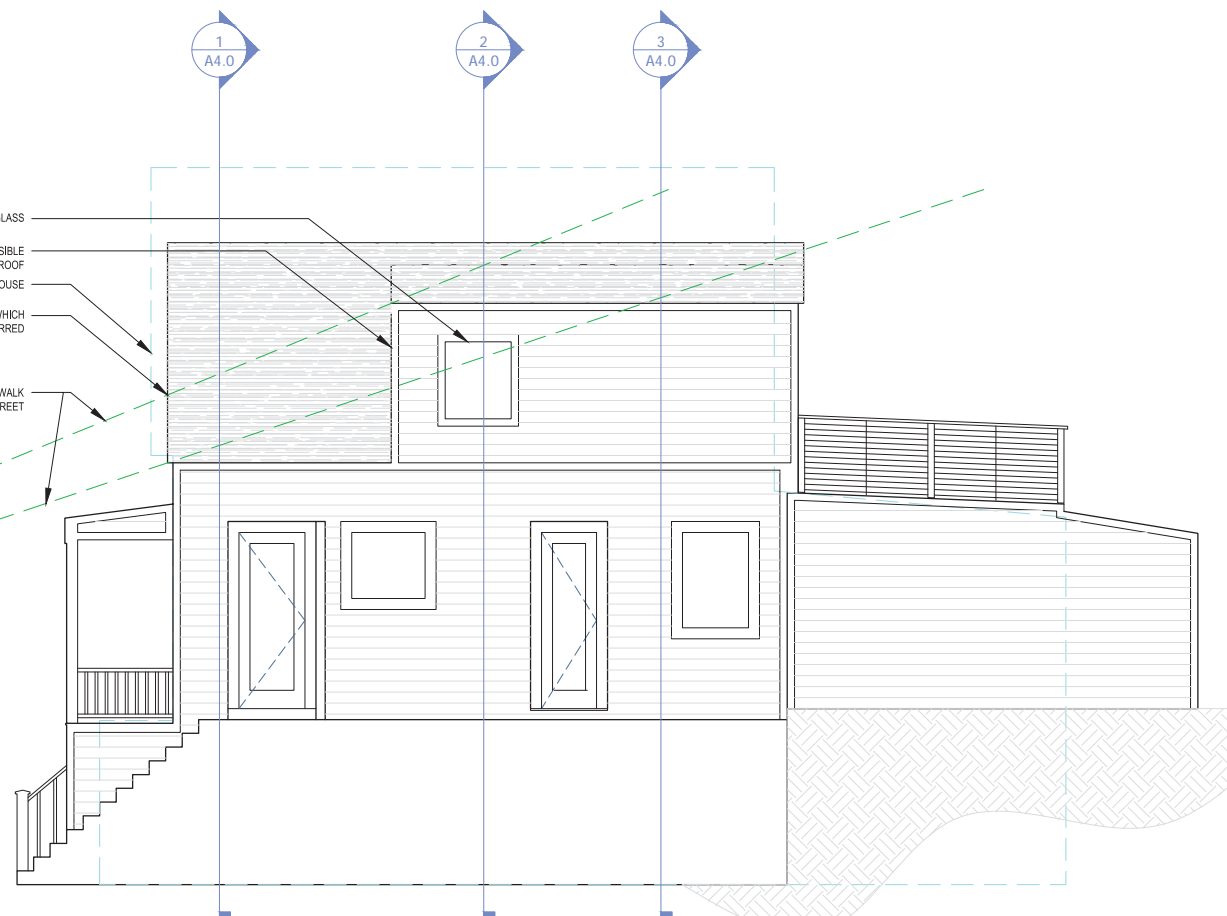
2 AS-BUILT NORTH ELEVATION
SCALE: 1/4" = 1'



ROOF PEAK @29'-2"
ROOF AVG @24'-2"
SECOND FLOOR @17'-4"
FIRST FLOOR / REAR YARD @8'
SIDEWALK @0'-0"

(N) INOPERABLE WINDOW W/ OBSCURED GLASS
AREA OF DORMER VISIBLE ABOVE BOTTOM EDGE OF ROOF
OUTLINE OF NORTH NEIGHBOR'S HOUSE
POINT ON ROOF SLOPE ABOVE WHICH (N) DORMER IS OBSCURED

SIGHT LINES FROM 5'-6" ABOVE SIDEWALK ON OPPOSITE SIDE OF STREET



3 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'

4 PROPOSED NORTH ELEVATION

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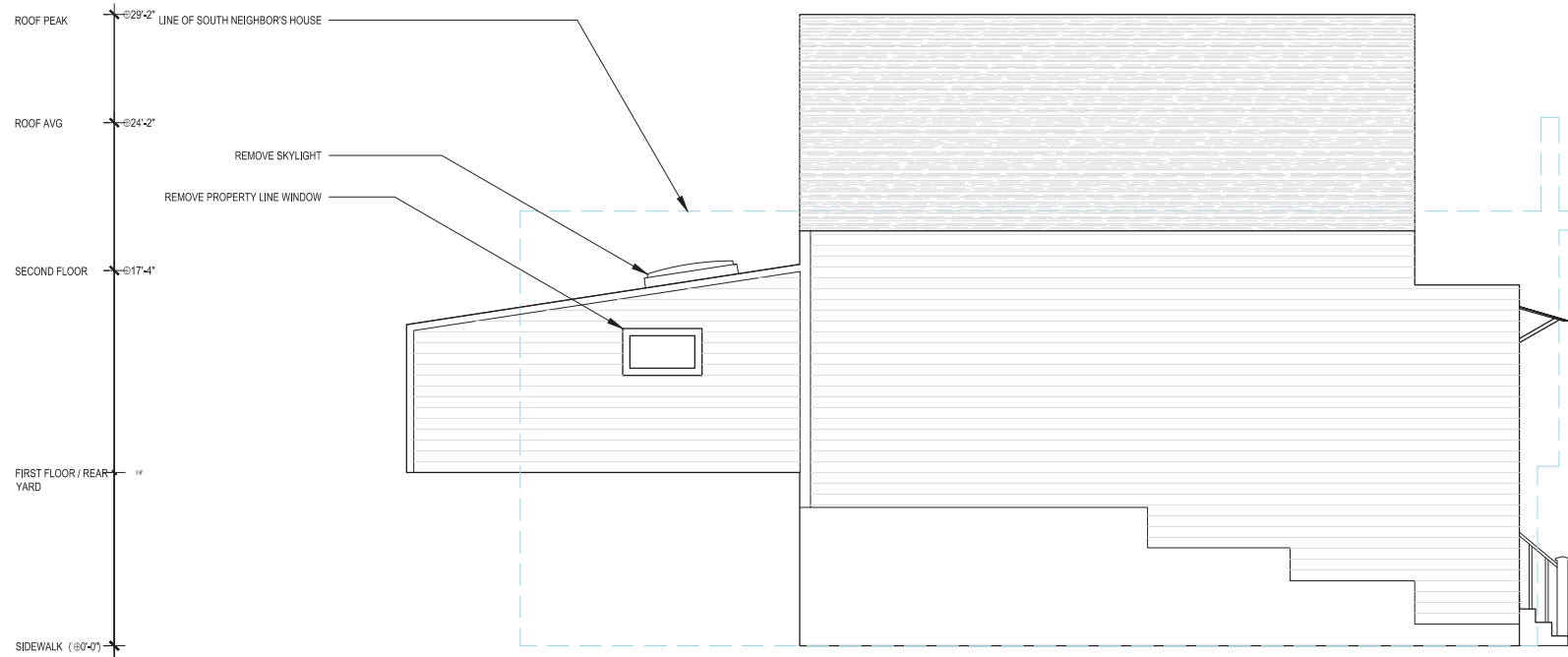
COUTURE RESIDENCE
604 MOULTRIE STREET

AS-BUILT AND PROPOSED
FRONT & NORTH ELEVS

| | |
|-------------|--------------------------|
| See Details | Sheet No. A3.0 |
| 07/14/2012 | |



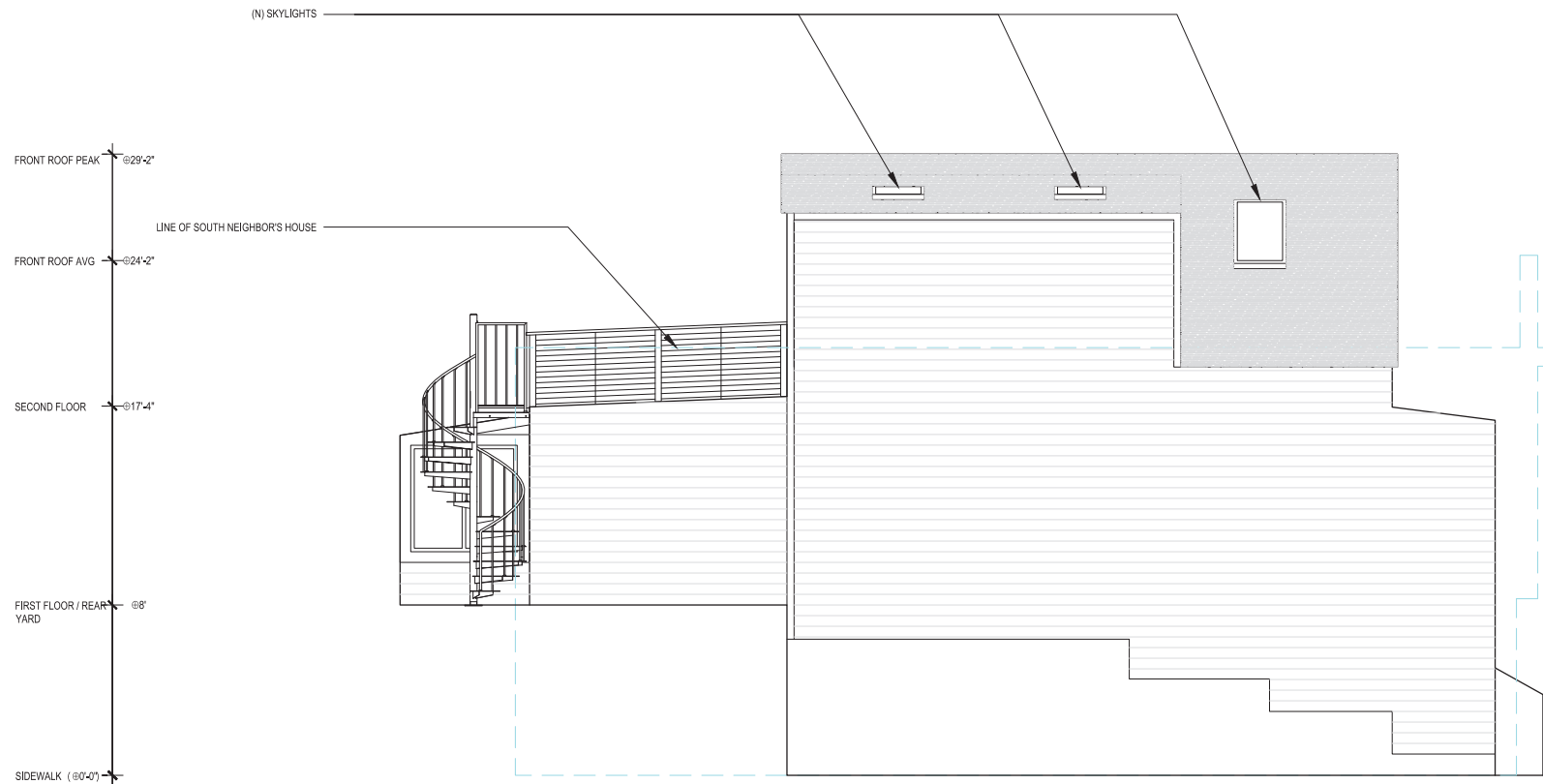
1
A3.0
(E) BACK ELEVATION
SCALE: $\frac{1}{4}" = 1'$



2
A3.0
(E) SOUTH ELEVATION
SCALE: $\frac{1}{4}" = 1'$



3
A3.1
PROPOSED BACK ELEVATION
SCALE: $\frac{1}{4}" = 1'$



4
A3.1
PROPOSED SOUTH ELEVATION
SCALE: $\frac{1}{4}" = 1'$

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COUTURE RESIDENCE
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AS-BUILT AND PROPOSED
REAR & SOUTH ELEVATIONS

| | |
|-------------|--------------------------|
| See Details | Sheet No. A3.1 |
| 07/14/2012 | |