



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 22, 2012**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Noncomplying Structure & Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 604 Moultrie St	Case No.: 2012.0489V
Cross Street(s): Tompkins and Ogden Avenues	Building Permit: 2012.04.12.6146
Block / Lot No.: 5722/002	Applicant/Agent: Jeffrey Couture
Zoning District(s): RH-1 / 40-X / Bernal Heights	Telephone: 415-963-1667
Area Plan: SUD	E-Mail: jeff.couture@gmail.com

PROJECT DESCRIPTION

The proposal includes reconstructing a portion of the existing one-story rear addition and adding a new rear staircase within the required rear yard. The proposal will increase the useable floor area from 1,367 sq ft to 1,437 sq ft for the single-family dwelling.

PER SECTION 242(e)(2) OF THE PLANNING CODE , the subject property is required to maintain a rear yard of 24 ft 6 in. Currently, the existing single-family residence building encroaches into the rear yard by 8 ft 7 in. The new proposal would reconstruct a portion of the one-story rear addition and add a stair, within the required rear yard; therefore, a rear yard variance is required.

PER SECTION 188 OF THE PLANNING CODE , noncomplying structures are not permitted to be reconstructed. The existing building is considered a legal noncomplying structure because a portion of the building encroaches into the required rear yard. The proposal would reconstruct a portion of the noncomplying structure and add a stair; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre** Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0489V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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604 MOULTRIE REMODEL

604 MOULTRIE STREET

SAN FRANCISCO, CA 94110

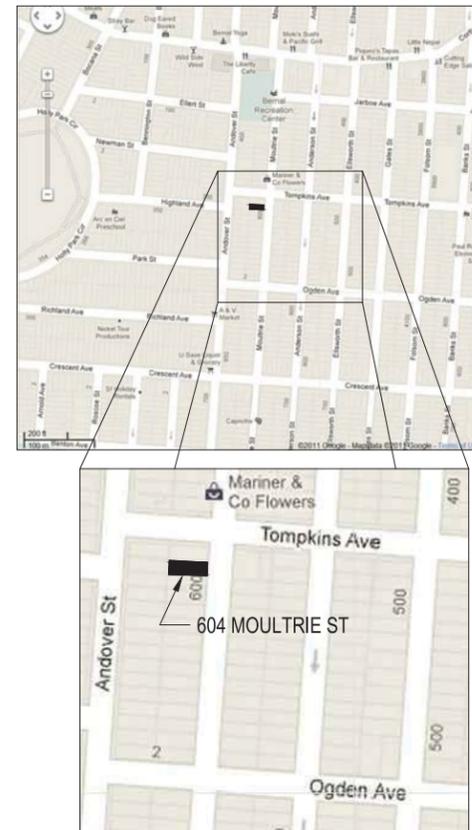
A.P.N. BLOCK: 5722 LOT: 002

PROJECT DESCRIPTION:

- RE-BUILD FRONT PORCH, MOVING STAIRS TO SIDE ALLEY
- ADD RAISED SIDE PATIO IN SIDE ALLEY AT FIRST FLOOR LEVEL
- ADD SHED DORMERS, BOTH SIDES, ON BACK PORTION OF 2ND FLOOR
- REBUILD / LEGALIZE EXISTING SINGLE STORY REAR ADDITION ON REDUCED FOOTPRINT *
- INTERIOR REMODEL

* The existing single story addition at rear of house was originally built more than 60 years ago, before the Bernal Heights S.U.D. code was written (this addition appears on the 1951 Sanborn maps, but not on the 1914 Sanborn maps). The full width of the existing structure extends 8'-7" beyond the 35% rear setback required by SF Planning Code Article 2 Section 242.e.2.(a). This addition is in need of extensive structural repairs. This project proposes to rebuild this addition on a reduced footprint but still extending beyond the line of allowable rear setback (see drawings). It will also re-purpose some existing living space to install an external spiral stair / secondary egress. The net result will be a reduction to the non-complying portion of the structure and an increase in rear yard open space. This portion of the project requires a variance under a separate permit application.

VICINITY MAP (N.T.S)



BUILDING & SITE INFORMATION

A.P.N.	BLOCK: 5722 LOT: 002
ZONING	RH-1
SPECIAL USE DISTRICT	BERNAL HEIGHTS S.U.D.
CONSTRUCTION TYPE	V-8
LOT DIMENSIONS	25' X 70'
LOT AREA	1750 SF
REQUIRED FRONT YARD SETBACK	0'
REQUIRED REAR YARD SETBACK	24'-6" (35%)
REQUIRED SIDE YARD SETBACK	0'
HEIGHT LIMIT	30'
REQUIRED GARAGE PARKING SPACES	1
REQUIRED COVERED PARKING SPACES	0
REQUIRED UNCOVERED PARKING SPACES	0
EXISTING NUMBER OF BUILDINGS ON LOT	1
PROPOSED NUMBER OF BUILDINGS ON LOT	1
EXISTING CONDITIONED 1ST FLOOR AREA	1026GSF
EXISTING CONDITIONED 2ND FLOOR AREA	341 GSF
TOTAL EXISTING BUILDING AREA	1367 GSF
PROPOSED CONDITIONED 1ST FLOOR AREA	955 GSF
PROPOSED CONDITIONED 2ND FLOOR AREA	482GSF
TOTAL PROPOSED BUILDING AREA	1437
NET ADDED HABITABLE, CONDITIONED AREA	70 GSF
LOCATION OF PROPERTY LINES WAS DETERMINED USING SIDEWALK LINES AND NEIGHBORING BUILDINGS AS REFERENCES	

OWNER:
Jeffrey Couture
604 Moultrie Street
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415-963-1667
jeff.couture@gmail.com

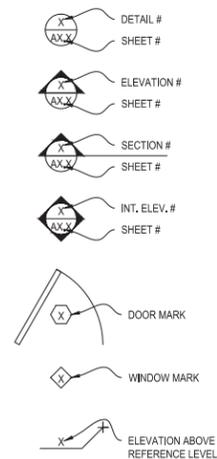
DESIGN / BUILD CONTRACTOR:
Stingray Builders, Inc
2901 Mariposa Street #14
San Francisco, CA 94110
stingraybuilders@gmail.com
Lic: 902907 Exp. 08/31/2013

STRUCTURAL ENGINEER:
Lb.d.

ABBREVIATIONS USED IN THE DRAWINGS

~	APPROXIMATELY	MTL.	METAL
&	AND	NECY	NECESSARY
@	AT	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISHED FLOOR	N.T.S.	NOT TO SCALE
ALT'D	ALTERED	O.C.	ON CENTER
A.P.N.	ASSESSOR'S PARCEL NUMBER	O.D.	OUTSIDE DIAMETER
ARCH'L	ARCHITECTURAL	O.H.	OPPOSITE HAND, OVERHANG
BD.	BOARD	OPP.	OPPOSITE
BLKG.	BLOCKING	P.L.	PROPERTY LINE
BOT.	BOTTOM	PL.	PLATE
B.P.	BUILDING PAPER	PLY.	PLYWOOD
BTWN.	BETWEEN	P.T.	PRESSURE-TREATED
CBC	CALIFORNIA BUILDING CODE	REF.	REFRIGERATOR
C.L./	CENTERLINE	REQ'D	REQUIRED
CLG.	CEILING	R.O.	ROUGH OPENING
CLOS.	CLOSET	SEC.	SECTION
CNTRL.	CONTROL(S)	SEP.	SEPARATE
CONSTR.	CONSTRUCTION	SF	SQUARE FOOT / SQUARE FEET
D	CLOTHES DRYER	SHT.	SHEET
DR.	DOOR	SIM.	SIMILAR
DW	DISHWASHER	SQ.	SQUARE
DWG.	DRAWING	SLD.	SEE LANDSCAPE ARCH'L DRAWINGS
(E)	EXISTING	SSD.	SEE STRUCTURAL DRAWINGS
ELEV.	ELEVATION	T	TEMPERED
ETC.	AND OTHERS	T.B.D.	TO BE DETERMINED
EXT.	EXTERIOR	THK.	THICK
FLASH.	FLASHING	T.O.	TOP OF
FLEX.	FLEXIBLE	T&G	TONGUE AND GROOVE
FT.	FOOT, FEET	TYP.	TYPICAL
GALV.	GALVANIZED	U.O.N.	UNLESS OTHERWISE NOTED
GSF	GROSS SQUARE FEET	VERT.	VERTICAL
GYP.	GYPSUM	V.I.F.	VERIFY IN FIELD
H.R.V.	HEAT RECOVERY VENTILATOR	HWH	DOMESTIC HOT WATER HEATER
I.C.F.	INSULATED CONCRETE FORM	W	CLOTHES WASHER
INFO.	INFORMATION	W/	WITH
INSUL.	INSULATION	WDW.	WINDOW
INT.	INTERIOR	W/O	WITHOUT
LOCN.	LOCATION	W.O.	WHERE OCCURS
M.E.P.	MECHANICAL, ELECTRICAL, AND PLUMBING	W.P.	WATERPROOF/WATERPROOFING
MAX.	MAXIMUM	WT.	WEIGHT
MECH.	MECHANICAL		
MFGR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		

SYMBOLS USED IN THE DRAWINGS



SHEET INDEX

TITLE SHEETS
T0.0 COVER SHEET

ARCHITECTURAL DRAWINGS
A1.0 (E) AND PROPOSED SITE PLAN
A1.1 (E) AND PROPOSED GARAGE/BASEMENT PLAN
A1.2 (E) AND PROPOSED 1ST FLOOR PLAN
A1.3 (E) AND PROPOSED 2ND FLOOR PLAN
A3.0 (E) AND PROPOSED FRONT & BACK ELEVATIONS
A3.1 (E) AND PROPOSED SIDE ELEVATIONS
A4.0 PROPOSED SECTIONS

GENERAL NOTES

1. DO NOT SCALE THESE DRAWINGS.
2. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING THE WORK.
3. IF THESE DRAWINGS ARE NOT 24" X 36" THEY HAVE BEEN REDUCED OR ENLARGED.
4. (1X) INDICATES NOMINAL SIZE. (1") INDICATES ACTUAL SIZE.
5. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
6. TITLE 24 ENERGY REQUIREMENTS DESCRIBED IN THE REPORT ARE INCLUDED IN THE CONTRACT DOCUMENTS, AND REPRESENT MINIMUM REQUIREMENTS.

APPLICABLE CODES:

2010 CA BUILDING CODE WITH SAN FRANCISCO AMMENDMENTS AND REFERENCED MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE CODES

04/07	ORIGINAL SITE PLAN & VARIANCE APPLICATION
07/14	REMOVED ARTICULATED ROOFLINE, ADDED TWO SHED DORMERS

COUTURE RESIDENCE
604 MOULTRIE STREET

COVER SHEET

Sheet No.

See Details

T0.0

07/14/2012

OWNER:
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 jeff.couture@gmail.com

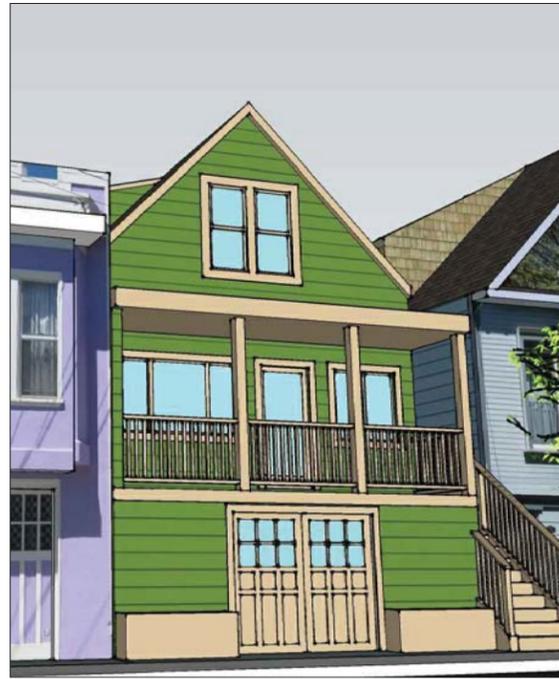
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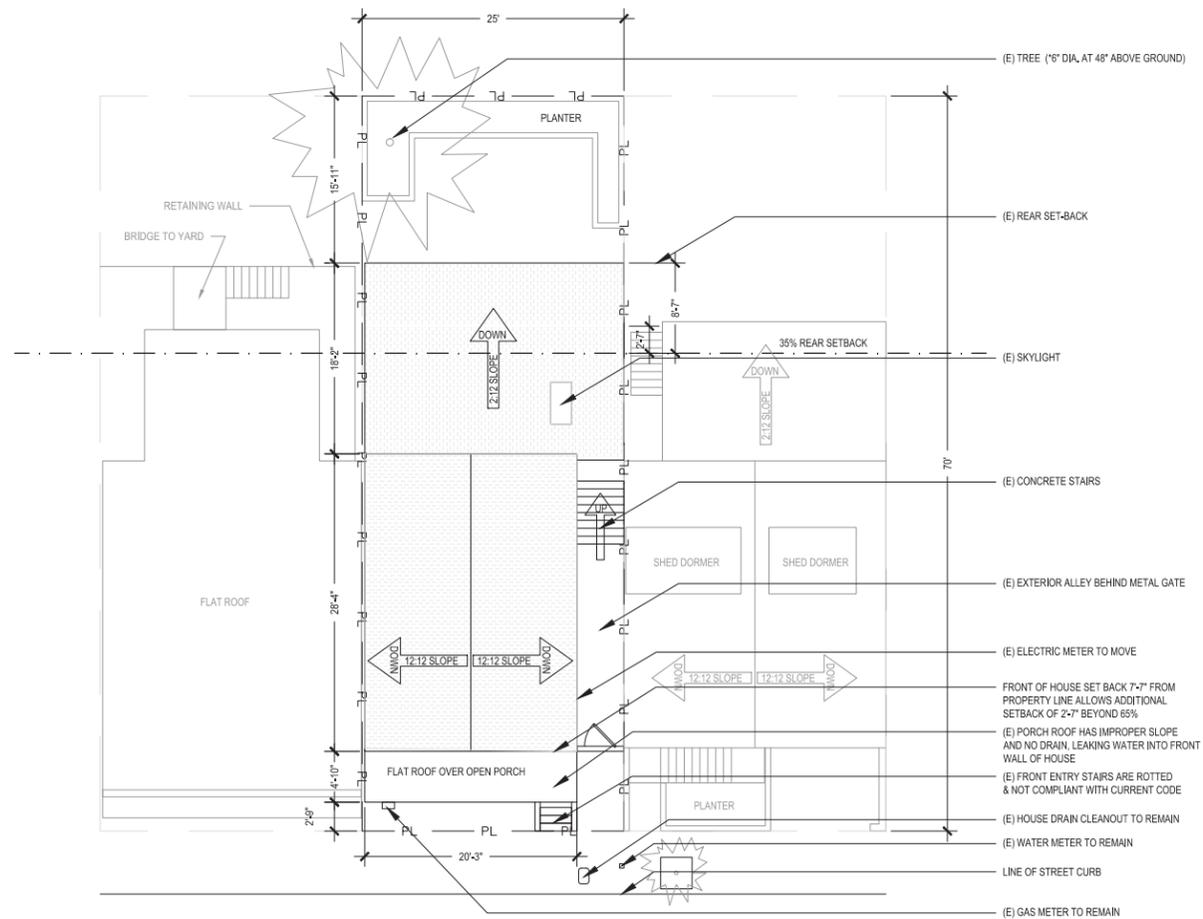
3 PHOTO OF (E) FACADE

SCALE: N/A



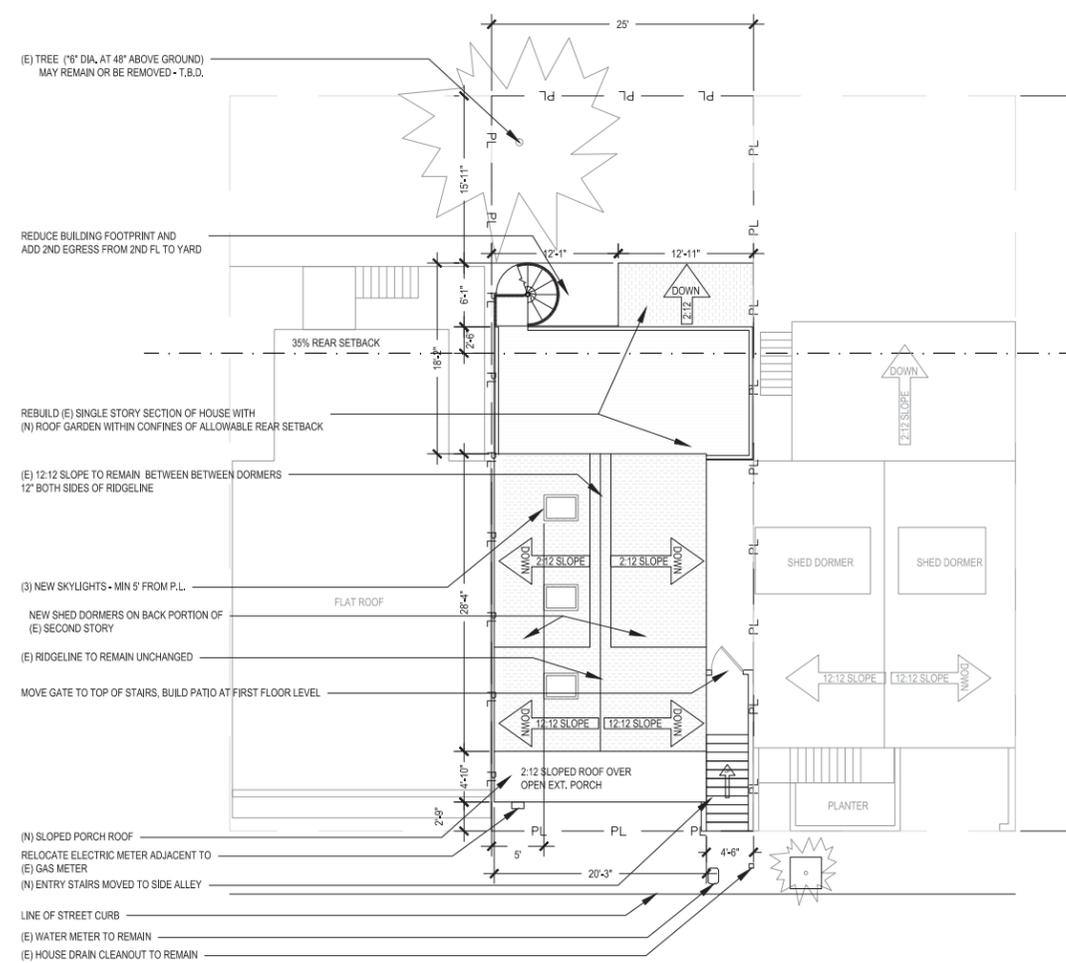
3 PERSPECTIVE DRAWINGS OF PROPOSED FACADE

SCALE: N/A



1 AS-BUILT SITE PLAN & ADJ LOTS

SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN & ADJ LOTS

SCALE: 1/8" = 1'-0"



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COUTURE RESIDENCE
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PLOT & ROOF PLANS

Sheet No.

See Details

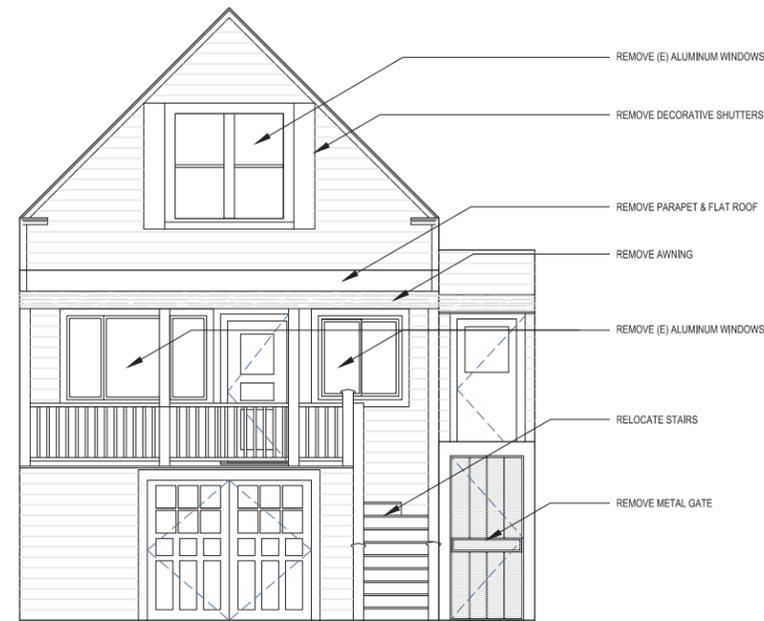
A1.0

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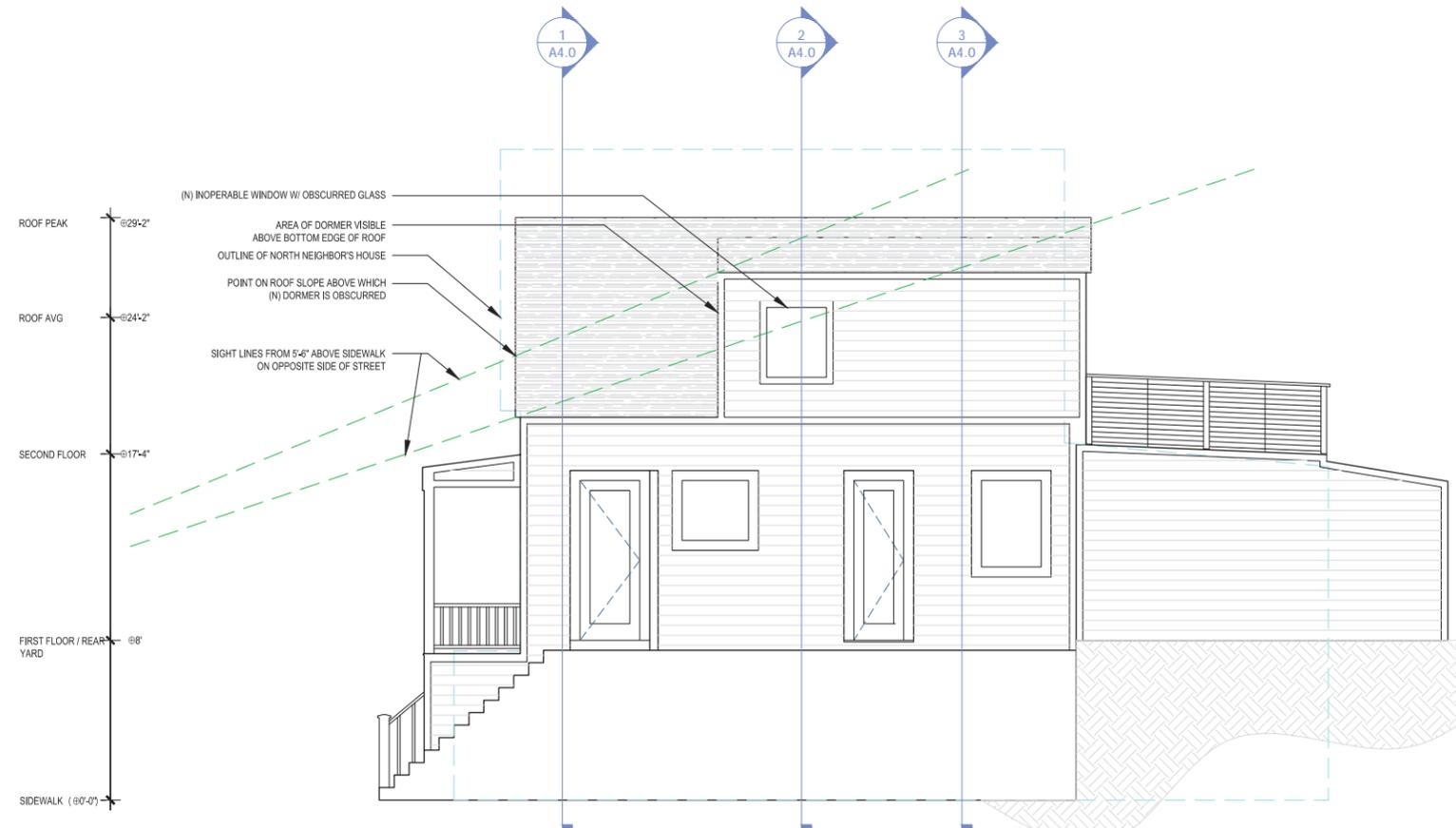
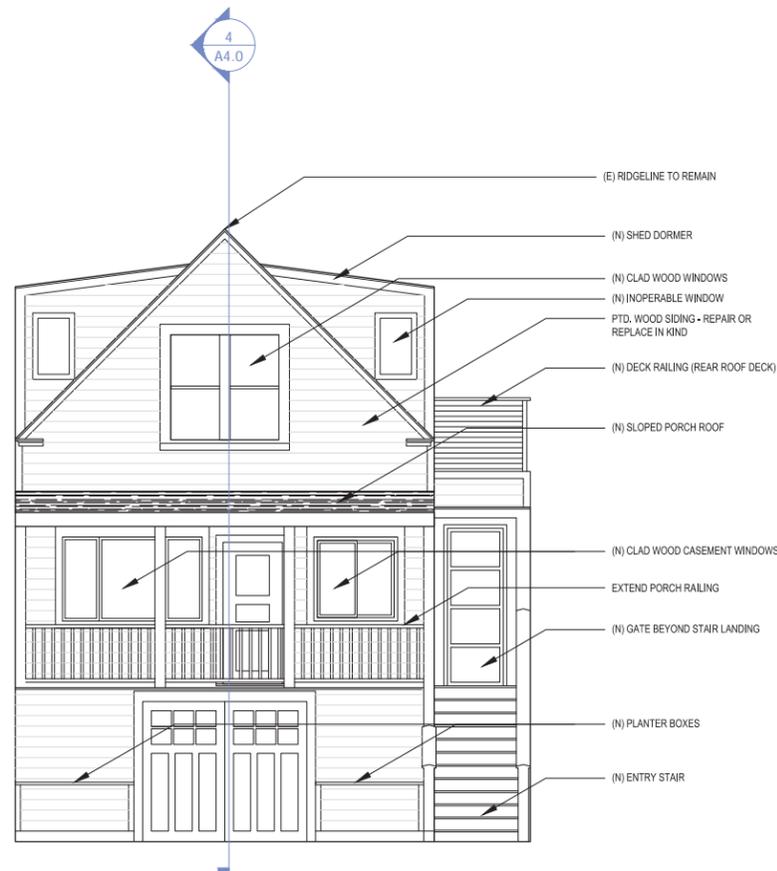
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1 AS-BUILT FRONT ELEVATION
 SCALE: 1/4" = 1'

2 AS-BUILT NORTH ELEVATION
 SCALE: 1/4" = 1'



3 PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'

4 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'



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COUTURE RESIDENCE
 604 MOULTRIE STREET

AS-BUILT AND PROPOSED
 FRONT & NORTH ELEVS

See Details

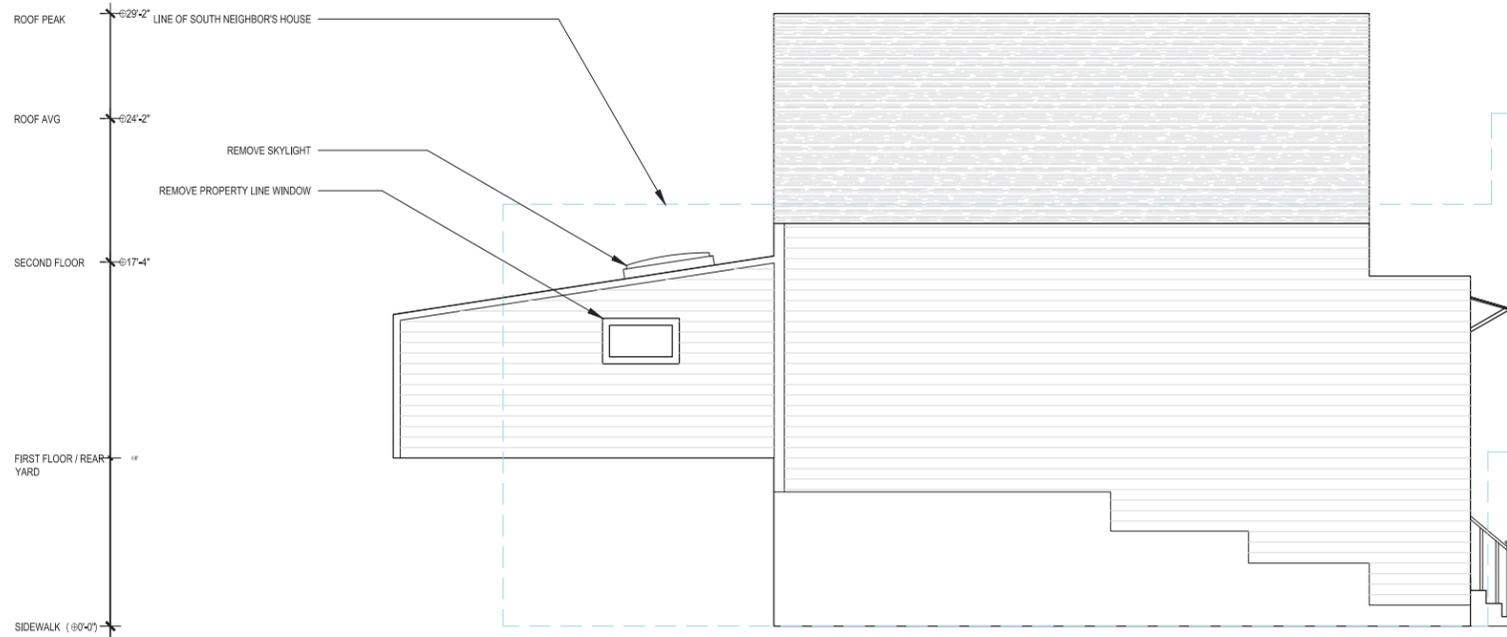
Sheet No.

A3.0

07/14/2012



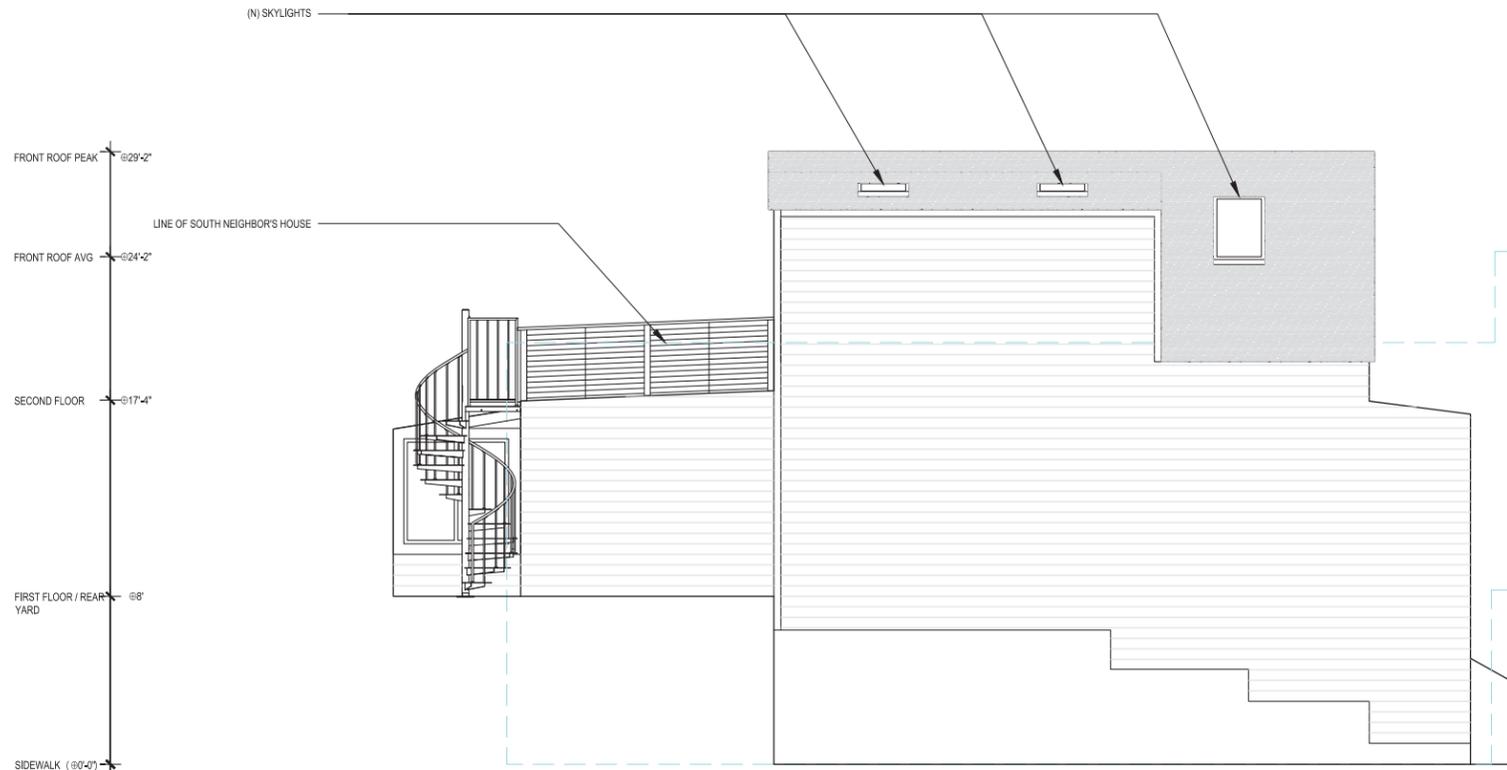
1
A3.0
(E) BACK ELEVATION
SCALE: 1/4" = 1'



2
A3.0
(E) SOUTH ELEVATION
SCALE: 1/4" = 1'



3
A3.1
PROPOSED BACK ELEVATION
SCALE: 1/4" = 1'



4
A3.1
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'

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**COUTURE RESIDENCE
604 MOULTRIE STREET**

**AS-BUILT AND PROPOSED
REAR & SOUTH ELEVATIONS**

See Details

07/14/2012

Sheet No.

A3.1