



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 27, 2012**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 237-239 28th Street	Case No.: 2012.0465V
Cross Street(s): Church & Sanchez	Building Permit: 2011.08.18.2691
Block /Lot No.: 6614/039	Applicant/Agent: Andrew Morrall
Zoning District(s): RH-2 / 85-X	Telephone: (415) 282-0616
Area Plan: N/A	E-Mail: andrewmorrallarchitect.com

PROJECT DESCRIPTION

The proposal is to remove an existing two-story stairway and replace it with a new two-story stairway, at the rear of the existing two-story over garage, two-family dwelling. A third floor deck would also be constructed adjacent to the proposed two-story rear stairway.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a minimum rear yard depth of approximately 44 feet 4 inches, measured from the rear property line. The proposed two-story stairway would encroach 20 feet 4 inches into the required rear yard to within 24 feet from the rear property line. The proposed third floor deck would encroach 13 feet 6 inches to within 30 feet 10 inches from the rear property line.

PER SECTION 188 OF THE PLANNING CODE, enlargements or reconstruction of a noncomplying structure is prohibited. The existing building and the two-story stairway, which already extend into the required rear yard, are considered a noncomplying structures. The proposed replacement two-story rear stairway would result in the reconstruction of a noncomplying structure. The proposed third floor rear deck would result in the enlargement of a noncomplying structure.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Tom Wang** Telephone: **(415) 558-6335** E-Mail: thomas.wang@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0465V.pdf>

中文詢問請電 : **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

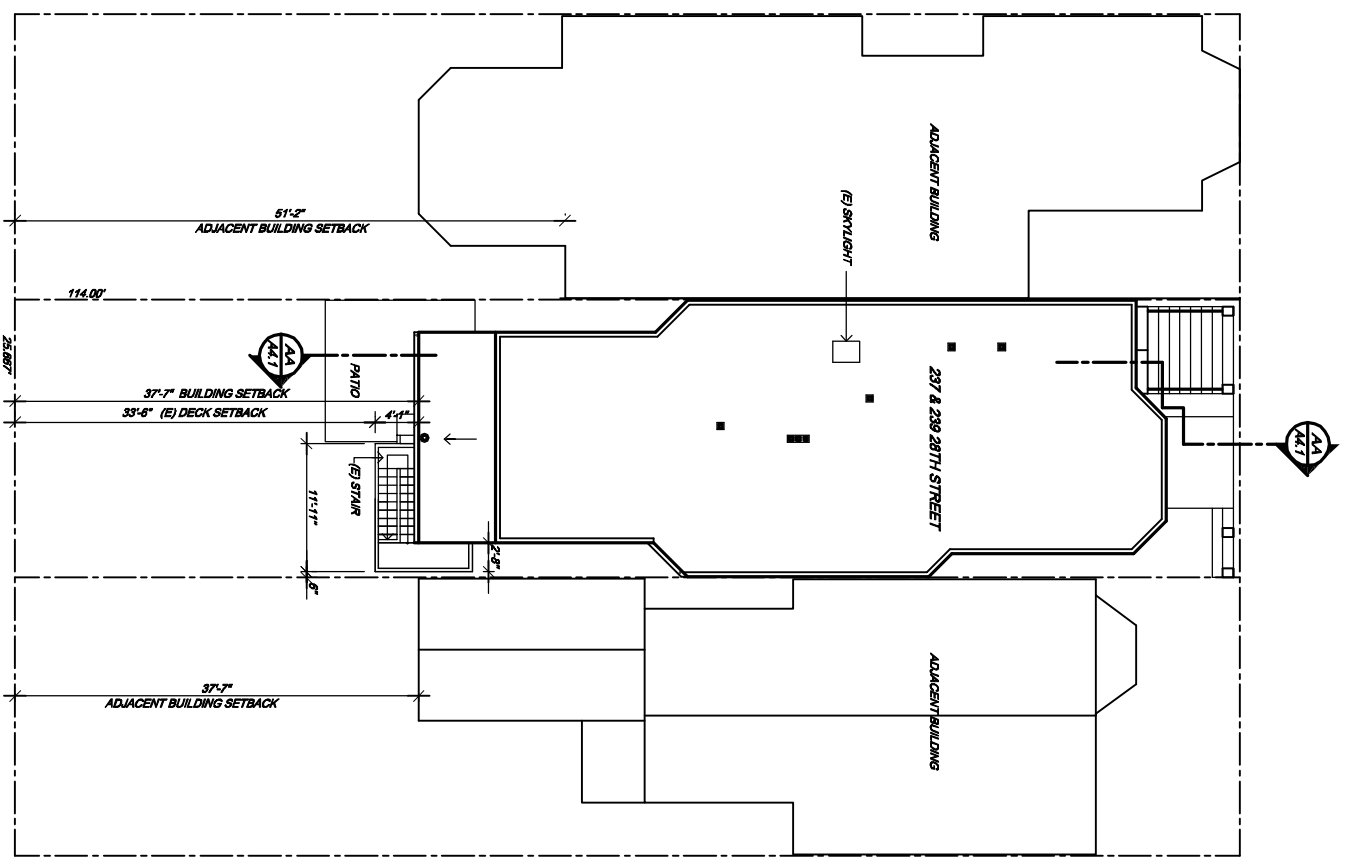
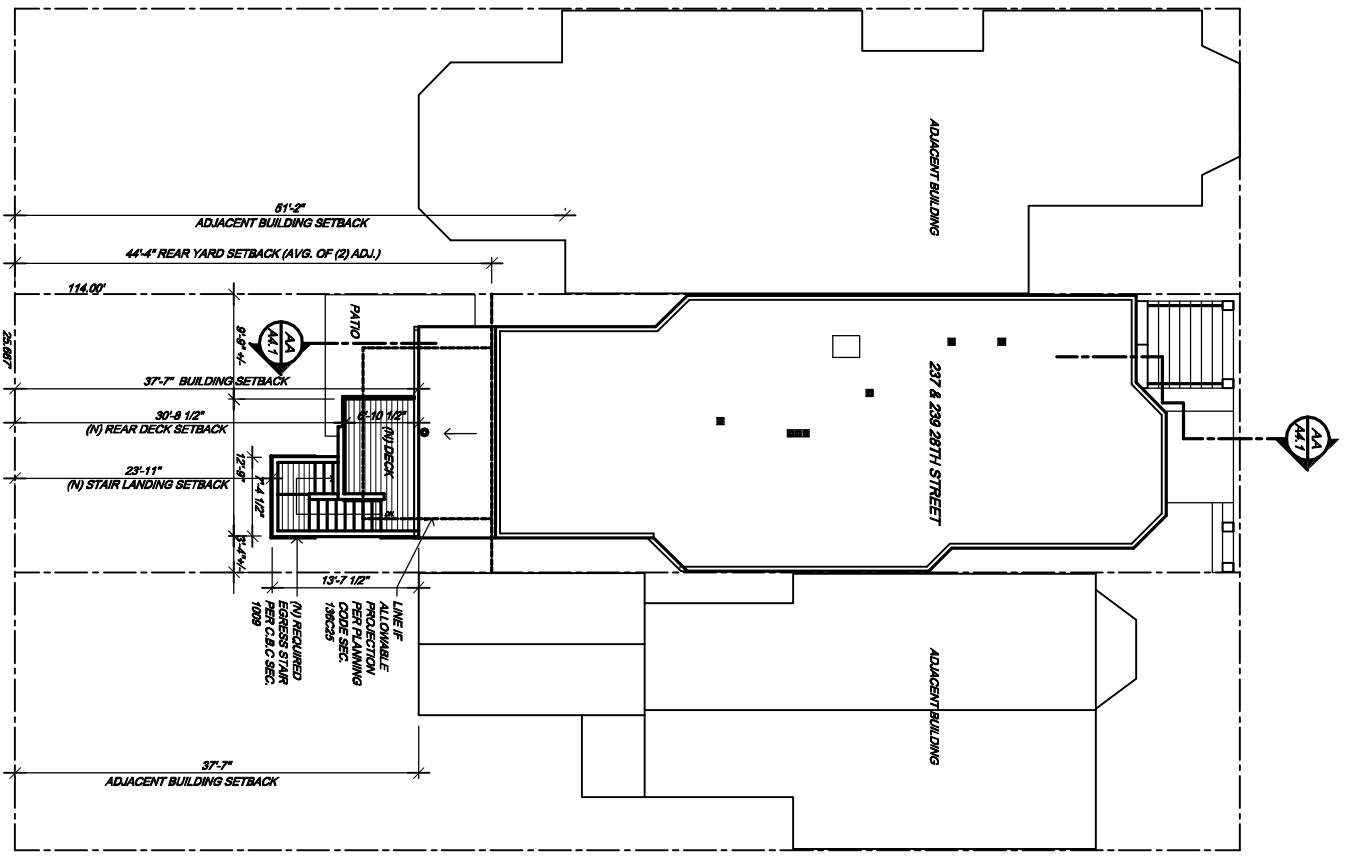
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

237 & 239 28TH STREET

237 & 239 28TH STREET



IMPROVEMENTS FOR THE RESIDENCE OF:
**KATE LONG, WILL LONG AND
 JILL WARD, CHRISTOPHER LONG**
 237 & 239 28TH STREET
 SAN FRANCISCO, CA. 94131

SHEET TITLE:
**SITE PLAN, ROOF PLAN
 DECK SUBMITTAL**

DATE: 01.30.12
 ISSUANCE: PERMIT SUBMITTAL

SHEET NUMBER:
A-0.2

SITE PLAN, ROOF PLAN W/ NEW PROPOSED DECK & STAIR
 SCALE: 1/8" = 1'-0"

SITE PLAN, ROOF PLAN W/ EXISTING DECK & STAIR
 SCALE: 1/8" = 1'-0"



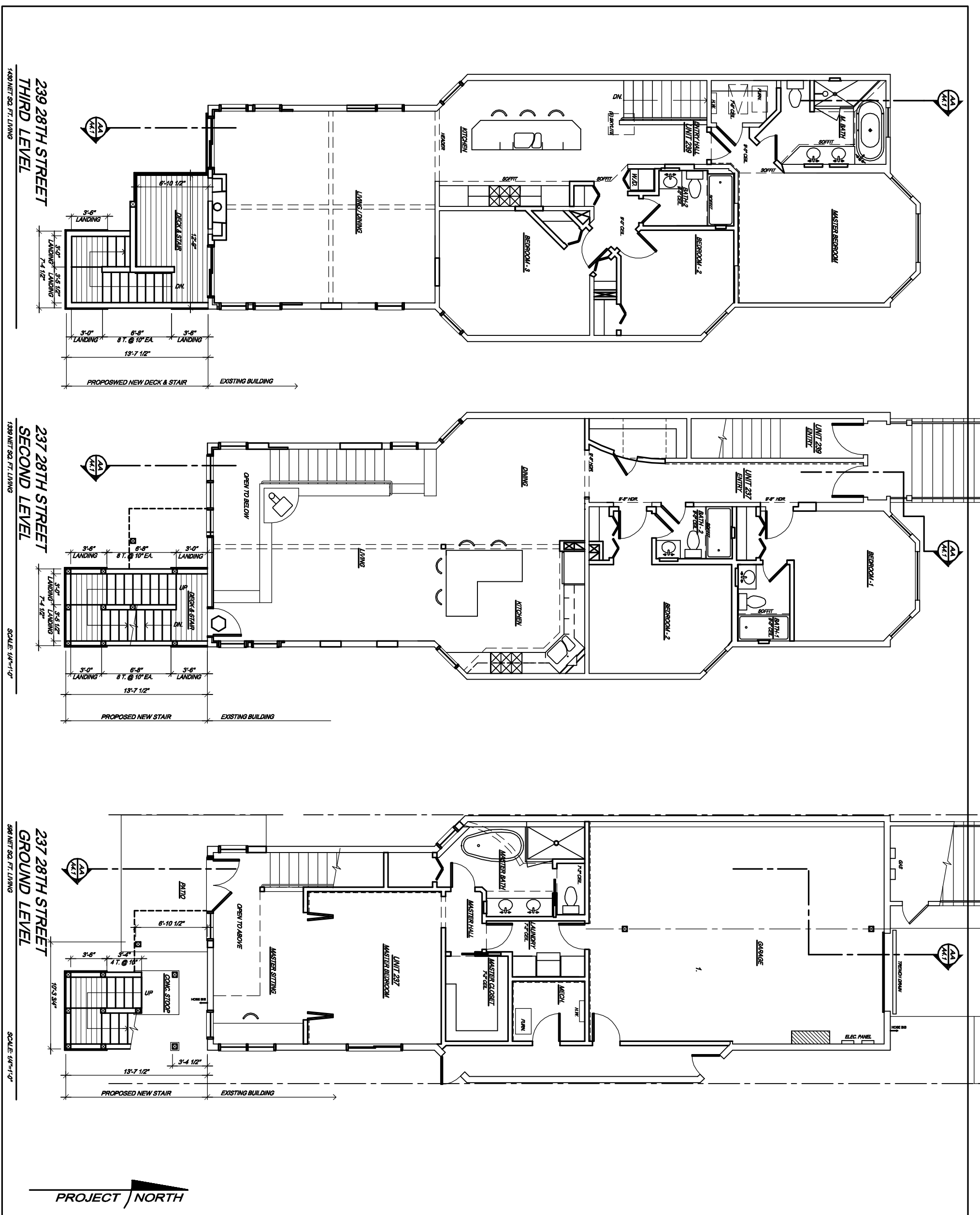
ANDREW MORRALL ARCHITECT
 www.andrewmorrallarchitect.com
 2730 MISSION STREET
 SAN FRANCISCO CA 94110
 PHONE: 415-282-0816

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 JILL WARD, CHRISTOPHER LONG**
 237 & 239 28TH STREET
 SAN FRANCISCO, CA. 94131

SHEET TITLE:
PROPOSED PLANS

DATE: 12.20.11
 ISSUANCE: BID

SHEET NUMBER:
A-2.1



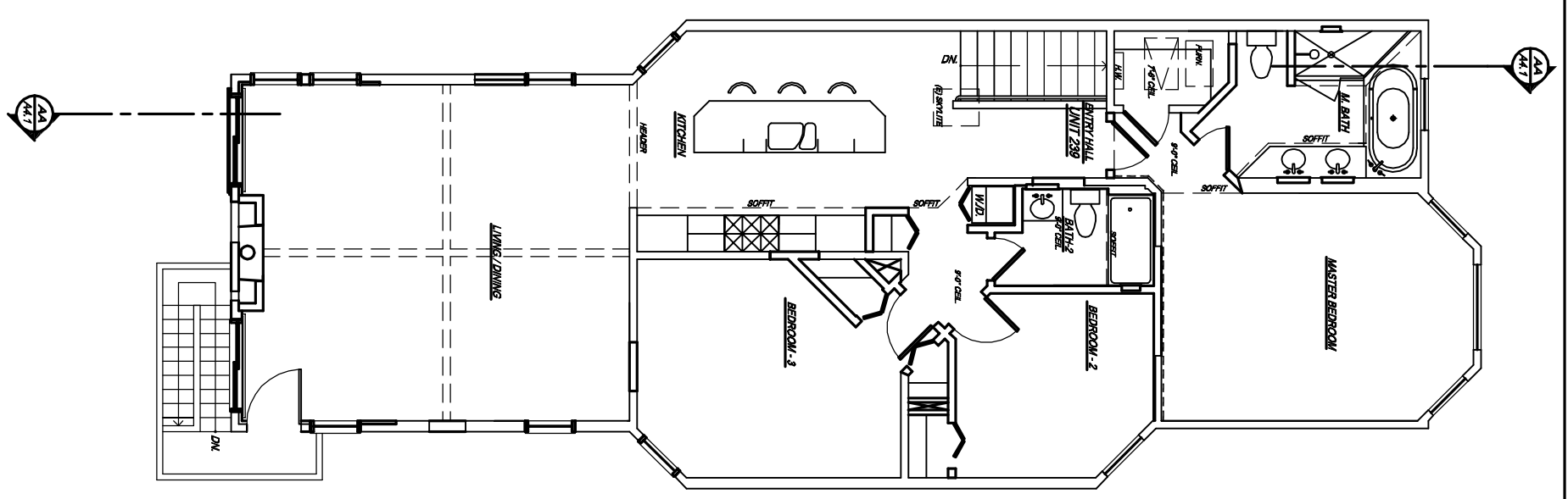
ANDREW MORRALL ARCHITECT
 www.andrewmorrallarchitect.com
 2730 MISSION STREET
 SAN FRANCISCO CA 94110
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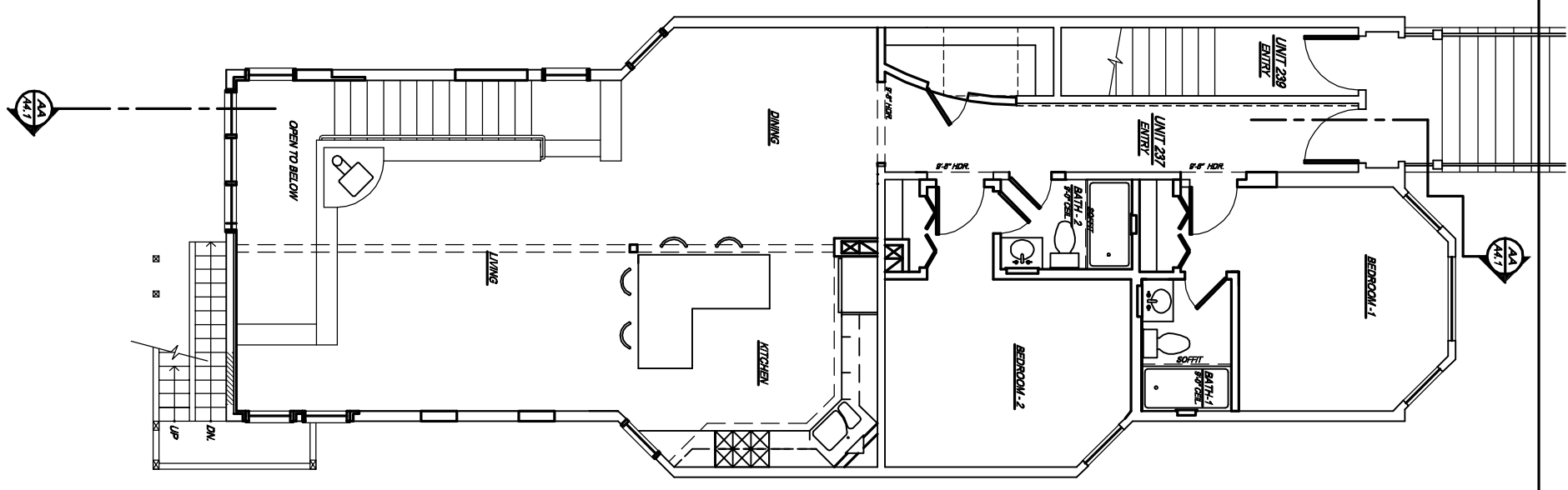
SHEET TITLE:
EXISTING PLANS

DATE: 12.20.11
 ISSUANCE: BID

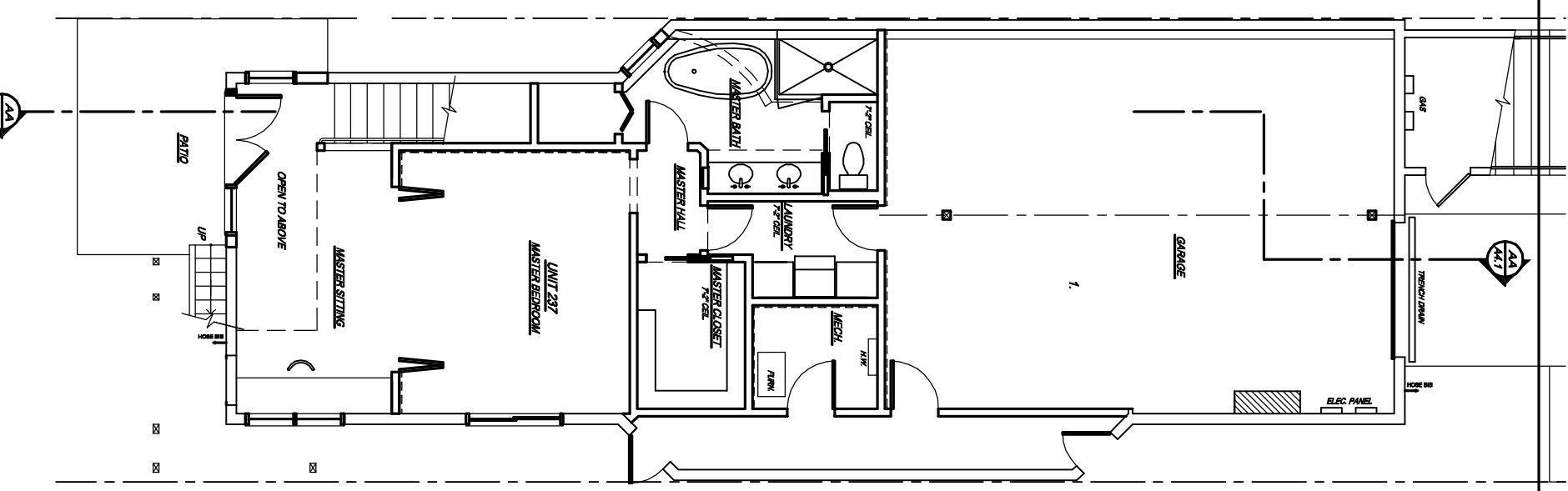
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A-2.2.2



**239 28TH STREET
 THIRD LEVEL - EXISTING**
 1430 NET SQ. FT. LIVING

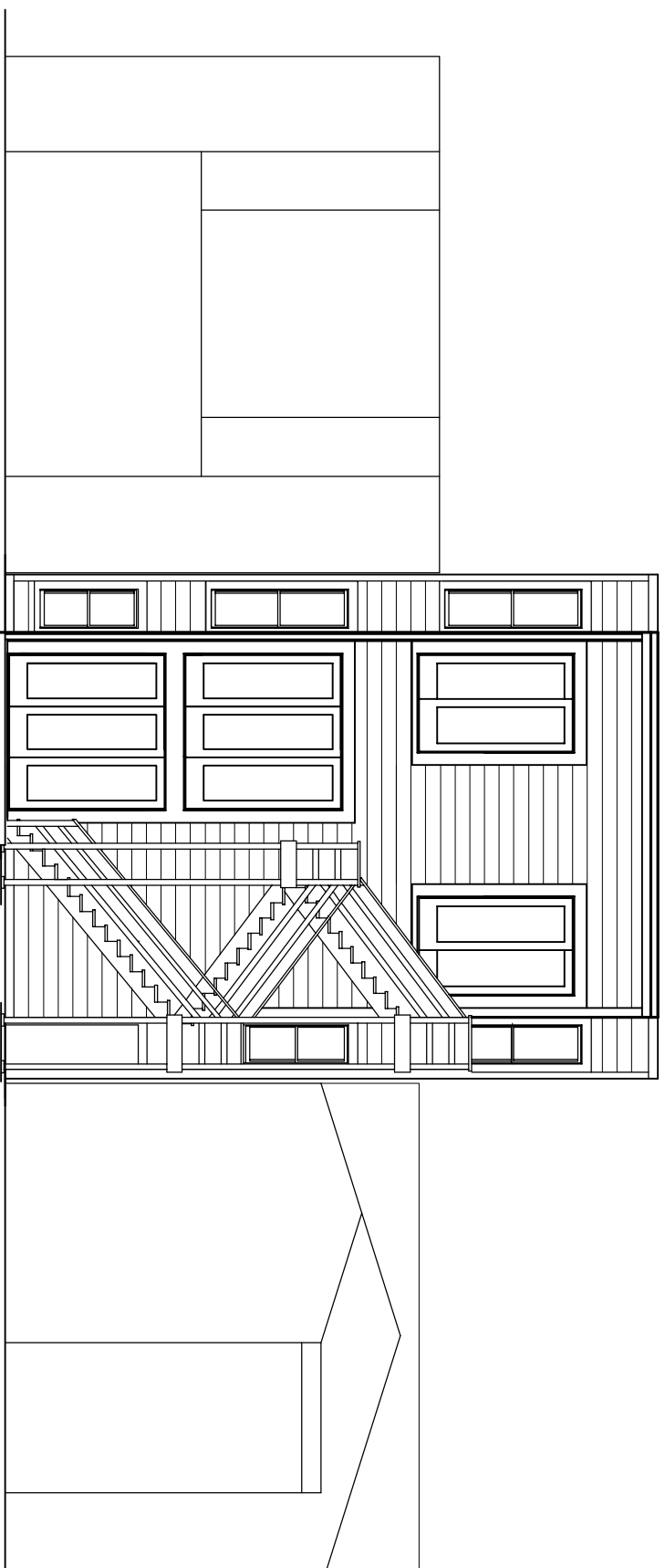


**237 28TH STREET
 SECOND LEVEL - EXISTING**
 1339 NET SQ. FT. LIVING

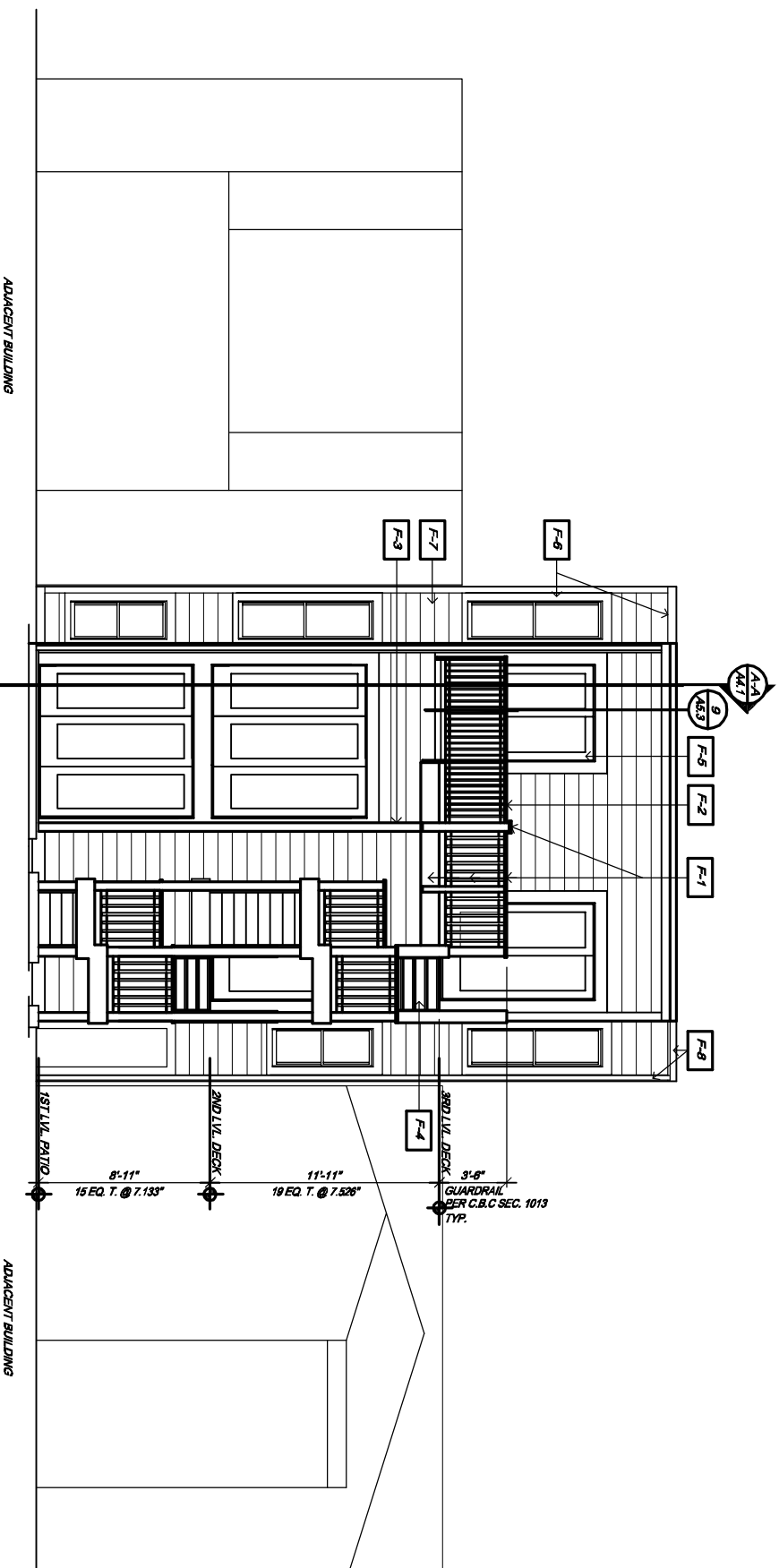


**237 28TH STREET
 GROUND LEVEL - EXISTING**
 998 NET SQ. FT. LIVING





EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL / FINISH SCHEDULE

- F-1** PRIMED SS & PAINTED TO MATCH BLDG TRIM, STY DRY CEDAR GUARD RAIL AND DECK SWIRT
- F-2** GLAZIERED STL. GUARDRAIL PAINTED TO MATCH WD TRIM, PRIMED & PTD W/ TRIMIC PAINT
- F-3** PRIMED SS & PAINTED TO MATCH BLDG TRIM WD STRUCTURAL POSTS
- F-4** TREX 2X8 DECKING AND STAIR TREADS AND RISERS
- F-5** WD CLAD PENCH DOOR AND WINDOWS
- F-6** PRIMED SS & PAINTED 2X WD TRIM
- F-7** SMOOTH HARDWALNK SIDING, EXPOSURE TO MATCH (E)
- F-8** PTD TO MATCH WD TRIM BSM GUTTER AND DOWNSPOUT

IMPROVEMENTS FOR THE RESIDENCE OF:
**KATE LONG, WILL LONG AND
JILL WARD, CHRISTOPHER LONG
237 & 239 28TH STREET
SAN FRANCISCO, CA. 94131**

SHEET TITLE:

**PROPOSED AND EXISTING
EXTERIOR ELEVATIONS**

DATE: ISSUANCE:

12.20.11 BID

SHEET NUMBER:

A3.1

IMPROVEMENTS FOR THE RESIDENCE OF:
**KATE LONG, WILL LONG AND
 JILL WARD, CHRISTOPHER LONG**
 237 & 239 28TH STREET
 SAN FRANCISCO, CA. 94131

SHEET TITLE:

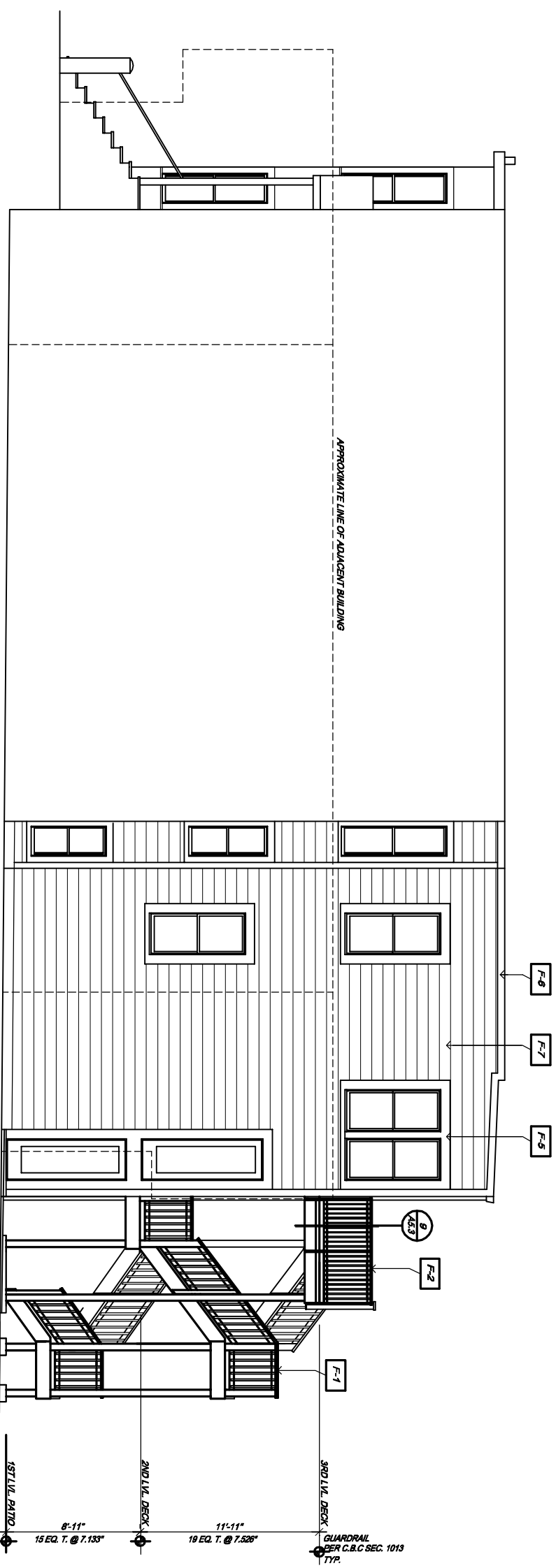
**PROPOSED
 EXTERIOR ELEVATIONS**

DATE: ISSUANCE:

12.20.11 BID

SHEET NUMBER:

A3.2

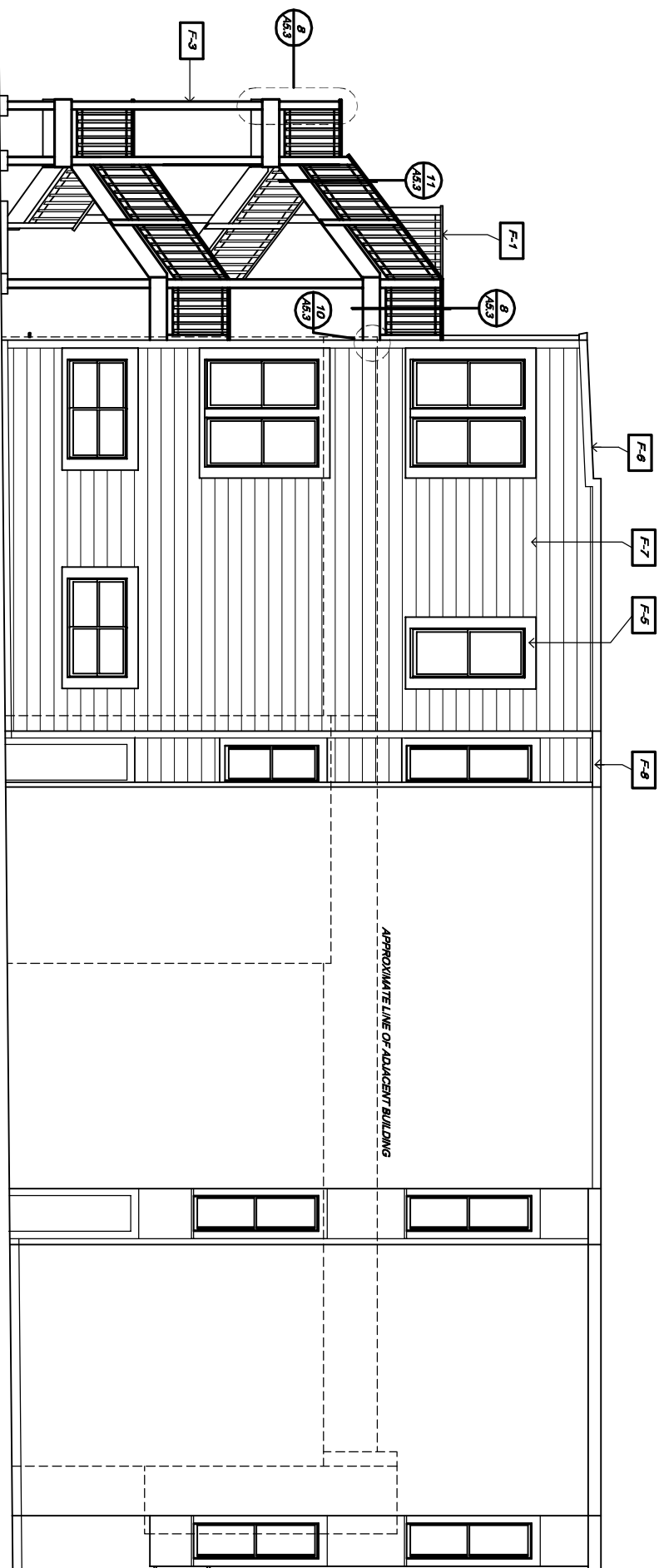


REVISIONED WEST SIDE ELEVATION

SCALE: 1/4"=1'-0"

MATERIAL / FINISH SCHEDULE

- F-1 PRIMED AS & PAINTED TO MATCH BLDG TRIM, STY. DRY CEDAR GUARD RAIL AND DECK SWIRT
- F-2 GLAZIERED STL. GUARDRAIL PAINTED TO MATCH HD. TRIM, PRIMED & PTD. W/ TRIMIC PAINT
- F-3 PRIMED AS & PAINTED TO MATCH BLDG TRIM AND STRUCTURAL PARTS
- F-4 TREX 2X8 DECKING AND STAIR TREADS AND RISERS
- F-5 HD. CLAD PENCH/DOOR AND WINDOWS
- F-6 PRIMED AS & PAINTED 2X HD. TRIM
- F-7 SMOOTH HARDPLANK SIDING, EXPOSURE TO MATCH (E)
- F-8 PTD. TO MATCH HD TRIM BSM GUTTER AND DOWNSPOUT



REVISIONED EAST SIDE ELEVATION

SCALE: 1/4"=1'-0"

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237 & 239 28TH STREET
SAN FRANCISCO, CA. 94131

SHEET TITLE:

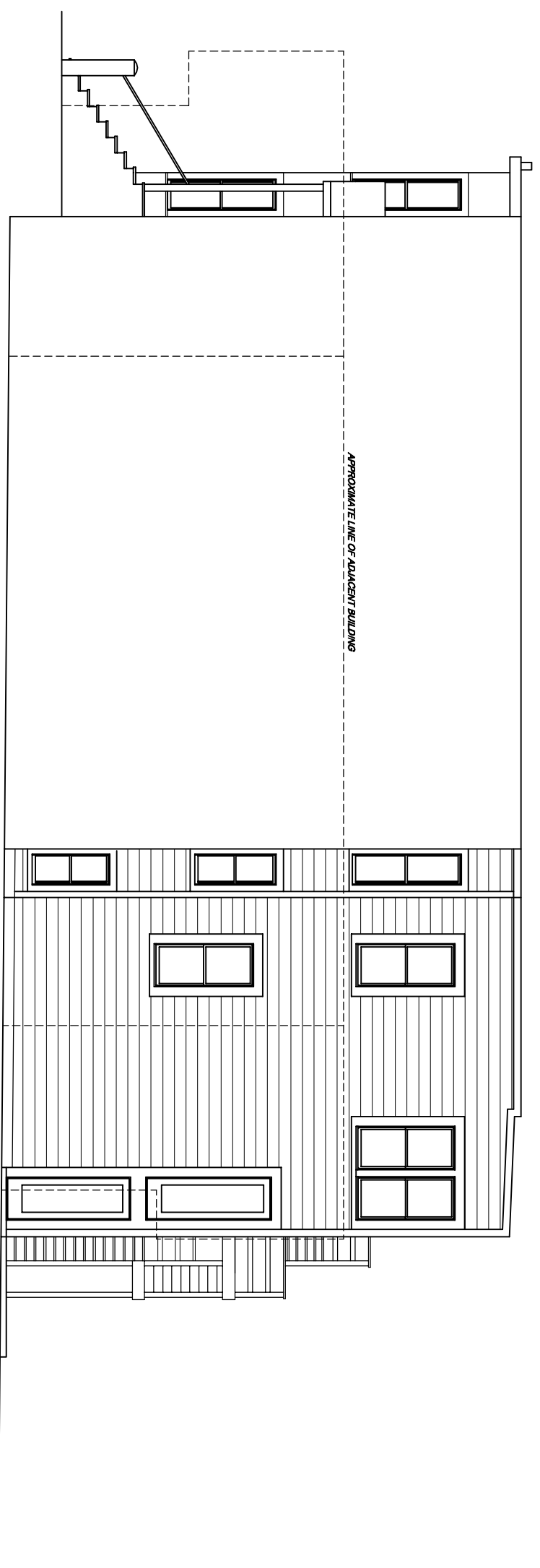
EXTERIOR ELEVATIONS
EXISTING

DATE: ISSUANCE:

12.20.11 PERMIT

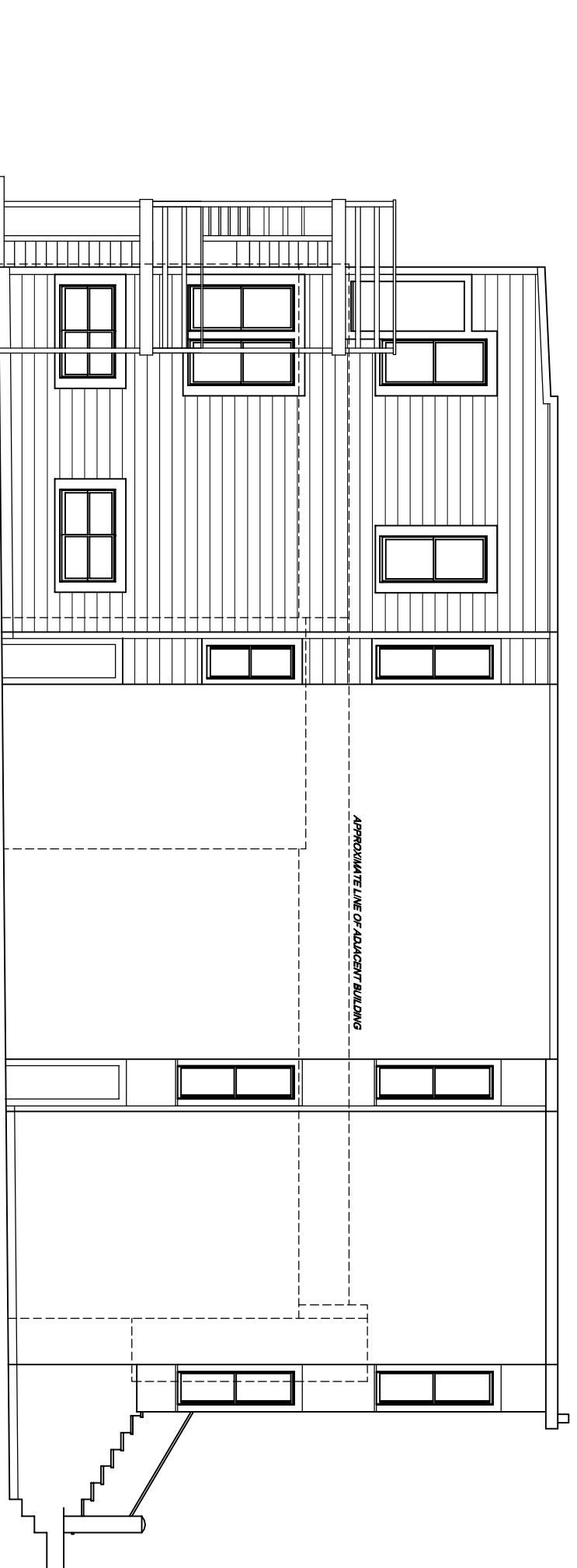
SHEET NUMBER:

A3.3



EXISTING WEST SIDE ELEVATION

SCALE: 1/4"=1'-0"



EXISTING EAST SIDE ELEVATION

SCALE: 1/4"=1'-0"