



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 25, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear yard, Open Space and Exposure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>2923 Harrison St</b>	Case No.:	<b>2012.0463V</b>
Cross Street(s):	<b>Between 25th And 26th Streets</b>	Building Permit:	<b>201203287050</b>
Block / Lot No.:	<b>4271/034</b>	Applicant/Agent:	<b>Michael Tauber</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>415-252-7044</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>michael@michaeltauberarchitecture.com</b>

### PROJECT DESCRIPTION

The proposal is to (1) add a second dwelling unit on the first floor, (2) fill in underneath the existing second floor rear extension, and (3) construct a rear/side horizontal addition at the northeast corner of the first floor and flush with existing rear building wall.

**PLANNING CODE SECTION 242** requires a rear yard of 45' for the subject property. The existing building encroaches approximately 26'-1" into the required rear yard at the second level, leaving a rear yard of approximately 18'-11". The proposed addition at the ground floor is located within the required rear yard; therefore, a variance is required.

**PLANNING CODE SECTION 135** requires 125 square feet of private usable open space for each unit, or 166.25 square feet of common usable open space for each unit. The project removes access to the rear yard open space on the ground level from the existing dwelling on the second level without providing a replacement elsewhere on the lot; therefore, a variance for open space is required.

**PLANNING CODE SECTION 140** requires windows of at least one room that meet the 120-square-foot minimum floor area requirement in each dwelling in any use district to face directly on an open area of a public street, public alley, side yard of at least 25' in depth, or a rear yard meeting the requirements of the Planning Code. The project proposes the addition of a second dwelling unit that does not face a street or Code-complying rear yard; therefore, a variance is required.

**PLANNING CODE SECTION 188** prohibits a non-complying structure from intensification or increase in discrepancy at any level. The existing building is a non-complying structure in terms of rear yard. The proposed addition enlarges the existing non-complying building envelope.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Ben Fu**

Telephone: **415-558-6613** Mail: [ben.fu@sfgov.org](mailto:ben.fu@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2012.0463V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**



# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On June 28, 2012, the Department issued the required Section 311 notification for this project (expires July 28, 2012).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



SCOPE OF WORK THIS PROJECT

IMPROVEMENTS TO EXISTING SINGLE FAMILY RESIDENCE:  
  
REAR YARD ADDITION ON FIRST FLOOR. REMOVE NON-CONFORMING UNIT ON FIRST FLOOR; ADD NEW BATH, UTILITY ROOM, AND NEW DWELLING UNIT WITH KITCHEN AND BATH. REMOVE EXTERIOR STAIRS AND PARTIALLY INFILL (E) LIGHT WELL ON FIRST FLOOR. (N) DECK ON SECOND FLOOR.

APPLICABLE REGS & STDS

APPLICABLE CODES:  
  
2010 CALIFORNIA BUILDING CODE .  
2010 CALIFORNIA MECHANICAL CODE.  
2010 CALIFORNIA PLUMBING CODE.  
2010 CALIFORNIA ELECTRICAL CODE.  
2010 CALIFORNIA FIRE CODE.  
ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS  
LIFE SAFETY CODE, 1999 NFPA 72

SHEET INDEX

A0.0 PROJECT INFO, ABBREVIATIONS, SITE PLAN  
A1.0 EXISTING/DEMO PLANS  
A2.0 CONSTRUCTION PLANS  
A4.0 EXISTING EXTERIOR ELEVATIONS  
A4.1 PROPOSED EXTERIOR ELEVATIONS  
A4.2 BUILDING SECTIONS, WINDOW + DOOR SCHEDULE

BLDG AND PLAN'G DEPT. NOTES

OWNER: VITO SACCHERI  
2923 HARRISON STREET  
SAN FRANCISCO, CA 94110  
  
APN: 4271/034  
ZONING: RH-2 RESIDENTIAL HOUSE,  
TWO FAMILY  
  
HEIGHT & BULK DIST: 40-X  
(E) USE: SINGLE FAMILY RESIDENCE  
(P) USE: 2 UNIT RESIDENCE  
OCCUPANCY: R-3 HOUSE  
U GARAGE  
  
NUMBER OF STORIES: 2  
LOT AREA: 2500 SF  
  
EXIST. BUILDING SIZE: 3048 SF  
860 SF (GARAGE)  
613 SF (FIRST FLOOR)  
1575 SF (SECOND FLOOR)  
  
PROPOSED BUILDING SIZE: 3259 SF  
465 SF (GARAGE)  
1219 SF (FIRST FLOOR)  
1575 SF (SECOND FLOOR)  
  
TYPE OF CONSTRUCTION: TYPE V-B CONSTRUCTION

VICINITY MAP



GENERAL NOTES

LEGEND

	OBJECT TO BE REMOVED		NEW WALL - 2x4 OR 2x6 STUDS W/ 5/8" TYPE X GYP. BD. BOTH SIDES		ELECTRICAL OUTLET TO BE REMOVED		LIGHT FIXTURE TO BE REMOVED
	WALL TO BE REMOVED		1 HR WALL 2x4 OR 2x6 STUDS W/ 5/8" TYPE X GYP. BD. BOTH SIDES		LIGHT SWITCH TO BE REMOVED		
	EXISTING WALL TO REMAIN						

This plan shows the second floor of a residential building. Rooms include (E) LIVING ROOM, (E) DINING ROOM, (E) BREAKFAST ROOM, (E) KITCHEN, (E) PANTRY, (E) CLOSET, (E) BEDROOM, (E) OFFICE, (E) ENTRY, (E) HALL, (E) BATH, and (E) LIGHT WELL. Stairs are shown with 'DN' (down) arrows. A dashed box indicates the 'LIMIT OF WORK'. Various wall types are indicated by different line styles as defined in the legend.

**2 SECOND FLOOR EXISTING/DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

This plan shows the first floor of a residential building. Rooms include (E) GARAGE, (E) HALL, (E) KITCHEN UNWARRANTED, (E) LIVING ROOM UNWARRANTED, (E) CLOSET UNWARRANTED, and (E) STAIRS TO REMAIN. Numerous demolition tasks are annotated with leader lines, such as 'REMOVE TRAPEZOIDAL CONC. FOOTING THIS WALL FOR (N) FOOTING', 'REMOVE CASEWORK, LAV., & CAP PLUMBING', 'REMOVE RANGE', 'REMOVE SINK', 'REMOVE WINDOW', 'EXCAVATE SOIL AS REQ'D, TYP.', etc. The plan also shows structural elements like columns and beams to remain or be removed.

**1 FIRST FLOOR EXISTING/DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**Michael Tauber  
Architecture**

2325 Third Street, Ste 322  
San Francisco, CA 94107  
p. 415.252.7044

All drawings and written material appearing herein constitute original and unpublished work of the architects and may not be duplicated, used or disclosed without written consent of the architect.

NOTE: If this drawing is not 22"x34" it has been revised from its original size. Scale noted on drawing/details are no longer applicable

revisions

number	date
VARIANCE AP	4.5.12
PERMIT REV	5.23.12
311 REVISION	6.14.12

RESIDENTIAL RENOVATION

2923 HARRISON STREET  
SAN FRANCISCO, CA

issue date 3/28/2012

scale AS NOTED

drawn MT

checked

file name 2000101 A1.0

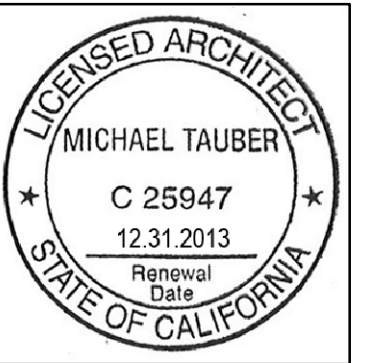
job number 200101

drawing EXISTING/DEMO PLANS

sheet number

A 1

of sheets



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it has been revised from its original  
size. Scale noted on drawing/  
details are no longer applicable

number	date
VARIANCE AP	4.5.12
1 PERMIT REV	5.23.12
11 REVISION	6.14.12

RESIDENTIAL RENOVATION  
2923 HARRISON STREET  
SAN FRANCISCO, CA

Issue date	3/28/2012
Scale	AS NOTED
Drawn	MT
Checked	
File name	2000101 A1.0
Job number	200101
Drawing	EXISTING/DEMO PLANS
Sheet number	

A 1



of sheets

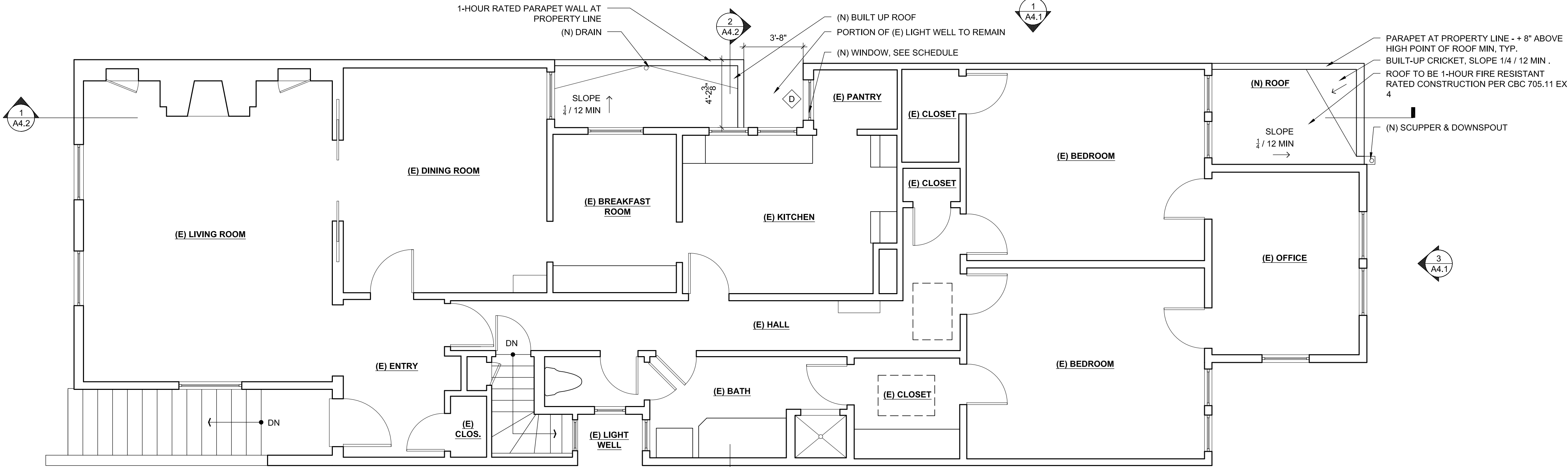


GENERAL NOTES

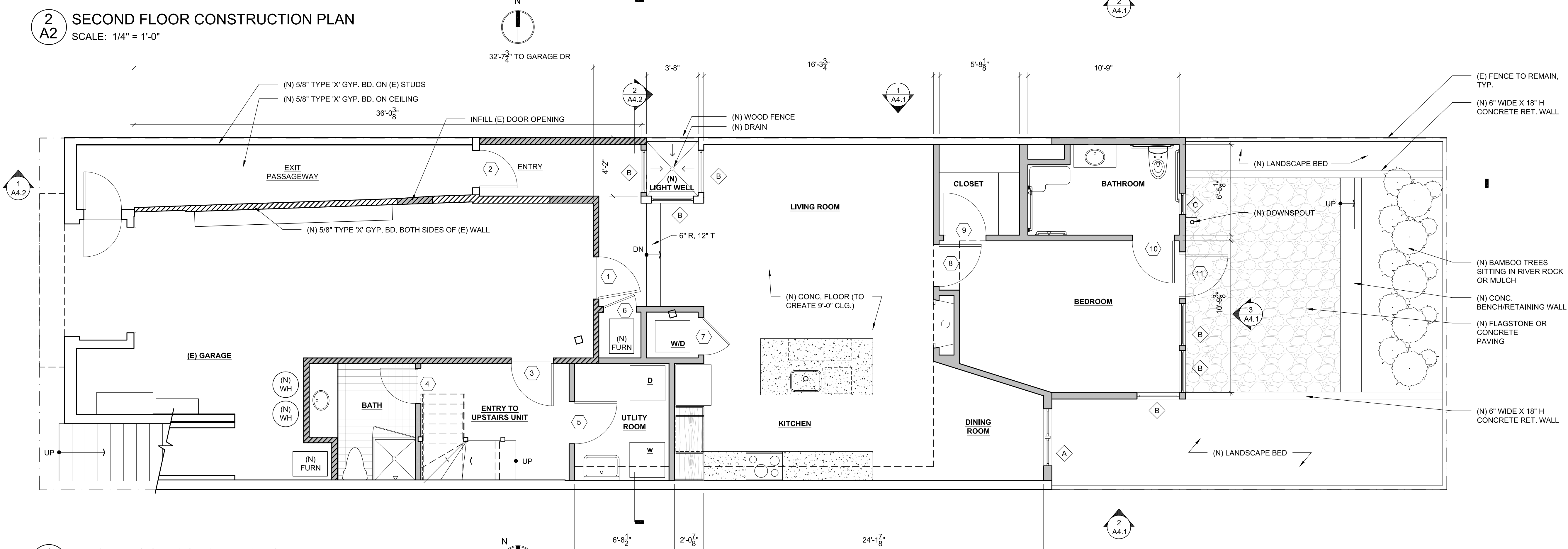
1. ALL DIMENSIONS ARE F.O.F. UNLESS OTHERWISE NOTED.
2. VERIFY ALL CABINET DIMS PRIOR TO FABRICATION.
3. PROVIDE CABINET SHOP DRAWINGS FOR APPROVAL.
4. PROVIDE LEVEL 4 GYP. BD. FINISH TO MATCH (E) THROUGHOUT.
5. APPLIANCES TO BE OWNER PURCHASED AND CONTRACTOR INSTALLED E.
6. CONFIRM ALL APPLIANCE SIZES, REQUIRED CLEARANCES, AND ELECTRICAL/PLUMBING NEEDS.
7. PROTECT FLOOR AND WALL SURFACES IN AREAS ADJACENT TO WORK AREAS.

LEGEND

- |       |                         |   |  |
|-------|-------------------------|---|--|
| ----- | OBJECT TO BE REMOVED    |  | NEW WALL - 2x4 OR 2x6 STUDS W/ 5/8" TYPE X GYP. BD. BOTH SIDES |
| ----- | WALL TO BE REMOVED      |  | 1 HR WALL 2x4 OR 2x6 STUDS W/ 5/8" TYPE X GYP. BD. BOTH SIDES  |
| ===== | EXISTING WALL TO REMAIN |   |  |



2 SECOND FLOOR CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"



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revisions	
number	date
VARIANCE AP	4.5.12
PERMIT REV	5.23.12
311 REVISION	6.14.12

RESIDENTIAL RENOVATION  
2923 HARRISON STREET  
SAN FRANCISCO, CA

issue date	3/28/2012
scale	AS NOTED
drawn	MT
checked	
file name	2000101 A2.0
job number	200101
drawing	CONSTRUCTION PLANS
sheet number	

A 2

of sheets





Michael Tauber  
Architecture

2325 Third Street, Ste 322  
San Francisco, CA 94107  
p. 415.252.7044



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revisions	
number	date
VARIANCE AP	4.5.12
311 REVISION	6.14.12

RESIDENTIAL RENOVATION

2923 HARRISON STREET

SAN FRANCISCO, CA

issue date  
3/28/2012

scale  
AS NOTED

drawn  
MT

checked

file name  
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job number  
200101

drawing  
EXISTING EXTERIOR  
ELEVATIONS

sheet number

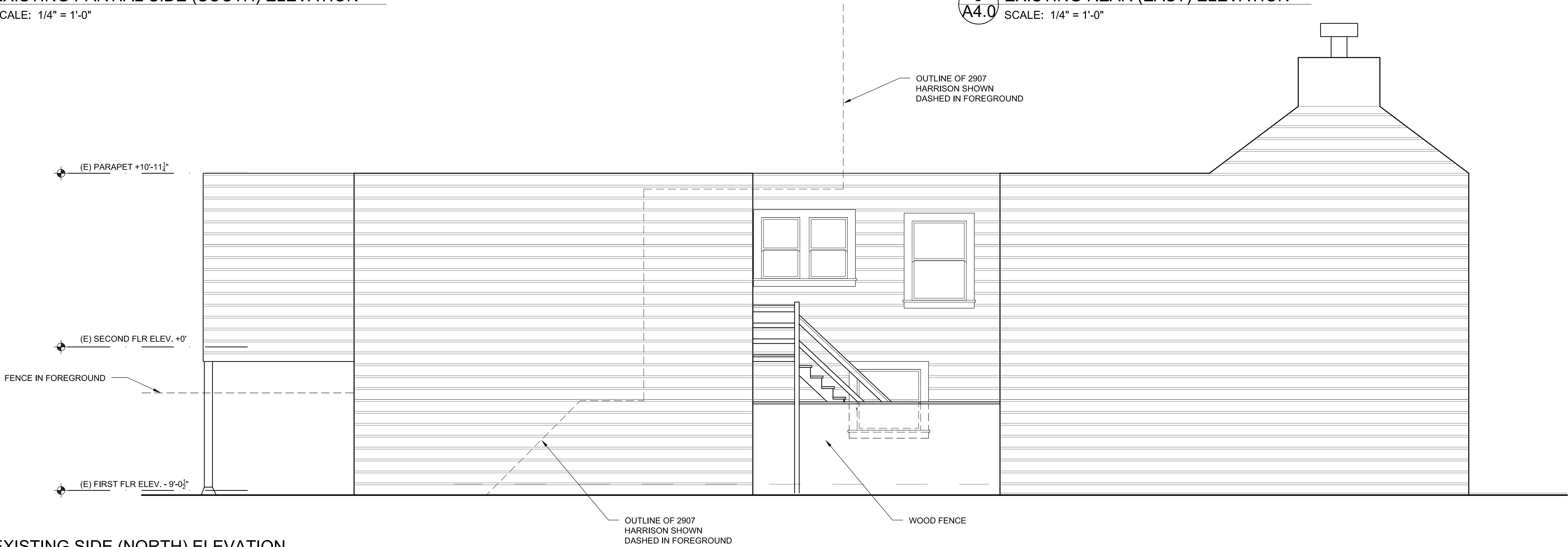
A 4.0

of sheets



2 EXISTING PARTIAL SIDE (SOUTH) ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"

3 EXISTING REAR (EAST) ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



1 EXISTING SIDE (NORTH) ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"





Michael Tauber  
Architecture

2325 Third Street, Ste 322  
San Francisco, CA 94107  
p. 415.252.7044



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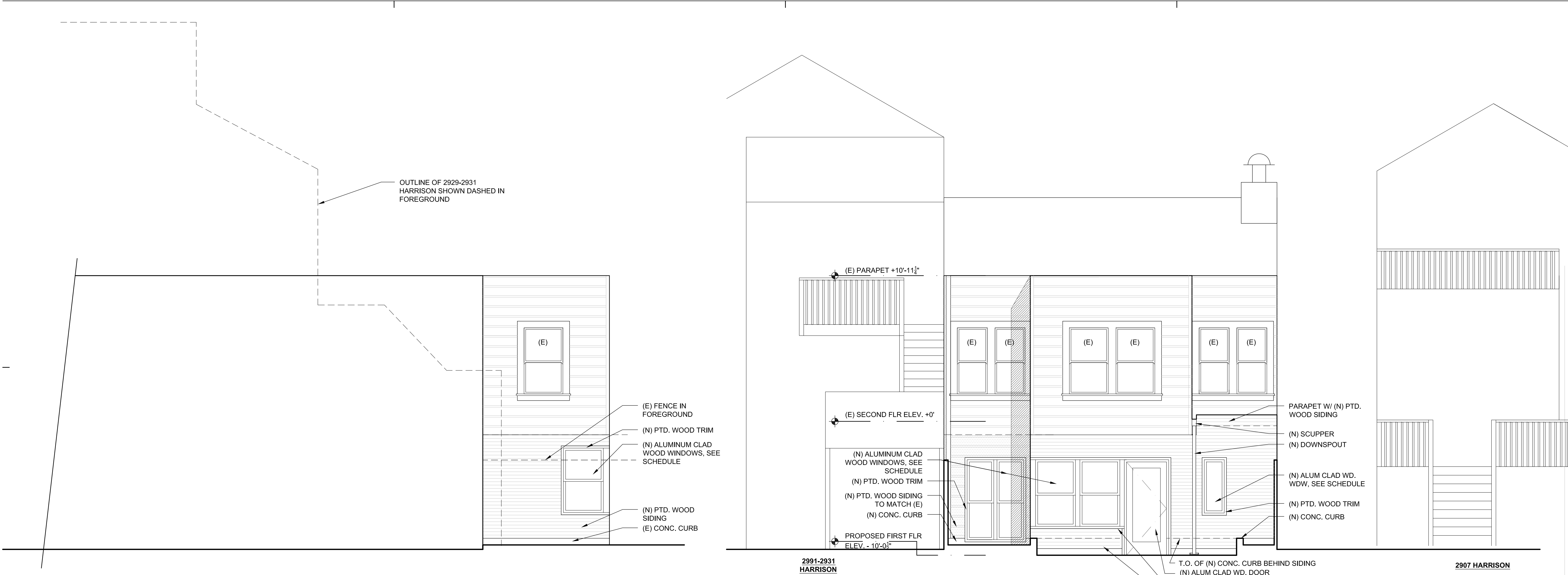
RESIDENTIAL RENOVATION

2923 HARRISON STREET  
SAN FRANCISCO, CA

issue date	3/28/2012
scale	AS NOTED
drawn	MT
checked	
file name	2000101 A4.1
job number	200101
drawing	PROPOSED EXTERIOR ELEVATIONS
sheet number	

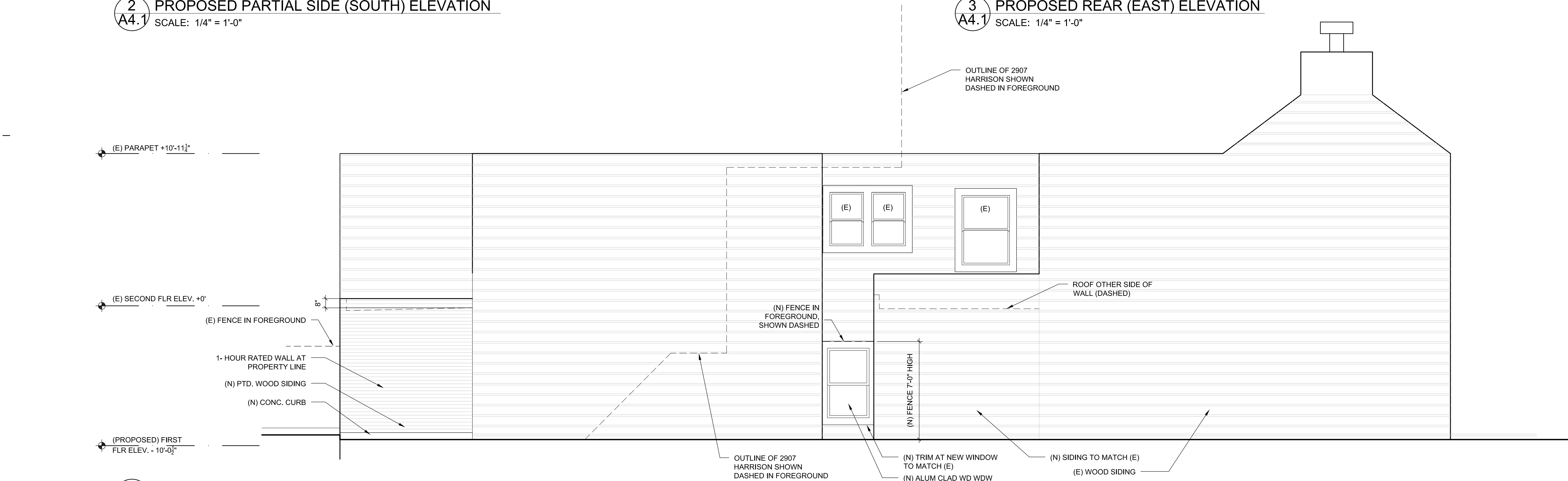
A 4.1

of sheets



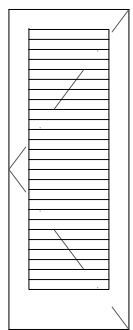
2 PROPOSED PARTIAL SIDE (SOUTH) ELEVATION  
A4.1 SCALE: 1/4" = 1'-0"

3 PROPOSED REAR (EAST) ELEVATION  
A4.1 SCALE: 1/4" = 1'-0"

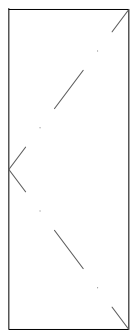


1 PROPOSED SIDE (NORTH) ELEV.  
A4.1 SCALE: 1/4" = 1'-0"

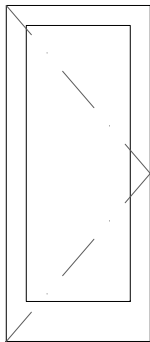




A - FULLY LOUVERED



B - FLUSH PANEL



C - FULL LITE

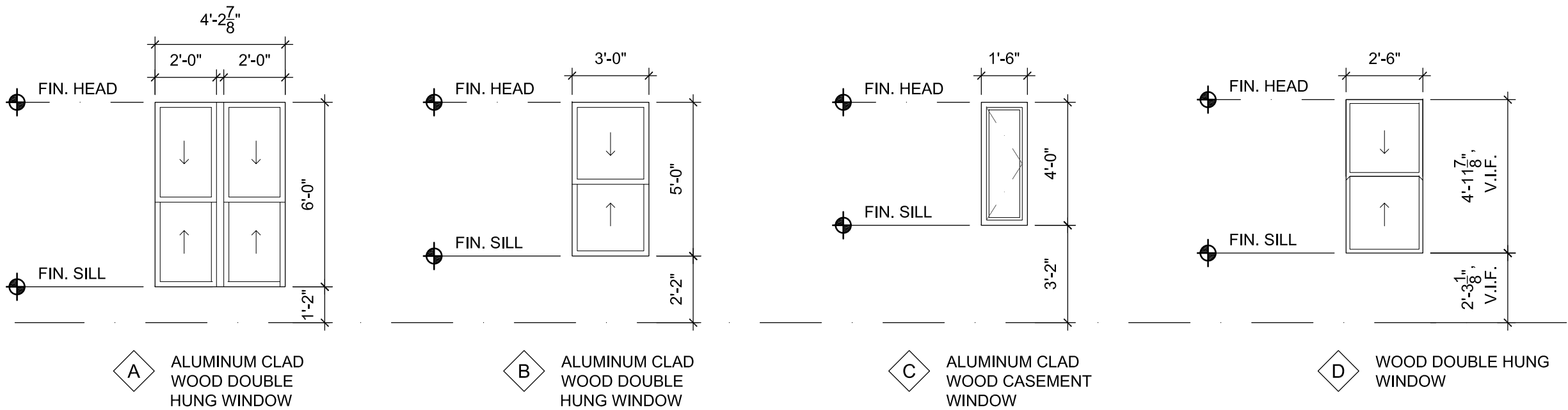
DOOR TYPES

DOOR NO.	FLOOR	ROOM	SIZE	JAMB MATERIAL	DOOR MATERIAL	FIN.	DOOR TYPE	DOOR THK.	HARDWARE FUNCTION	NOTES
1	FIRST FLOOR	DOWNSTAIRS UNIT ENTRY	3'-0" x 6'-8"	HM	SC WOOD	PT.	B	1 3/4"	ENTRY	20 MIN. RATED DOOR
2	FIRST FLOOR	DOWNSTAIRS UNIT ENTRY	2'-8" x 6'-8"	HM	SC WOOD	PT.	B	1 3/4"	ENTRY	20 MIN. RATED DOOR
3	FIRST FLOOR	ENTRY TO UPSTAIRS UNIT	3'-0" x 6'-8"	HM	SC WOOD	PT.	B	1 3/4"	ENTRY	20 MIN. RATED
4	FIRST FLOOR	ENTRY BATH	2'-6" x 6'-8"	WOOD	SC WOOD	PT.	B		PRIVACY	
5	FIRST FLOOR	UTILITY ROOM	3'-0" x 6'-8"	WOOD	SC WOOD	PT.	B	1 3/8"		
6	FIRST FLOOR	FURNACE	3'-0" x 6'-8"	WOOD	WOOD	PT.	A	1 3/8"	PASSAGE	
7	FIRST FLOOR	WASHER/DRYER	3'-0" x 6'-8"	WOOD	SC WOOD	PT.	A	1 3/8"	PASSAGE	
8	FIRST FLOOR	BEDROOM	3'-0" x 6'-8"	WOOD	SC WOOD	PT.	B	1 3/8"	PRIVACY	
9	FIRST FLOOR	CLOSET	3'-0" x 6'-8"	WOOD	SC WOOD	PT.	B	1 3/8"	PASSAGE	
10	FIRST FLOOR	BATHROOM	3'-0" x 6'-8"	WOOD	SC WOOD	PT.	B	1 3/8"	PRIVACY	
11	FIRST FLOOR	REAR YARD	3'-0" x 7'-0"	WOOD		ALUM /PT.	C			ALUMINUM CLAD WOOD DOOR - SIERRA PACIFIC C-FAO-3684-1

NOTES:

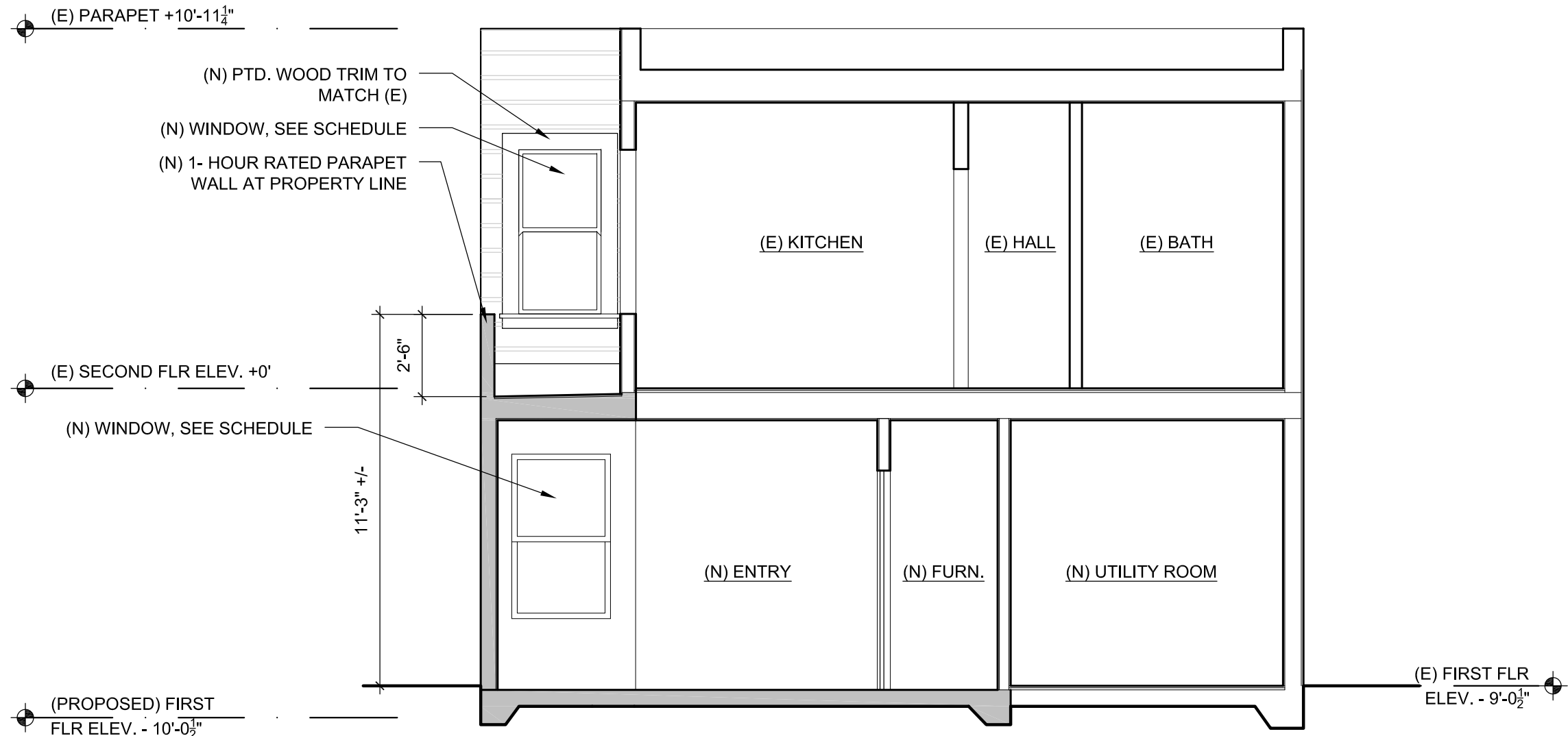
- REFER TO SHEET A2 FOR DOOR LOCATIONS
- CONFIRM DEPTHS OF WALLS PRIOR TO ORDERING /FABRICATING DOORS
- DOOR HARDWARE TO INCLUDE THE FOLLOWING: ---
- COLOR OF ALUM. CLAD WOOD DOOR TO BE SELECTED BY ARCH/OWNER.

DOOR SCHEDULE

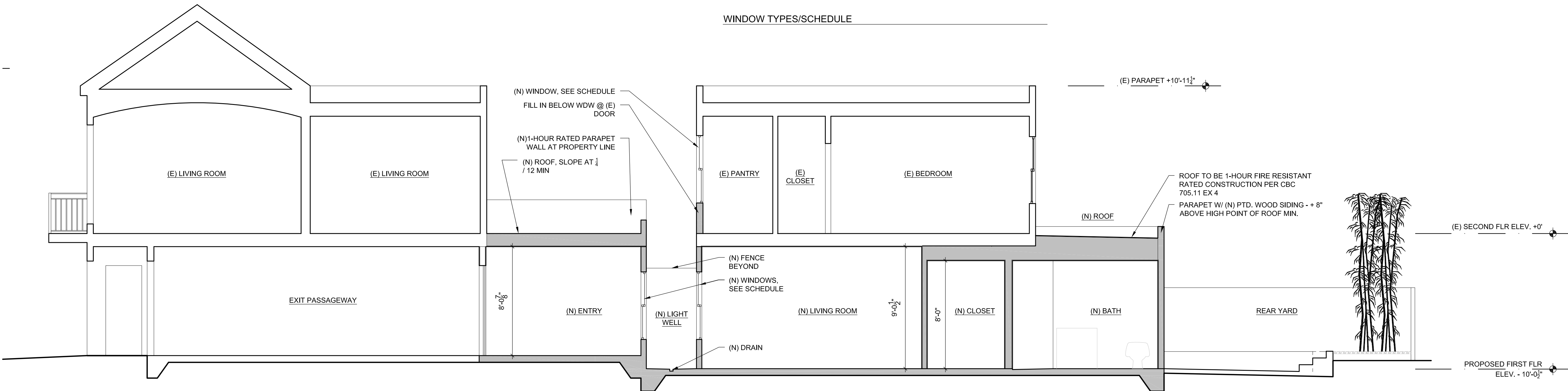


- REFER TO SHEET A2 FOR WINDOW LOCATIONS.
- ALL GLAZING TO BE DUAL PANE W/LOW-E GLAZING
- DIMENSIONS ARE FINISH DIMENSIONS
- ALL WINDOWS TO HAVE MAX U-FACTORS OF 0.58
- VERIFY ALL WINDOWS W/FIELD DIMENSIONS PRIOR TO OPENING
- COLOR OF ALUM. CLAD FINISH TO BE SELECTED BY ARCH/OWNER.
- WINDOWS TO BE SIERRA PACIFIC ALUMINUM CLAD WOOD OR EQ.

WINDOW TYPES/SCHEDULE



2 TRANSVERSE SECTION  
A4.2 SCALE: 1/4" = 1'-0"



1 LONGITUDINAL SECTION  
A4.2 SCALE: 1/4" = 1'-0"